



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Wednesday, March 19, 2014
Veteran's Memorial Building - 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Vacant

Commissioner Gerald Luhr
Commissioner Michael Lucas

Commissioner John Fennacy
Commissioner Robert Tefft

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

ELECTION OF CHAIR AND VICE-CHAIR

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Public Services' Administrative Technician at (805) 772-6291. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR - None

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** #CPO-429 and #UPO-376

Site Location: 60 State Park Road

Proposal: Modifications and commercial improvements to an existing hotel including renovations to public areas, addition of outside gazebo and changes to roofline.

CEQA Determination: Categorically exempt, Class 1 and Class 3

Staff Recommendation: Conditionally approve

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

C. UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List

Staff Recommendation: Receive and file.

Upcoming Projects: 1000 Ridgeway - Appeal Hearing Continued From 3-5-2014

C-2 Housing Element 2014-2019 - Continued Discussion from 3-12-14 Public Workshop

D. NEW BUSINESS

D-1 Schedule of regular Planning Commission meeting dates for 2014

D-2 Discussion to Form Sub-Committee for Potential FAR/Neighborhood Compatibility Regulations (Planning Commissioner Item) – No Staff Report

E. FUTURE AGENDA ITEMS

E-1 Planning Commission Declaration of Future Agenda Items

E-2 Staff Declaration of Future Agenda Items

F. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on April 1, 2014, at 6:00 p.m. (please note new meeting day to the First and Third Tuesdays per Council action on 3-11-14).

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the

Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



AGENDA NO: B-1

MEETING DATE: March 19, 2014

Staff Report

TO: Planning Commissioners

DATE: March 13, 2014

FROM: Cindy Jacinth, Associate Planner

SUBJECT: Coastal Development Permit (#CP0-429) and Conditional Use Permit (#UP0-376) Modifications and commercial improvements to an existing hotel including renovations to public areas, addition of outside gazebo and changes to roofline.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting a motion including the following action(s):

- A. Adopt Planning Commission Resolution 04-14 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated January 28, 2014.

APPLICANT/AGENT: Pacifica Companies

ARCHITECT: Darrall Design Consultants and Deutsch Architects

LEGAL DESCRIPTION/APN: 066-411-002

PROJECT DESCRIPTION: The Applicant is requesting Coastal Development Permit and Conditional Use Permit approval to make modifications to the existing public use building at the Inn at Morro Bay. Modifications include renovation and redesign of the lobby, dining areas, lounge, public restrooms, changes to roofline, and addition of an outdoor gazebo.

Roofline

The existing outdoor patio dining will be semi-enclosed by a roof structure but will remain open on the bay side. The new roof line of this outdoor patio dining area will be constructed with three smaller peaked roof angles to mimic the existing roofline from the west elevation. On the east elevation, above the front main entrance to the Inn, the proposal includes the addition of a new clerestory structure to blend in architecturally with existing clerestory on other buildings of the Inn.

Prepared By: CJ/WM

Department Review:

Interior Improvements

The renovation and redesign of the lobby will involve demising of interior walls to increase the view of the Bay from the lobby area, relocate bar and dining areas as well as relocate and expand lobby restrooms. The remodel will also include creation of a storage area for food service staff in the current restaurant dining area.

Outdoor Gazebo

A small outdoor gazebo is proposed near the front entrance to provide weather protection for guest drop off and pick up. The dimensions of the gazebo are 8 ½ feet wide by 12 feet 11 inches long with a roof overhang for a total length of 17 feet 8 inches for a total of 105 square feet. The height of the gazebo is proposed to be 8 feet 7 inches. No additional square footage of the main building or any of the guest room buildings is proposed. The addition of the gazebo structure minimally increases lot coverage, though the project is well within lot coverage limits.

PROJECT SETTING:

<u>Adjacent Zoning/Land Use</u>			
North:	R-2/PD Residential	South:	ESH/R Heron Rookery
East:	OA-2/PD Golf course	West:	H Morro Bay Harbor

<u>Site Characteristics</u>	
Site Area	Approximately 4.5 acres (195,148 square feet)
Existing Use	Hotel, Conference Facility, Restaurant
Terrain	Gently sloping, paved and developed
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	n/a
Access	State Park Road

<u>General Plan, Zoning Ordinance & Local Coastal Plan Designations</u>	
General Plan/Coastal Plan Land Use Designation	Commercial Visitor Serving
Base Zone District	C-VS
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located in the Coastal Appeals Jurisdiction

PROJECT ANALYSIS:

Background

The Inn at Morro Bay, located in the Morro Bay State Park, was constructed in the 1960’s prior to City incorporation. Although there have a variety of building permits issued over the decades, there has not been a recent overall update to Inn facilities. The proposed project is meant to comprehensively update the public areas of the hotel, specifically the public lobby and dining/ lounge areas. The renovation and modernization project of the public use building at the Inn at Morro Bay is intended to make the resort hotel more appealing to guests and improve overall service. Renovations will enable better views of the bay from the entrance and lobby area, expand restroom facilities, improve compliance with Americans with Disabilities Act (ADA) requirements, provide additional storage area, and improve better overall flow through the lobby, lounge and restaurant spaces. The outdoor patio seating will be covered but will remain open to the weather on the bay side and will connect more directly to the dining area via three new doors, weather permitting.

Environmental Determination

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. This exemption applies to the construction and location of limited numbers of new, small facilities or structures and to interior or exterior alterations involving negligible or no expansion of use. Staff determined it also meets the requirements for Section 15303, Class 3 for New Construction of Small Structures.

Zoning Ordinance Standards

	Standards	Proposed
Front Yard Setback	10 feet	No change to setback
Side Yard Setback	10 feet	No change to setback
Rear Yard Setback	0 feet	No change to setback
Lot Coverage	60% allowed	15.79%
Height	30 feet	Patio roof canopy to be 16’3.75” / Lobby clerestory to be 18’ 6”
Parking	1 space per 90sf for restaurants in tandem with a hotel use	No increase in restaurant public space - Proposal does not trigger additional parking spaces

The Applicant’s proposal meets all applicable Zoning Ordinance standards.

PUBLIC NOTICE: Notice of this item was published in the San Luis Obispo Tribune newspaper on March 7, 2014 and all property owners of record within 300 feet and occupants within 100 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

CONCLUSION: The project as proposed is consistent with the General Plan, Local Coastal Plan, and Municipal Code for development standards. The project to renovate the public areas of the Inn would improve coastal views from the inside of the lobby area. Currently, the lobby has a wall which blocks coastal view to visitors upon arriving at the Inn at Morro Bay. The proposal to remove this wall, relocate existing restrooms and reorganize public dining areas will serve to increase coastal views which is consistent with the Visitor Serving Commercial land use designation of the General Plan and Local Coastal Program. This land use designation encourages tourist-intensive uses and the project is an enhancement of a visitor serving facility consistent with the goal and policies of the Local Coastal Plan.

Staff recommends that the Planning Commission approve the requested Coastal Development Permit CP0-429 and Conditional Use Permit for the proposed public area remodel of the Inn at Morro Bay as shown on plans dated January 28, 2014 by adopting Planning Commission Resolution 04-14 which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 04-14

Exhibit B – Graphics/Plan Reductions dated January 28, 2014

RESOLUTION NO. PC 04-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING COASTAL DEVELOPMENT PERMIT (CP0-429) AND CONDITIONAL USE PERMIT (UP0-376) FOR MODIFICATIONS AND COMMERCIAL IMPROVEMENTS TO AN EXISTING HOTEL INCLUDING RENOVATIONS TO PUBLIC AREAS, ADDITION OF OUTSIDE GAZEBO AND CHANGES TO ROOFLINE AT 60 STATE PARK ROAD

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on March 19, 2014, for the purpose of considering Coastal Development Permit #CP0-429 and Conditional Use Permit #UP0-376 and;

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

1. That for purposes of the California Environmental Quality Act, Case No. CP0-429/UP0-376 qualifies for a categorical exemption per Section 15303, Class 3, New construction or conversion small structures. Class 3 consists of..."accessory (appurtenant) structures..." for which the construction of the outdoor gazebo would apply.
2. That for purposes of the California Environmental Quality Act, Case No. CP0-429/UP0-376 qualifies for a categorical exemption per Section 15301, Class 1, Existing Facilities Class 1 consists of paragraph a ..."interior or exterior alterations involving interior partitions" for which the interior improvements would apply and paragraph e ..."additions to existing structures ..." for which the rooflines changes and additions would apply.

Coastal Development Permit Findings

3. The project as proposed is consistent with the applicable provisions of the certified Local Coastal Plan. The Local Coastal Plan is consistent with the General Plan and the project meets minimum density requirements and therefore meets the LCP.
4. For every development between the nearest public road and the sea or the shoreline of any body of water, the Planning Commission shall make a specific finding that such development is in conformity with the public access and public recreation policies of

Chapter 3 of the California Coastal Act. *The proposed project is located within the Coastal Appeals Jurisdiction and the renovations will improve and enhance the existing visitor serving use.*

Conditional Use Permit Findings

5. That the project is an allowable use in its zoning district and is also in accordance with the certified Local Coastal Program and the General Plan for the City of Morro Bay. "Hotels" are listed as a use that may be permitted in the Visitor-Serving Commercial (C-VS) zone district with an approved Conditional Use Permit (Zoning Ordinance Section 17.24.120).
6. The establishment, maintenance, or operation of the use applied for will, under the circumstances of the particular case, will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use in that the project will be consistent with all applicable zoning and plan requirements as indicated in the attached staff report dated March 13, 2014.
7. The use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City since the project, as conditioned, will be conducted consistent with all applicable City regulations, as indicated in the attached staff report dated March 13, 2014.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit #CP0-429 and Conditional Use Permit #UP0-376 subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated March 13, 2014, for the project depicted on plans dated January 28, 2014 on file with the Public Services Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this approval and is diligently pursued thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Said extensions may be granted by the Public Services Director, upon finding that the project complies with all applicable provisions of the Morro Bay Municipal Code, General Plan and Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this

approved permit determined not to be minor by the Director shall require the filing of an application for a permit amendment subject to Planning Commission review.

4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, City of Morro Bay, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the Morro Bay Municipal Code, and shall be consistent with all programs and policies contained in the certified Coastal Land Use Plan and General Plan for the City of Morro Bay.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use and/or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Public Services Director and/or as authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the Morro Bay Municipal Code and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the Morro Bay Municipal Code, and shall be consistent with all programs and policies contained in the certified Coastal Land Use plan and General Plan for the City of Morro Bay.
8. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

PUBLIC WORKS CONDITIONS

The project is conditionally approved subject to the following conditions which must be satisfied prior to issuance of a building permit:

1. Satisfy conditions required by California Natural Resources Agency, Department of Parks and Recreation letter of January 28, 2014.

2. Conduct a video inspection of the conditions of existing sewer lateral. Submit video to City collection system personnel. Construction Plans should reflect repair or replacement as required to prohibit inflow/infiltration.

BUILDING CONDITIONS

1. Prior to construction, the applicant shall submit a complete application to the Building Department and obtain the required Building Permit.

PLANNING CONDITIONS

1. In the event that intact and/or unique archaeological artifacts or historic or paleontological resources are encountered during grading, clearing, grubbing, and/or other construction activities associated with the proposed project involving ground disturbance, all work in the immediate vicinity of the find shall be stopped immediately, the City shall be contacted for further instructions. The resource shall be evaluated to ensure the discovery is adequately recorded, evaluated and, if significant, mitigated.
2. Prior to issuance of a building permit, the Applicant shall submit full size plans that meet conditions imposed by the California Natural Resources Agency, Parks and Recreation letter dated January 28, 2014 included as an attachment to this Resolution to the satisfaction of the Public Services Director.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 19TH day of MARCH, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 19TH day of MARCH 2014.



DEPARTMENT OF PARKS AND RECREATION

Major General Anthony L. Jackson, USMC (Ret), *Director*

San Luis Obispo Coast District
750 Hearst Castle Road
San Simeon, CA 93452
(805) 927-2065 telephone
(805) 927-2031 fax

January 28, 2014

Rick Sauerwein,
Engineering / Capital Projects Manager
City of Morro Bay
955 Shasta Ave
Morro Bay, CA 93442

Re: Inn at Morro Bay Project - Coastal Development Permit Conditions

Dear Mr. Sauerwein,

Thank you for providing State Parks with the opportunity to review the plans for the Inn at Morro Bay expansion project, and for allowing us to provide comments on the project, which are enumerated below:

1) Formalized Legal Access over State Parks property

The Inn at Morro Bay accesses their property from State Park Road and their driveway crosses State Park property before it connects with their parking lots. State Parks respectfully requests that the Inn at Morro Bay obtain an easement from the State as a condition of granting the coastal development permit. The access easement should be based upon surveyed boundaries, and contain an easement maintenance agreement that specifies certain consideration for granting said easement.

2) Public trail from Main Street entrance to Morro Bay State Park to Heron Rookery viewing area

Acceptable consideration for granting the formal easement would include the construction of a public trail that connects the sidewalk at the Main Street entrance to Morro Bay State Park with the Heron Rookery Natural Preserve trail. In this sensitive area and in the Baywood fine sandy soil, an appropriate trail would consist of a five to six foot wide, permeable surface of at least six inches of compacted, decomposed granite over at least six inches of compacted road base laid on permeable fabric, for a twelve inch minimum depth. The trail would intersect with the Bayshore HOA trail, the 2 Inn driveways, the informal southern Inn parking lot access as well the Main Street sidewalk and the Heron Rookery trail and as such, will require appropriate connections, aprons, and grade crossings. The informal trail connector to the southern Inn parking lot should also be improved.

Rick Sauerwein, Engineering / Capital Projects Manager
City of Morro Bay
January 28, 2014
Page 2

3) Repave asphalt entrance to parking area and stripe trail, stop limit line, and install stop signs.

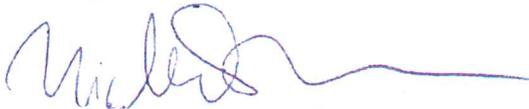
Because vehicular traffic crosses a pedestrian and cyclist trail, safety requirements dictate the installation of stop signs and stop limit lines at the exit of each Inn driveway onto State Park Road, as well as delineation of the trail as it intersects the driveways.

4) Maintenance Agreement

The easement maintenance agreement that accompanies the access easement must specify that maintenance of the trail between the points outlined in paragraph two, safety pruning of the eucalyptus trees in the area between State Park Road and the Inn at Morro Bay property, as well as sweeping of eucalyptus leaves and duff in the area, be the responsibility of the Inn at Morro Bay and its successors in interest, as consideration for granting the easement.

Thank you again for providing State Parks the opportunity to review and provide comments concerning the Inn at Morro Bay coastal development permit application. Please feel free to contact me or my staff if any additional information is required.

Sincerely,

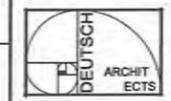
A handwritten signature in blue ink, appearing to read "Nicholas Franco", with a long horizontal flourish extending to the right.

Nicholas Franco, District Superintendent

INN AT MORRO BAY PUBLIC AREA RENOVATION

60 STATE PARK ROAD, CA

DARRALL DESIGN CONSULTANTS
V:(310)216 1768 FX:(310)216 1826
E-mail: ddo-usa@dardescon.com

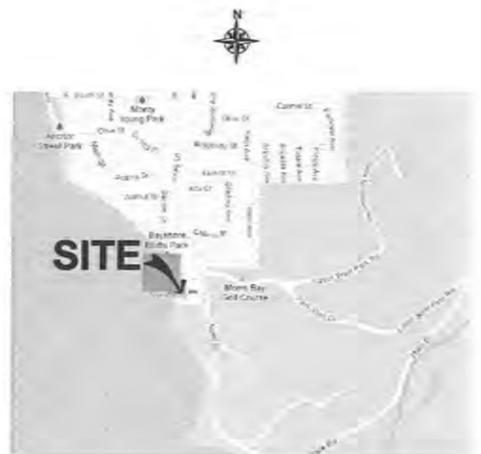


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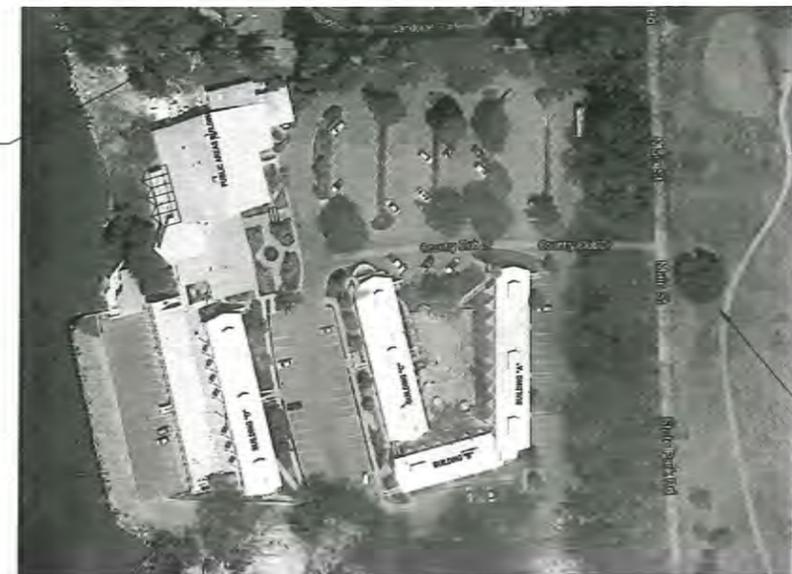


OWNER:
PACIFICA COMPANIES

JOB NAME:
INN AT MORRO BAY



LOCATION MAP



AERIAL MAP

ABBREVIATIONS	
()	DIAMETER
A.S.	SQUARE FOOT/FEET
ABV.	AND
A/C	CENTERLINE
A.C.	FOUND OR NUMBER
A.D.	EXISTING
ACOUS	ANCHOR BOLT
ALUM.	ABOVE
APPROX.	AIR CONDITIONING
ARCH.	ASPHALTIC CONCRETE
BLDG.	ACQUASTICAL
BLK.	ABOVE FINISH FLOOR
BM.	ALUMINUM
B.N.	ARCHITECTURAL
BTWN.	BOARD
CATV	BUILDING
C.B.	BLOCK
CEM.	BLOCKING
CER.	BEAM
C.H.	B.N. BOUNDARY NAILING
C.H.B.	BOT.
C/I	BTWN.
C/J	CAMBER
C-L	CABLE TELEVISION
C.L.	CATCH BASIN
C.L.C.	CEM.
C.O.	CER.
C/O	C.H.
CONC.	C.H.B.
CONN.	C/I
CONSTR.	C/J
CONT.	C-L
CONTR.	C.L.C.
CTS/K	CLEAR
C.Y.	C.M.U.
DBL	CONCRETE MASONRY UNIT
DEPT.	CONDUIT ONLY
DET.	COLUMN
D/F	CONCRETE
D.A.	CONN.
D.M.	CONSTR.
DN	CONT.
DR	CONTR.
DWG.	CONTR.
E.A.	CONTR.
E.C.	CONTR.
E.L.	CONTR.
E.P.	CONTR.
E.Q.	CONTR.
E.M.	CONTR.
EXIS.	CONTR.
EXT.	CONTR.
FDN	CONTR.
F.D.	CONTR.
F.F.	CONTR.

LEGENDS & SYMBOLS	
	SPOT ELEVATION
	SET POINT
	REVISION
	GRID REFERENCE
	DETAIL REFERENCE
	ELEVATION REFERENCE
	SECTION REFERENCE
	WALL TYPE. SEE SHEET WD-1.0
	FLOOR FINISH
	INTERIOR MATERIAL
	EXTERIOR MATERIAL
	CENTERLINE
	PROPERTY/LEASE LINE
	MATCH LINE
	WORK POINT
	EXISTING WALL TO REMAIN
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	GROUT OR PLASTER
	(E) BRICK
	(E) MASONRY
	CONCRETE
	EARTH
	GRAVEL
	PLYWOOD
	SAND
	WOOD CONTINUOUS
	WOOD BLOCKING
	STEEL
	NEW LOW WALL

SHEET INDEX	
ARCHITECTURAL	
SHEET	DESCRIPTION
T.S.	TITLE SHEET / PROJECT DATA
A.0.0	RENDERINGS
A.0.0.0	EXISTING SITE PLAN
A.0.0.0	PROPOSED SITE PLAN
A.0.2	EXISTING FLOOR PLAN
A.0.2.0	SCOPE OF WORK AND ROOF PLAN
A.1.0	UPPER LEVEL AREA "X" CONSTRUCTION PLAN
A.1.0.0	UPPER LEVEL AREA "Y" CONSTRUCTION PLAN
A.5.0	BUILDING ELEVATIONS
A.5.1	BUILDING ELEVATION AND GAZEDO PLANS, ELEVATIONS AND SECTIONS
A.5.0	DOOR AND WINDOWS SCHEDULE

DEFERRED SUBMITTALS	
• FIRE SPRINKLERS	
• ALARM SYSTEM MODIFICATION	
• SIGNAGE	

APPLICABLE CODES	
2010 CALIFORNIA UNIFORM ADMINISTRATIVE CODE	
2010 CALIFORNIA BLDG. CODE, VOLUMES 1 & 2	
2010 CALIFORNIA ELECTRICAL CODE	
2010 CALIFORNIA PLUMBING CODE	
2010 CALIFORNIA MECHANICAL CODE	
2010 CALIFORNIA ENERGY CODE	
2010 CALIFORNIA FIRE CODE	
2009 INTERNATIONAL FIRE CODE	

BUILDING HEIGHT CALCULATION FROM AVERAGE NATURAL GRADE	
31' A.S.L. + 41' A.S.L. + 36' A.S.L. + 36' A.S.L. + 29' A.S.L. = 137' / 4 = 34.60' A.S.L.	
MAX. BUILDING HEIGHT - TOP OF EXISTING CLEVERESTORY - ABOVE AVERAGE NATURAL GRADE = 24'-11"	

DIRECTORY	
OWNER / APPLICANT	PACIFICA COMPANIES
ARCHITECTS	DARRALL DESIGN CONSULTANTS DEUTSCH ARCHITECTS
CONTRACTOR	TSO

PROJECT DATA	
APN 066411002	
ZONING CLASSIFICATION	WATERFRONT / PLANNING DEVELOPMENT / S.A.
NUMBER OF STORIES	2 STORIES
CONSTRUCTION TYPE	TYPE "A" (SPRINKLERED)
BUILDING AREA CALCULATIONS	
A-3:	8,789 SF
B:	7,935 SF
R-1:	520 SF
F-1:	520 SF
	17,763 SF TOTAL

PROJECT DESCRIPTION	
THE PROJECT CONSISTS OF IMPROVING THE EXISTING CONDITIONS OF THE HOTEL'S MAIN LOBBY, LOUNGE ROOM, DINING AREAS & PUBLIC RESTROOMS. NO ADDITIONAL INCREASE IN SQUARE FOOTAGE OF THE EXISTING BUILDING IS PROPOSED FOR THIS PROJECT. A CLOSETRY WILL BE ADDED AT THE LOBBY AREA. PATIO DINING WILL BE COVERED BY A NEW UNENCLOSED CANOPY. A NEW ENTRANCE GAZEDO TO PROTECTION FROM INCLEMENT WEATHER WILL BE BUILT.	
ALL ITEMS THAT "DENOTE EXISTING" MEANS NO WORK DONE AND IS EXISTING UNDER ORIGINAL CONDITIONS. IF ANY WORK DONE AS REMOVE OR REPLACE, THIS WORK SHALL COMPLY WITH CURRENT CODE REQUIREMENT PER CHAPTER 3403 OF 2010 CBC.	
THE PROPOSED PROJECT SHALL COMPLY WITH THE PREVAILING CODES AND AMENDMENTS OF THE STATE OF CALIFORNIA.	

LEGAL DESCRIPTION	
A PORTION OF LOT 5, TOWNSHIP 30 SOUTH, RANGE 10 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF MORRO BAY, IN THE COUNTY OF SAN LUIS OBISPO, IN THE STATE OF CALIFORNIA, "INN AT MORRO BAY"	

LOT COVERAGE	
TOTAL LOT COVERAGE AREA:	30,823 SQ. FT.
TOTAL LOT AREA:	185,148 SQ. FT.
LOT COVERAGE PERCENTAGE:	15.72%

PARKING INFORMATION:	
NUMBER OF TOTAL EXISTING STALLS ON PARKING LOT =	169 PARKING SLOTS
TOTAL NUMBER OF PARKING SPACES REQUIRED AS PER TABLE 119-6 -6	
TOTAL NUMBER OF EXISTING PARKING w/ ADA REQUIREMENTS PROVIDED =	5
SEE SHEET A-01	

REVISIONS:	
DATE:	
10-04-2013	
10-31-2013	PLAN CHECK REVISION
01-17-2014	PLANNING REVISION

PRELIMINARY SET	
BID SET	
NOT FOR CONSTRUCTION	
CONSTRUCTION SET	
PROGRESS SET	

60 STATE PARK ROAD, MORRO BAY, CA

PUBLIC AREA RENOVATION

JOB #: MORRO BAY - 2013

TITLE: TITLE SHEET/PROJECT DATA

SCALE: AS NOTED

DRAWN BY: JB

CHECKED BY: PK/DDD

DATE: 09-19-2013

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REVISIONS: DATE:

10-04-2013

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01-17-2014 PLANNING REVISION

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CONSTRUCTION SET

PROGRESS SET

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City of Morro Bay
Public Services Department

INN AT MORRO BAY PUBLIC AREAS RENOVATION

60 STATE PARK ROAD, CA

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OWNER:
PACIFICA COMPANIES

JOB NAME:
INN AT MORRO BAY

60 STATE PARK ROAD,
MORRO BAY, CA

**PUBLIC AREA
RENOVATION**

JOB #: MORRO BAY - 2013

TITLE: RENDERINGS

SCALE: AS NOTED

DRAWN BY: JB

CHECKED BY: PKW/DD

DATE: 09-19-2013

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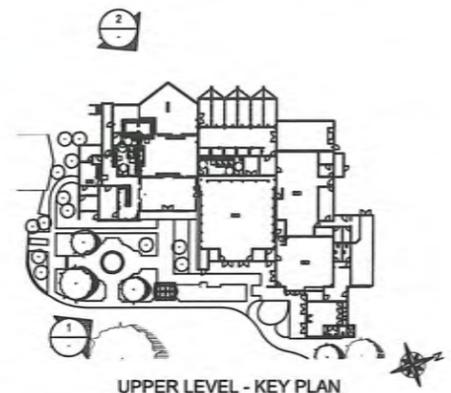
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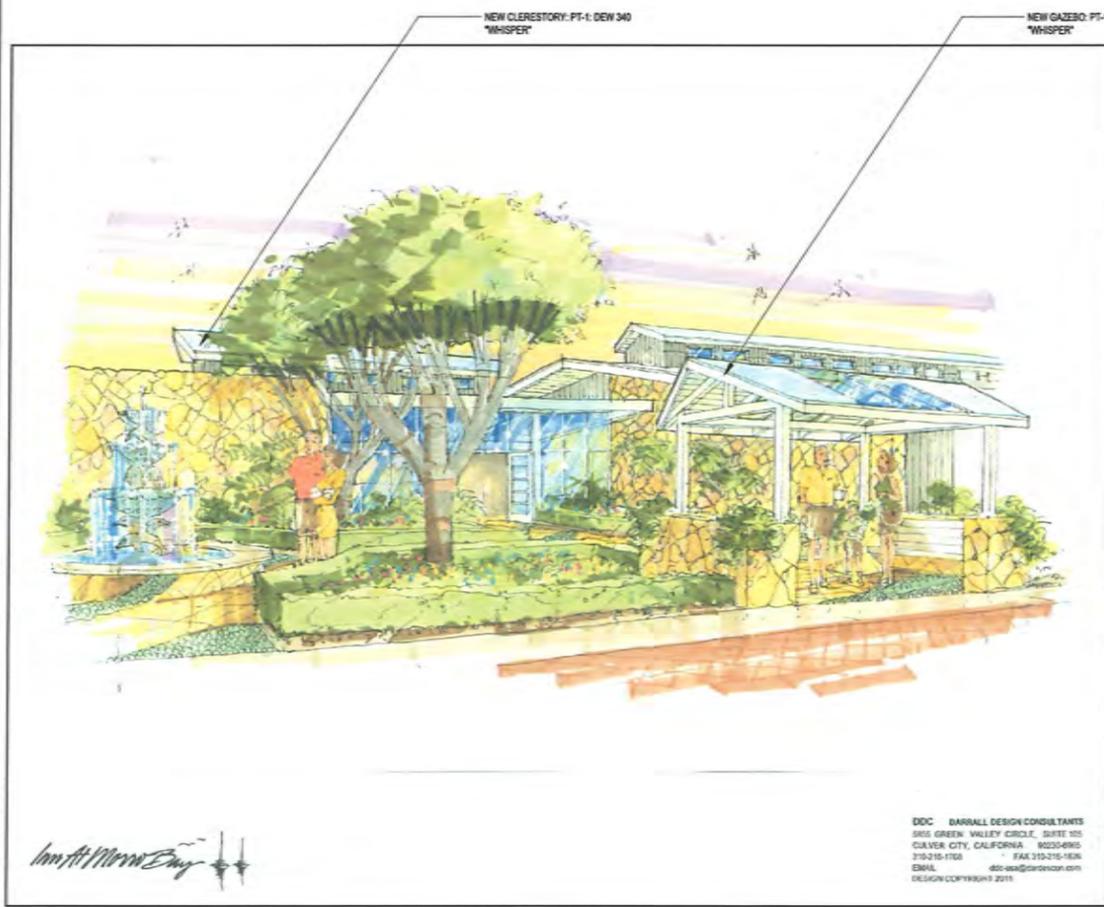
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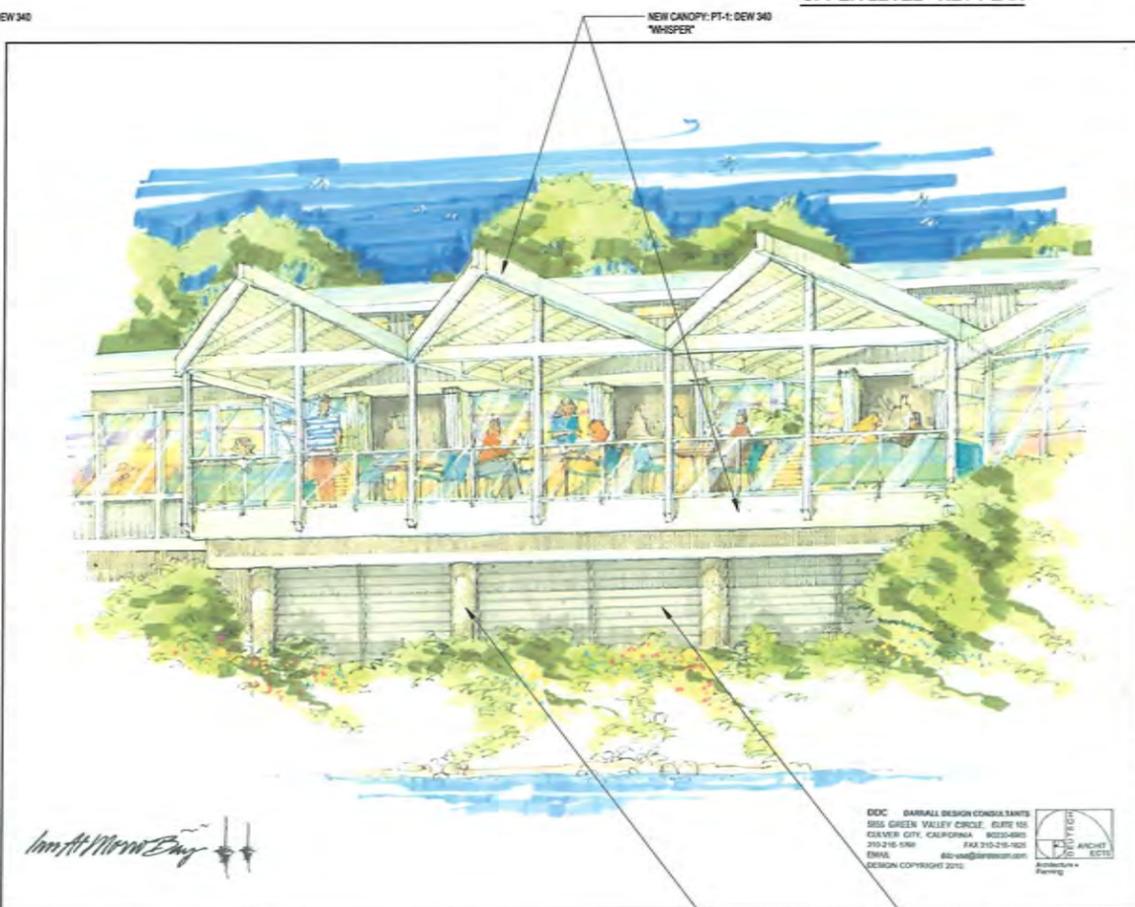
AERIAL VIEW - NTS



UPPER LEVEL - KEY PLAN



ENTRANCE VIEW



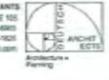
PATIO DINING



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LOT COVERAGE

PUBLIC AREAS BUILDING: 17,753 SQ. FT.
 GUESTROOMS BUILDING "A": 3,027 SQ. FT.
 GUESTROOMS BUILDING "B": 2,159 SQ. FT.
 GUESTROOMS BUILDING "C": 4,141 SQ. FT.
 GUESTROOMS BUILDING "D": 3,743 SQ. FT.
 TOTAL LOT COVERAGE AREA: 30,823 SQ. FT.
 TOTAL LOT AREA: 195,148
 LOT COVERAGE PERCENTAGE: 15.79%

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OWNER:
PACIFICA COMPANIES

JOB NAME:
INN AT MORRO BAY

60 STATE PARK ROAD,
 MORRO BAY, CA

**PUBLIC AREA
 RENOVATION**

JOB #: MORRO BAY - 2013

TITLE: EXISTING SITE PLAN

SCALE: AS SHOWN
 DRAWN BY: JB
 CHECKED BY: PK/DDO
 DATE: 09-19-2013

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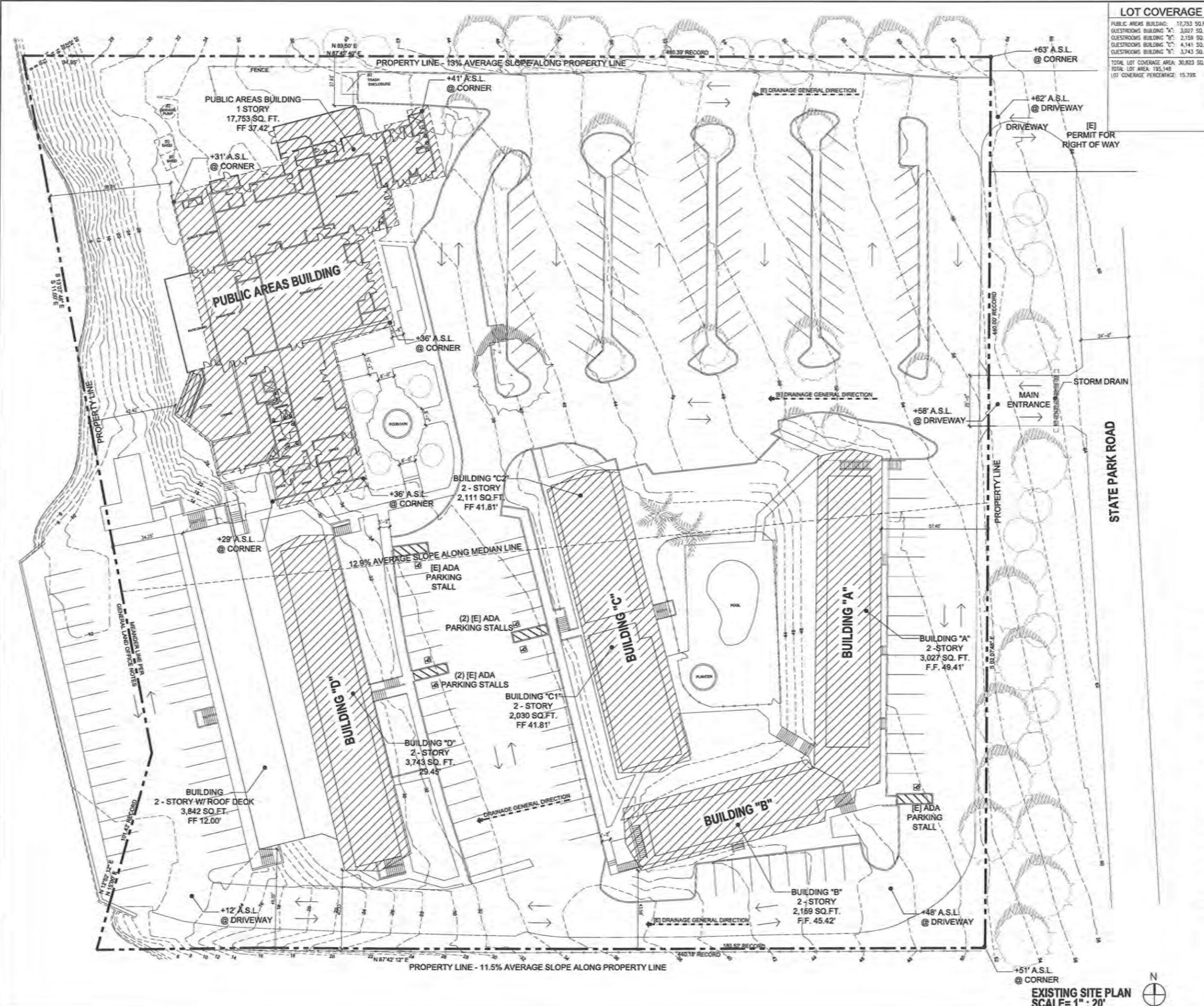
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REVISIONS:	DATE:
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 PROGRESS SET

SHEET #:

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EXISTING SITE PLAN
 SCALE= 1" : 20'

LEGEND	
	AREA AFFECTED BY RENOVATION
	PATH OF TRAVEL

KEY NOTES	
	LOCATION OF EXISTING FIRE MHRAM

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OWNER:
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JOB NAME:
INN AT MORRO BAY

60 STATE PARK ROAD,
 MORRO BAY, CA

PUBLIC AREA RENOVATION

JOB #: MORRO BAY - 2013
 TITLE: PROPOSED SITE PLAN AND AREA OF RENOVATION

SCALE: AS SHOWN
 DRAWN BY: JB
 CHECKED BY: PKDDO
 DATE: 09-19-2013

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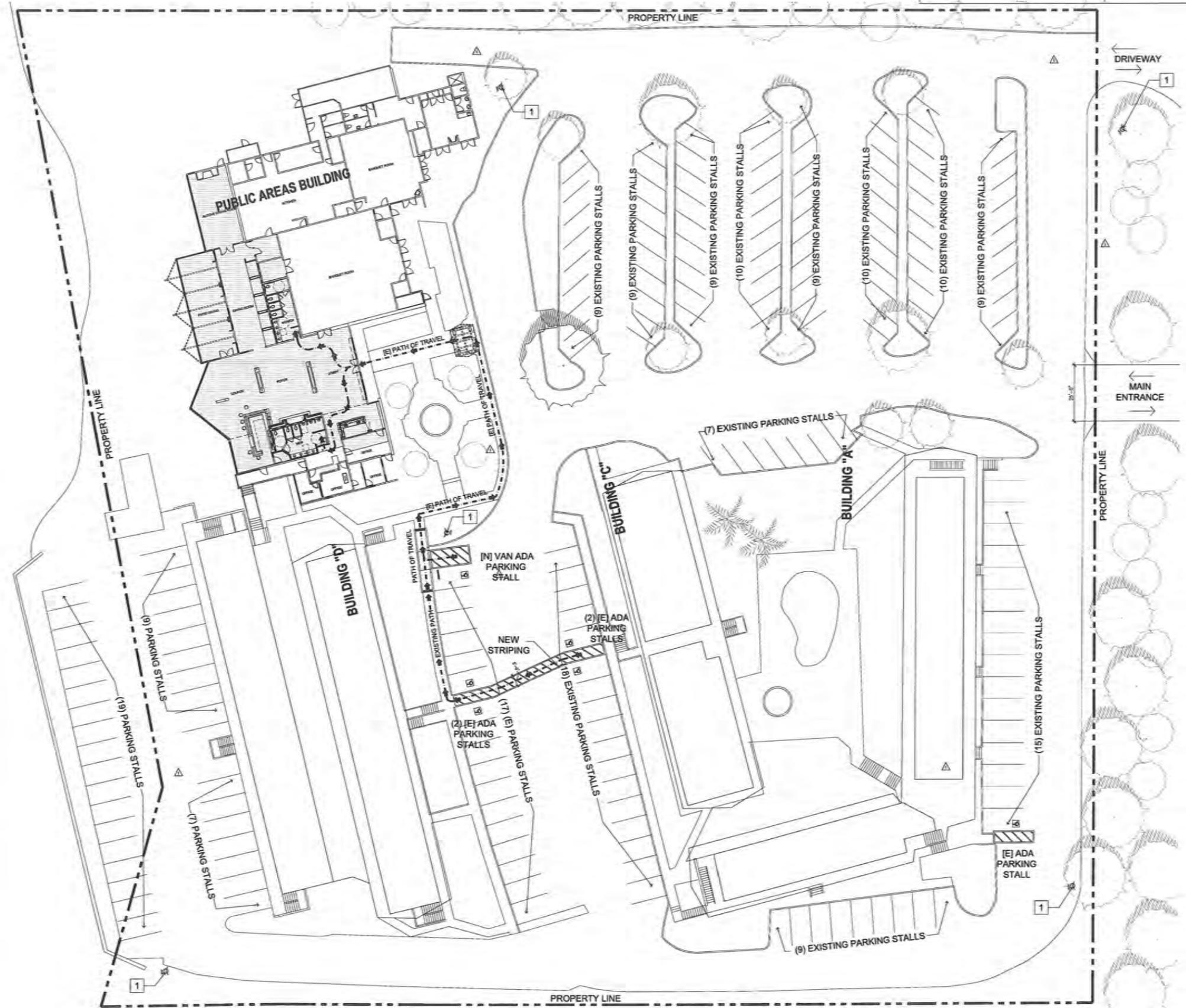
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1 PROPOSED SITE PLAN
 SCALE=1"=20'

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OWNER:
PACIFICA COMPANIES

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INN AT MORRO BAY

60 STATE PARK ROAD,
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PUBLIC AREA RENOVATION

JOB #: MORRO BAY - 2013
 TITLE: EXISTING FLOOR PLAN

SCALE:
 DRAWN BY: JS
 CHECKED BY: PK/DDD
 DATE: 09-19-2013

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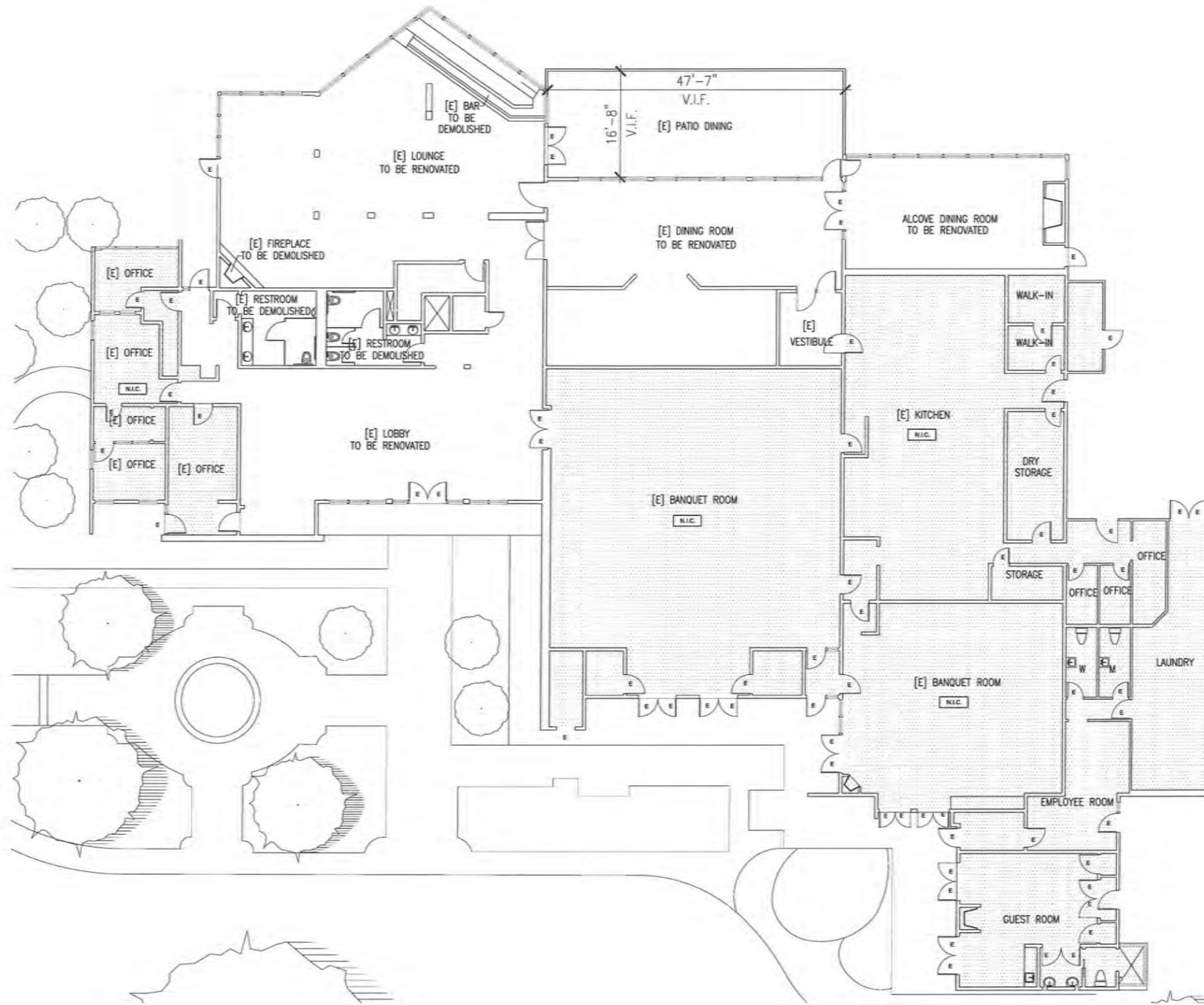
THE AREA AFFECTED BY THE SCOPE OF WORK HAS BEEN FIELD VERIFIED AND DOCUMENTS PROVIDED BY AS BUILT CONTRACTOR. THEREFORE THE ARCHITECT CANNOT WARRANT THAT THE DIMENSIONS ARE ACCURATE. CONTRACTOR SHALL MAKE A DETAILED SURVEY OF EXISTING CONDITIONS AND REPORT THEREON. DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT PRIOR TO CONSTRUCTION.

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EXISTING FLOOR PLAN
 SCALE: 1/8" = 1'- 0"



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OWNER:
PACIFICA COMPANIES

JOB NAME:
INN AT MORRO BAY

60 STATE PARK ROAD,
MORRO BAY, CA

PUBLIC AREA RENOVATION

JOB #: MORRO BAY - 2013

TITLE: SCOPE OF WORK PLAN
AND ROOF PLAN

SCALE:
DRAWN BY: JB
CHECKED BY: PKD/DDD
DATE: 09-19-2013

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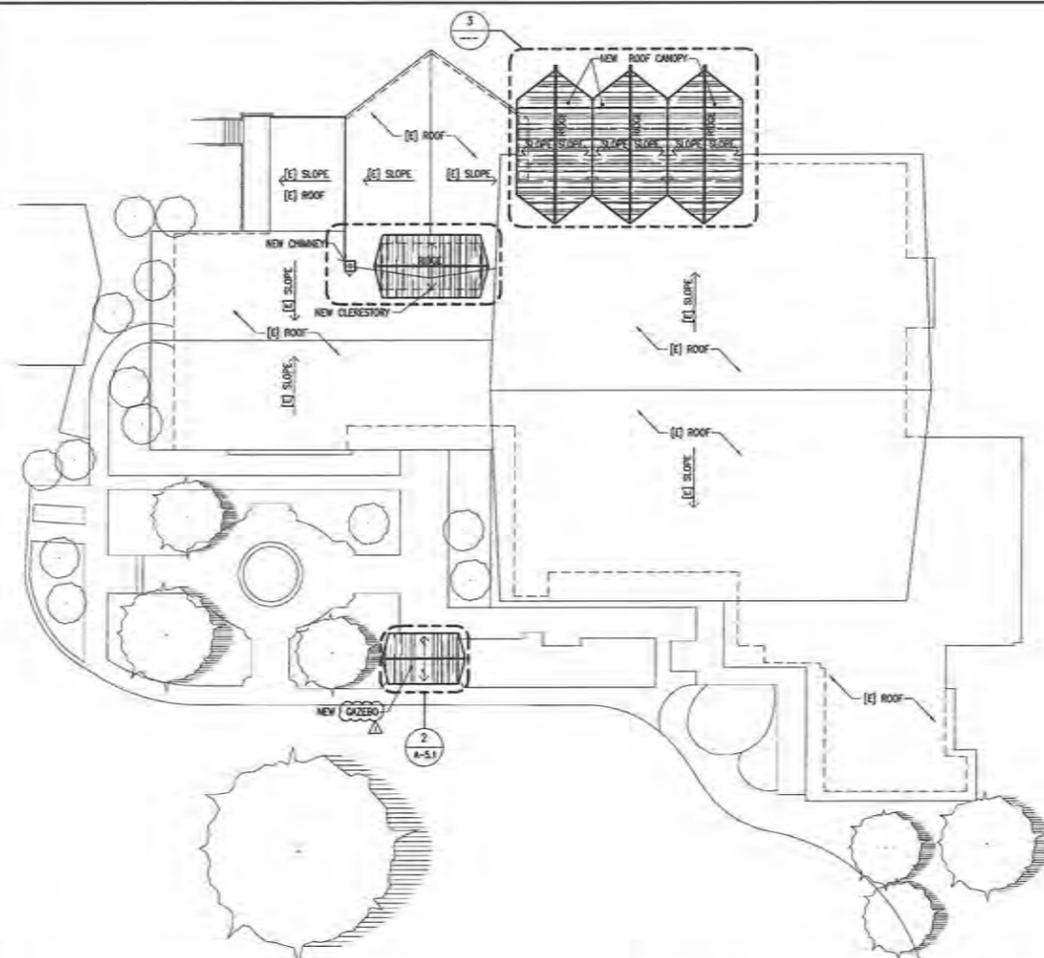
THE AREA AFFECTED BY THE SCOPE OF WORK HAS BEEN FIELD VERIFIED AND DOCUMENTED PROVIDED BY AS BUILT CONSULTANT. THEREFORE THE ARCHITECTS CAN NOT WARRANT THAT THE DIMENSIONS ARE ACCURATE. CONTRACTOR SHALL MAKE A DETAILED SURVEY OF EXISTING CONDITIONS AND REPORT DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT PRIOR TO CONSTRUCTION.

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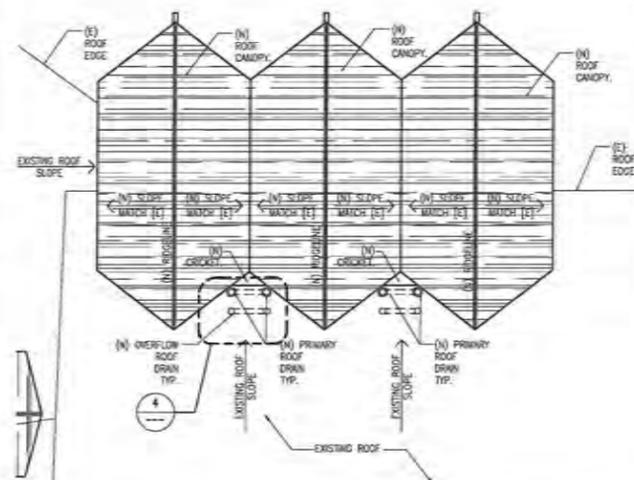
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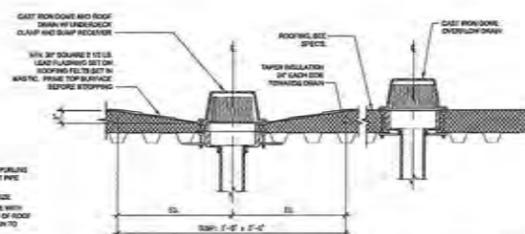
ROOF PLAN
SCALE: 1/16" = 1'- 0"

ROOF PLAN NOTES

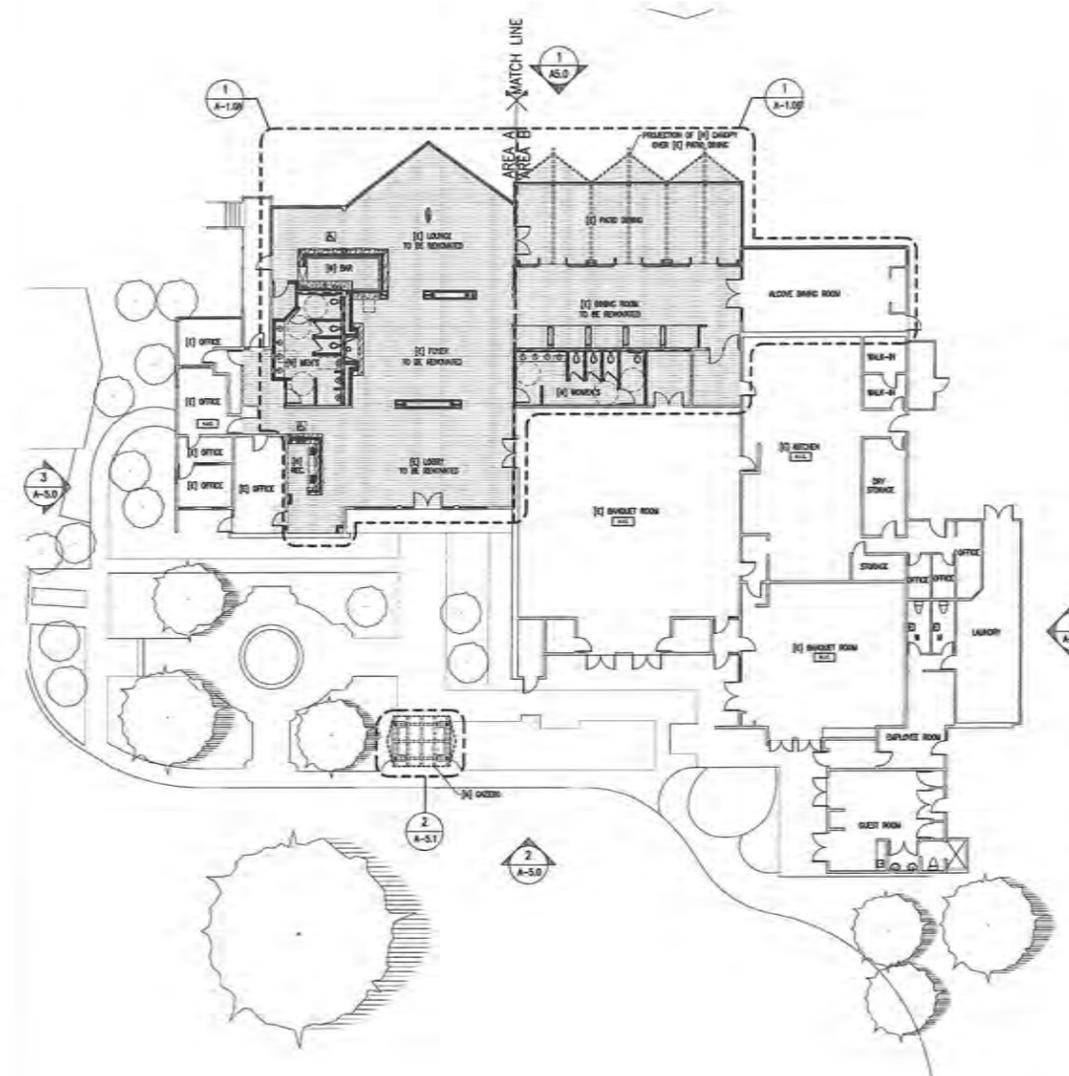
- CONTRACTOR TO INSPECT ROOF, PATCH / REPAIR / REEROOF AS REQUIRED.
- ALL NEW ROOF SURFACES SHALL SLOPE AT A MINIMUM OF 1/4" PER FOOT IN ALL DIRECTIONS.
- PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WRITTEN CERTIFICATION THAT THE ROOF SLOPE IS IN CONFORMANCE WITH THE APPROVED PLAN SHALL BE GIVEN TO THE INSPECTOR.
- ROOF DRAINAGE TO BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO FINAL APPROVAL.
- 1/2" PER FOOT MINIMUM SLOPE PER ROOF DRAIN LEADERS RUNNING HORIZONTALLY.
- PLUMBING SUBCONTRACTOR TO VERIFY ALL NEW ROOF DRAIN SIZES.



ENLARGED NEW CANOPY ROOF PLAN
SCALE: 1/8" = 1'- 0"



ROOF DRAIN & OVERFLOW DRAIN
SCALE: 1" = 1'- 0"

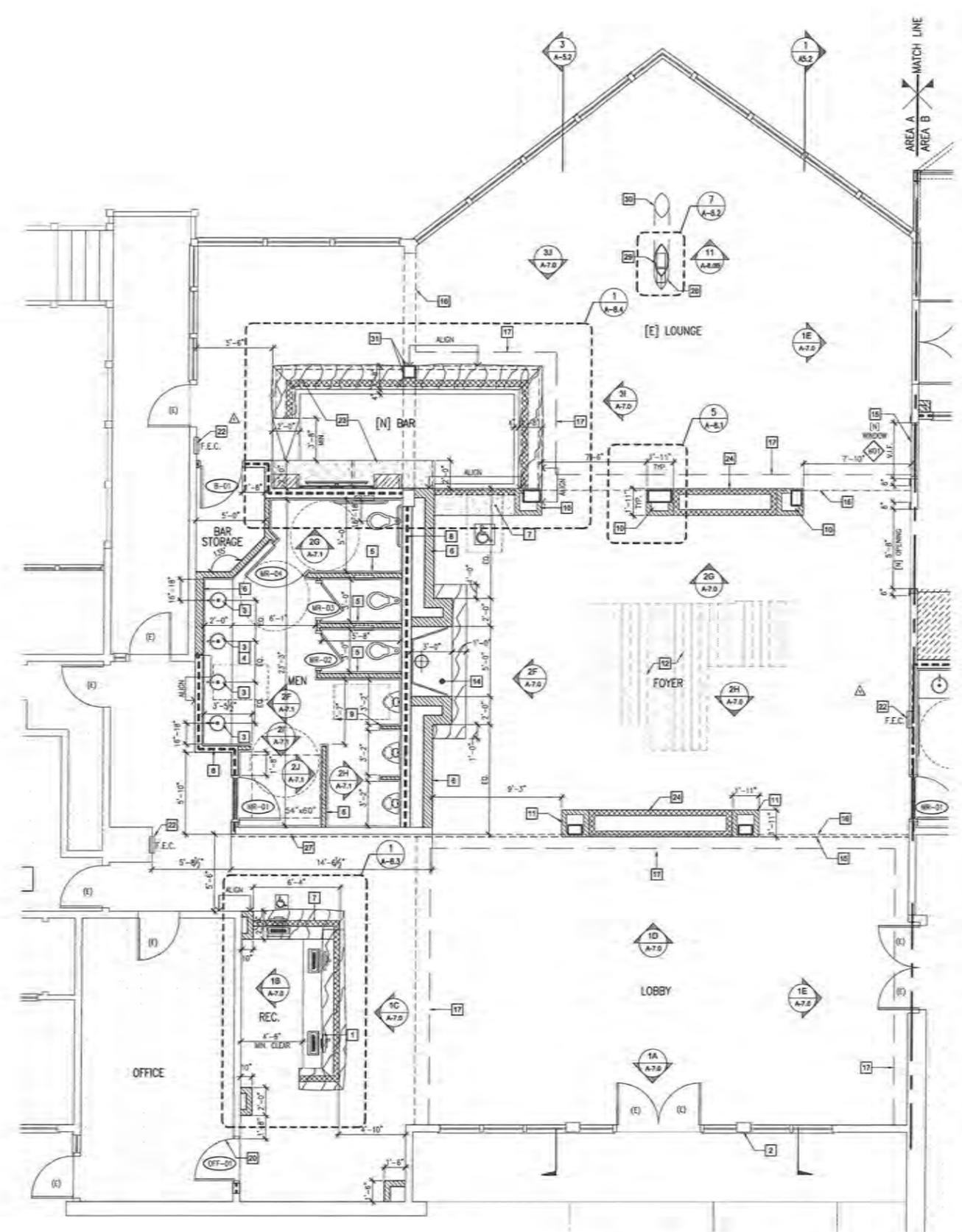


SCOPE OF WORK LEGEND



UPPER LEVEL SCOPE OF WORK PLAN
SCALE: 1/16" = 1'- 0"

NOTES:
1. PROVIDE METAL HANGERS FROM PURLINE TO TOP OF BRISSES TO SUPPORT PVC SLOPE ROOF.
2. SEE PLUMBING PLAN FOR DRAIN SIZE.
3. OVERFLOW DRAIN TO BE CL. DOWN WITH SLEET TO NEXT LOWER LEVEL OF ROOF DECK PER CODE. OVERFLOW DRAIN TO BE SAME SIZE AS ROOF DRAIN.



AREA A CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION SYMBOLS

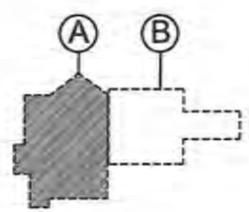
- (E) EXISTING DOOR TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW LOW PARTITION
- NEW NON-RATED PARTITION. SEE 15A-B.1
- NEW FULL HEIGHT FIRE RATED PARTITION. SEE 15A-B.1

GENERAL NOTES:
 * WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN USC 7-403.5.
 * FLOORS: NEW WATER PROOF MEMBRANE IS REQUIRED FOR ALL WET AREAS.

CONSTRUCTION NOTES

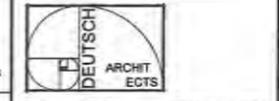
- 1 NEW RECEPTION DESK TO BE PART OF A SEPARATE MILLWORK / FIXTURE SUBMITTAL. SEE 1A-7.0 INT. ELEV.
- 2 PROVIDE NEW GRAPHIC ACCESSIBILITY SYMBOL @ 87" A.F.F. TO CENTER OF GRAPHICS. SEE 7-0.3
- 3 NEW SINK LOCATION. SEE SHEET A-7.1
- 4 PROVIDE NEW MIRROR, SOAP DISPENSER @ 47" A.F.F. MAX. TYP. FOR ALL NEW SINKS.
- 5 NEW STALL PARTITION.
- 6 NEW NON-RATED PARTITION. TYP.
- 7 LOCATION OF 3/4" MAX. HT. HANDICAP COUNTER.
- 8 NEW 1 HR. RATED WALL, TYP.
- 9 NEW URINAL PARTITION.
- 10 PROVIDE FURRING TO EXISTING COLUMN.
- 11 NEW STRUCTURAL COLUMN ON CENTERLINE OF EXISTING BEARING WALL. CENTERLINE TO BE ALIGNED WITH EXISTING STRUCTURAL BEAM ABOVE. SEE CEILING PLAN.
- 12 PROVIDE STRUCTURAL FLOORING TO INFILL STAIRWELL OPENING
- 13 PROJECTION OF NEW STRUCTURAL BEAM ABOVE PATIO DECK.
- 14 NEW FIREPLACE. SEE 4 / A-2.2.
- 15 INSTALL (N) WINDOW IN PLACE OF (E) DOOR OPENING.
- 16 PROJECTION OF EXISTING FACE OF SOFFIT ABOVE.
- 17 PROJECTION OF NEW FACE OF SOFFIT ABOVE.
- 18 NOT USED.
- 19 REWORKED EXTERIOR WALL. SEE DETAIL 12A-801
- 20 EXISTING RELOCATED DOOR. PATCH AND REPAIR AS REQUIRED.
- 21 NOT USED.
- 22 PROPOSED LOCATION OF NEW FIRE EXTINGUISHER CABINET. SEE NOTE BELOW.
- 23 NEW BAR COUNTER AND BAR EQUIPMENT TO BE PART OF A SEPARATE MILLWORK / FIXTURE SUBMITTAL. SEE 1A-7.0 INT. ELEV.
- 24 LOW WALL FOR NEW PLANTER.
- 25 PROVIDE STRUCTURAL FLOORING TO RAISE FLOOR 8" ON AREA INDICATED BY HATCH. SEE 7.0.3 / A-4.5.
- 26 INFILL EXISTING DOOR OPENING. MATCH EXISTING STLD WIDTH, TAPE, SAND SMOOTH AND PREP FOR NEW FINISHES.
- 27 G.C. TO VERIFY WALL 1 HR. FIRE RATING COMPLIANCE. MODIFY WALL FOR CODE COMPLIANCE IF REQUIRED.
- 28 PROVIDE NEW FURRING TO EXISTING INCLINED COLUMN.
- 29 EXISTING INCLINED COLUMN TO REMAIN.
- 30 PROJECTION OF NEW COLUMN FURRING ABOVE.
- 31 PROVIDE NEW MIRROR ON FOUR COLUMN SIDES.

ONE CLASS 2-A RATED FIRE EXTINGUISHER SHALL BE PROVIDED FOR EACH 6000 SQUARE FEET OF LIGHT HAZARD FUEL LOAD OR ONE CLASS 2-A EXTINGUISHER FOR EACH 3000 SQUARE FEET OF ORDINARY FUEL LOAD. TRAVEL DISTANCE SHALL NOT EXCEED 75 FEET. FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED ALONG NORMAL PATHS OF TRAVEL WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE (CCR 19 SEC 608 TABLE 2 AND SEC. 6).



UPPER LEVEL - KEY PLAN

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OWNER:
PACIFICA COMPANIES

JOB NAME:
INN AT MORRO BAY

60 STATE PARK ROAD,
 MORRO BAY, CA
PUBLIC AREA RENOVATION

JOB #: MORRO BAY - 2013

TITLE: UPPER LEVEL AREA A CONSTRUCTION PLAN

SCALE: AS SHOWN
 DRAWN BY: JB
 CHECKED BY: PKD/DD
 DATE: 09-19-2013

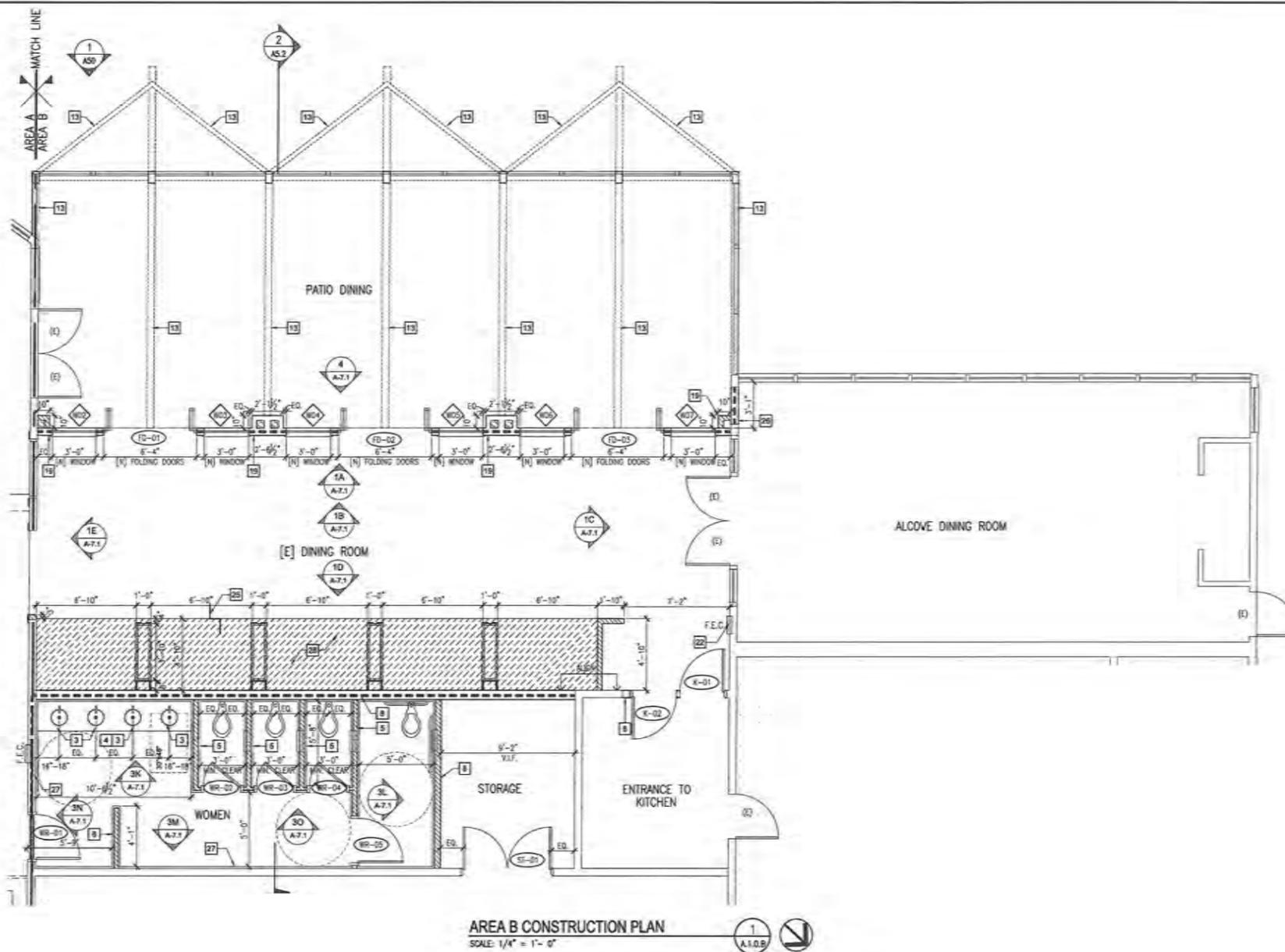
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REVISIONS: DATE:
 10-04-2013
 10-31-2013 PLAN CHECK REVISION
 01-17-2014 PLANNING REVISION

PRELIMINARY-SET
 BID-SET
 NOT FOR CONSTRUCTION
 CONSTRUCTION-SET
 PROGRESS-SET

SHEET #:

A.1.0A



AREA B CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION SYMBOLS

- [E] EXISTING DOOR TO REMAIN
- [N] EXISTING PARTITION TO REMAIN
- [---] NEW LOW PARTITION
- [---] NEW NON RATED PARTITION. SEE 19A-4.1
- [---] NEW FULL HEIGHT FIRE RATED PARTITION. SEE 19A-4.1

CONSTRUCTION NOTES

- 1 NEW RECEPTION DESK TO BE PART OF A SEPARATE MILLWORK / FIXTURE SUBMITTAL. SEE 19A-7.2 INT. ELEV.
- 2 PROVIDE NEW GRAPHIC ACCESSIBILITY SYMBOL @ 60" A.F.F. TO CENTER OF GRAPHICS. SEE T-0.3
- 3 NEW SINK LOCATION. SEE SHEET A-7.1
- 4 PROVIDE NEW MIRROR, SOAP DISPENSER @ 60" A.F.F. MAX. TYP. FOR ALL NEW SINKS.
- 5 NEW STALL PARTITION.
- 6 NEW NON-RATED PARTITION, TYP.
- 7 LOCATION OF 34" MAX. HT. HANDICAP COUNTER.
- 8 NEW 1 HR. RATED WALL, TYP.
- 9 NEW URINAL PARTITION.
- 10 PROVIDE FURRING TO EXISTING COLLAR.
- 11 NEW STRUCTURAL COLUMN ON CENTERLINE OF EXISTING BEARING WALL. CENTERLINE TO BE ALIGNED WITH EXISTING STRUCTURAL BEAM ABOVE. SEE CEILING PLAN.
- 12 PROVIDE STRUCTURAL FLOORING TO INFILL STAIRWELL OPENING.
- 13 PROJECTION OF NEW STRUCTURAL BEAM ABOVE PATIO DECK.
- 14 NEW FIREPLATE
- 15 INSTALL [N] WINDOW IN PLACE OF [E] DOOR OPENING
- 16 PROJECTION OF EXISTING FACE OF SOFFIT ABOVE
- 17 PROJECTION OF NEW FACE OF SOFFIT ABOVE.
- 18 NOT USED.
- 19 REWORKED EXTERIOR WALL. SEE DETAIL 19A-6H1
- 20 EXISTING RELOCATED DOOR. PATCH AND REPAIR AS REQUIRED
- 21 NOT USED.
- 22 PROPOSED LOCATION OF FIRE EXTINGUISHER CABINET
- 23 NEW BAR COUNTER AND BAR EQUIPMENT TO BE PART OF A SEPARATE MILLWORK / FIXTURE SUBMITTAL. SEE 19A-7.2 INT. ELEV.
- 24 LOW WALL FOR NEW PLANTER.
- 25 PROVIDE STRUCTURAL FLOORING TO RAISE FLOOR 8" ON AREA INDICATED BY HATCH. SEE T & S I.A.S.
- 26 INFILL EXISTING DOOR OPENING, MATCH EXISTING STUD WIDTH, TAPE, SAND SMOOTH AND PREP FOR NEW FINISHES.
- 27 C.G. TO VERIFY WALL 1 HR. FIRE RATING COMPLIANCE. MODIFY WALL FOR CODE COMPLIANCE IF REQUIRED.

ONE CLASS 2-A RATED FIRE EXTINGUISHER SHALL BE PROVIDED FOR EACH 6000 SQUARE FEET OF LIGHT HAZARD FUEL LOAD OR ONE CLASS 2-A EXTINGUISHER FOR EACH 3000 SQUARE FEET OF ORDINARY FUEL LOAD. TRAVEL DISTANCE SHALL NOT EXCEED 75 FEET. FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED ALONG NORMAL PATHS OF TRAVEL WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE (FOR T13 SEC 569 TABLED AND SEC 14)

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OWNER:
PACIFICA COMPANIES

JOB NAME:
INN AT MORRO BAY

60 STATE PARK ROAD,
MORRO BAY, CA

PUBLIC AREA RENOVATION

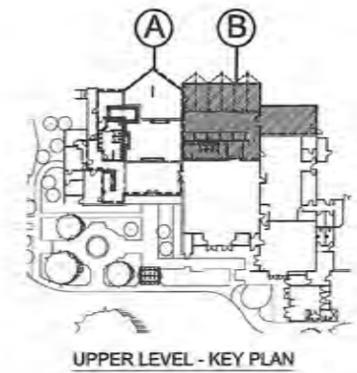
JOB #: MORRO BAY - 2013
TITLE: UPPER LEVEL AREA B CONSTRUCTION PLAN
SCALE: AS SHOWN
DRAWN BY: JB
CHECKED BY: PKIDD
DATE: 08-19-2013

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UPPER LEVEL - KEY PLAN

A.1.0B

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OWNER:
PACIFICA COMPANIES

JOB NAME:
INN AT MORRO BAY

60 STATE PARK ROAD,
 MORRO BAY, CA

**PUBLIC AREA
 RENOVATION**

JOB #: MORRO BAY - 2013

TITLE: BUILDING ELEVATION AND GAZEBO
 PLANS, ELEVATIONS AND DETAILS

SCALE:
 DRAWN BY: JB
 CHECKED BY: PKD/DD
 DATE: 09-19-2013

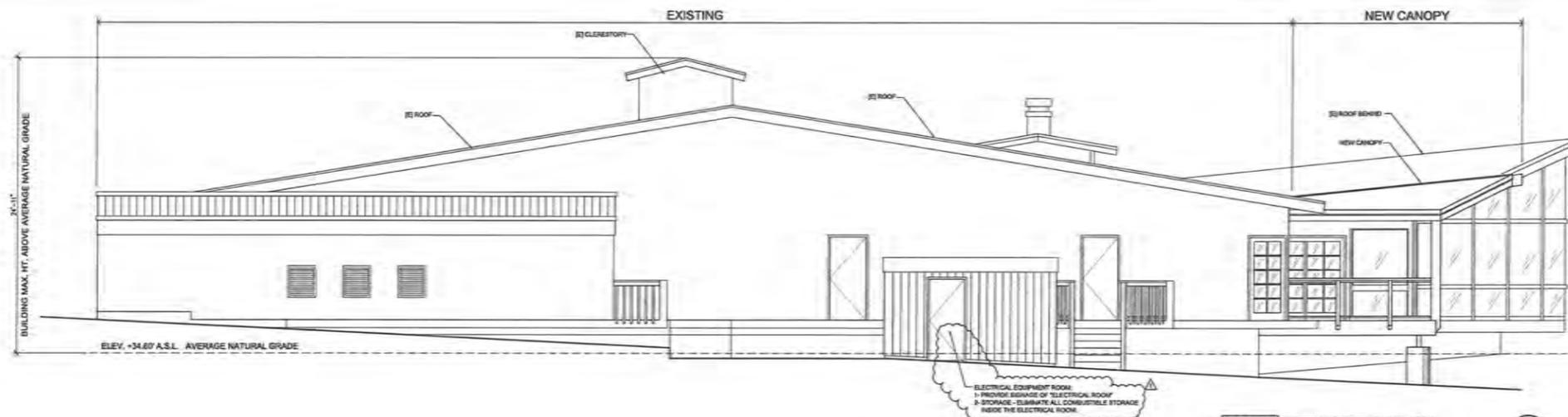
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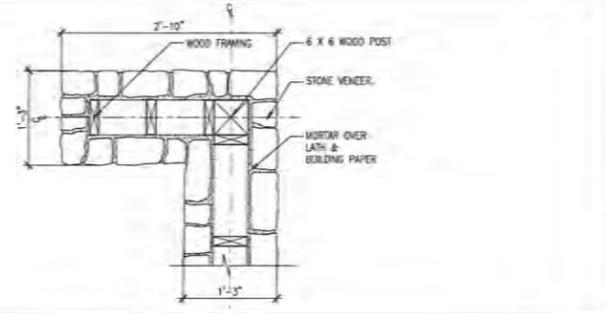
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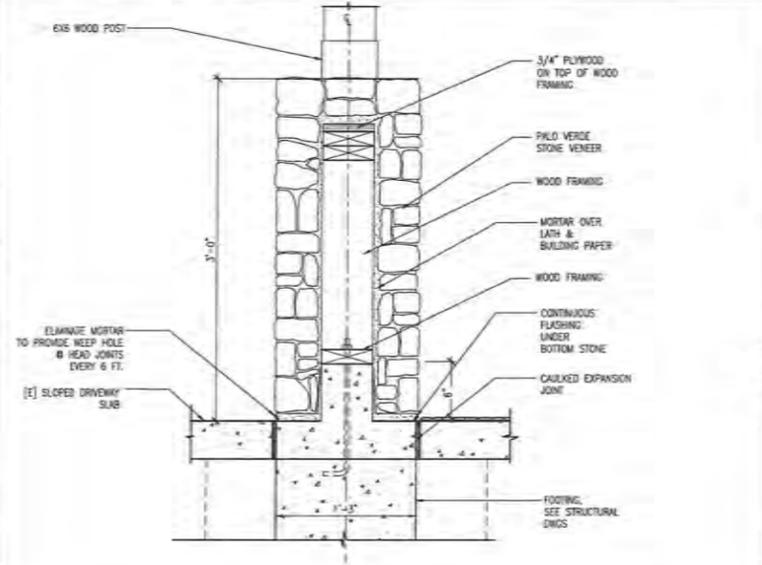
A5.1



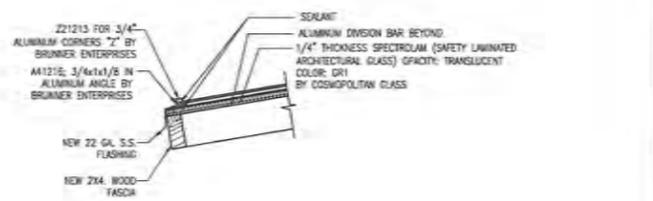
NORTH EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0"
 1 A5.1



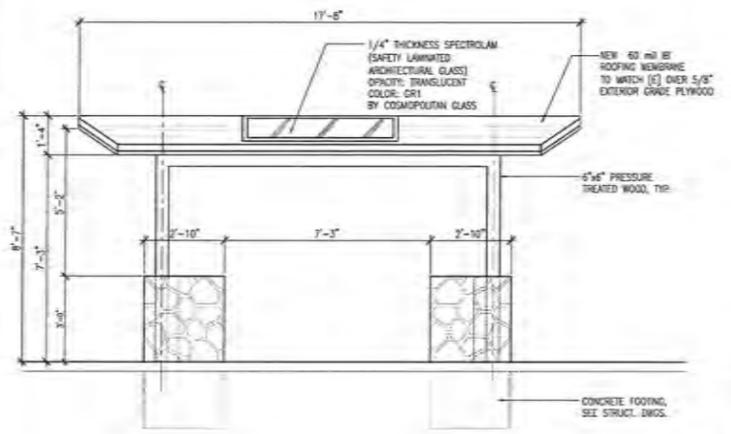
6 GAZEBO LOW WALL PLAN DETAIL
 SCALE 1"=1'-0"



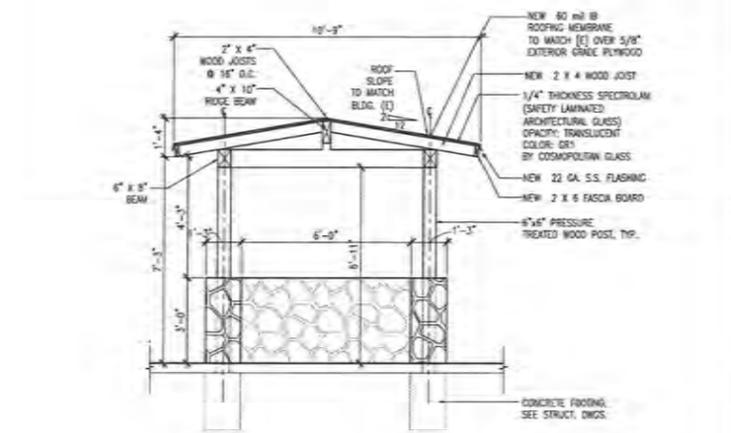
7 GAZEBO LOW WALL SECTION
 SCALE 1 1/2"=1'-0"



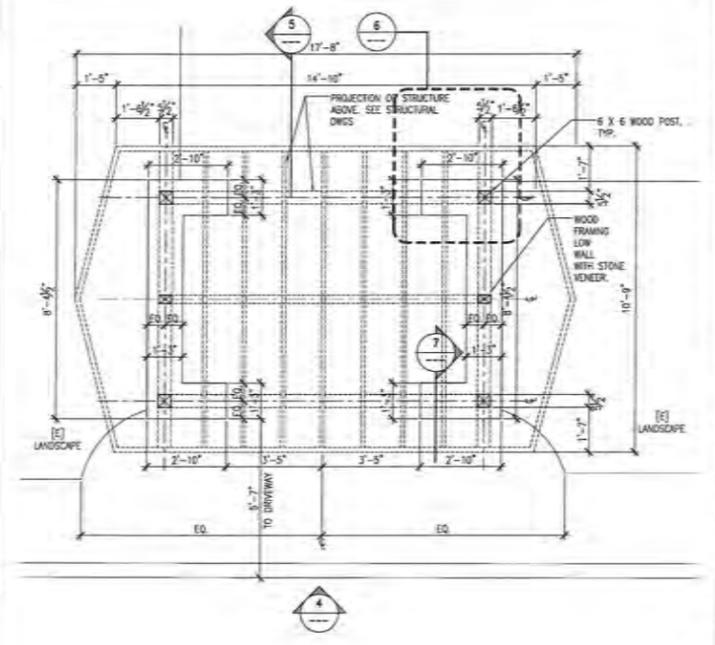
8 GLASS DETAIL
 SCALE 1 1/2"=1'-0"



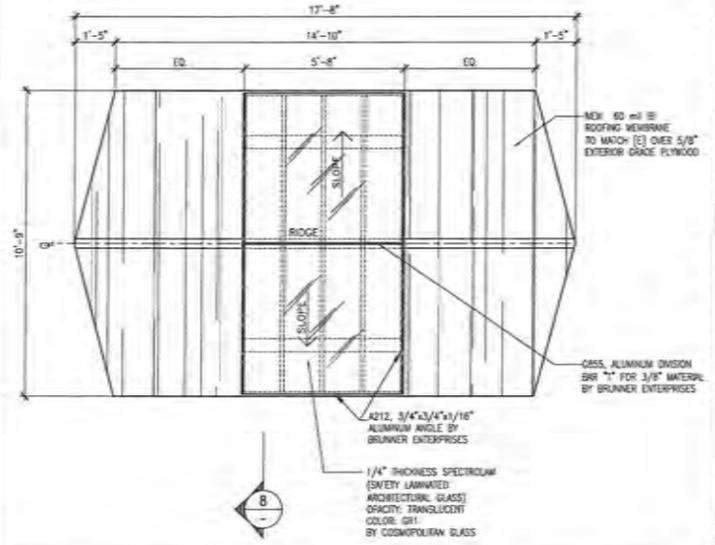
4 GAZEBO ELEVATION
 SCALE 3/8"=1'-0"



5 GAZEBO SECTION
 SCALE 3/8"=1'-0"



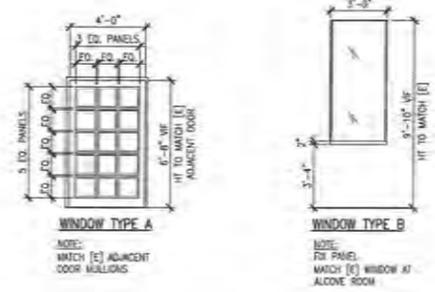
2 GAZEBO FLOOR PLAN
 SCALE 3/8"=1'-0"



3 GAZEBO ROOF PLAN
 SCALE 3/8"=1'-0"

WINDOW SCHEDULE

NO.	TYPE	SIZE	THK	GLAZING TYPE	WINDOW TINT	FRAME MATERIAL	FRAME FINISH	DETAILS			FIRE RATING	REMARKS
								HEAD	JAMB	SILL		
WD1	A	4'-0" X 6'-8" V.L.F. MATCH				WOOD	PT	MATCH [E]	MATCH [E]	MATCH [E]		
WD2	B	3'-0" X [E] HT. V.L.F. MATCH				WOOD	PT	MATCH [E]	MATCH [E]	MATCH [E]		DOUBLE GLASS



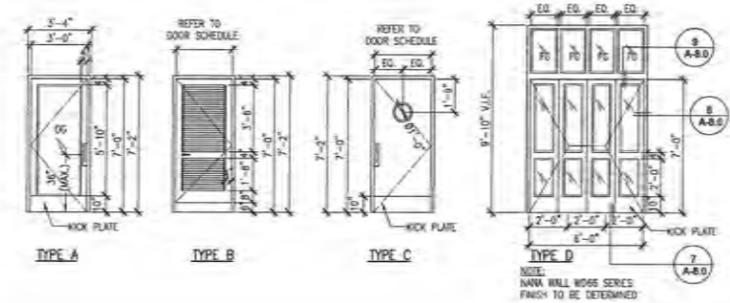
DOOR & WINDOW SCHEDULE ABBREVIATIONS

(E) = EXISTING
 FT. = FACTORY FRAME AND FINISH
 FG. = FINED GLASS
 GL. = GLASS
 HW. = HARDWARE
 NSTD. = NOT NOTED
 PK. = FRINGE HARDWARE
 PR. = FINISH
 PT. = PAINTED
 S/CL. = TRANSPARENT STAIN WITH CLEAR FINISH
 STL. = STEEL
 TEMPL. = TEMPERED AND LAMINATED GLASS
 SC WOOD = SOLID CORE WOOD
 W.C. = WIRE GLASS
 O.G. = OPAQUE GLASS

DOOR & GATE SCHEDULE

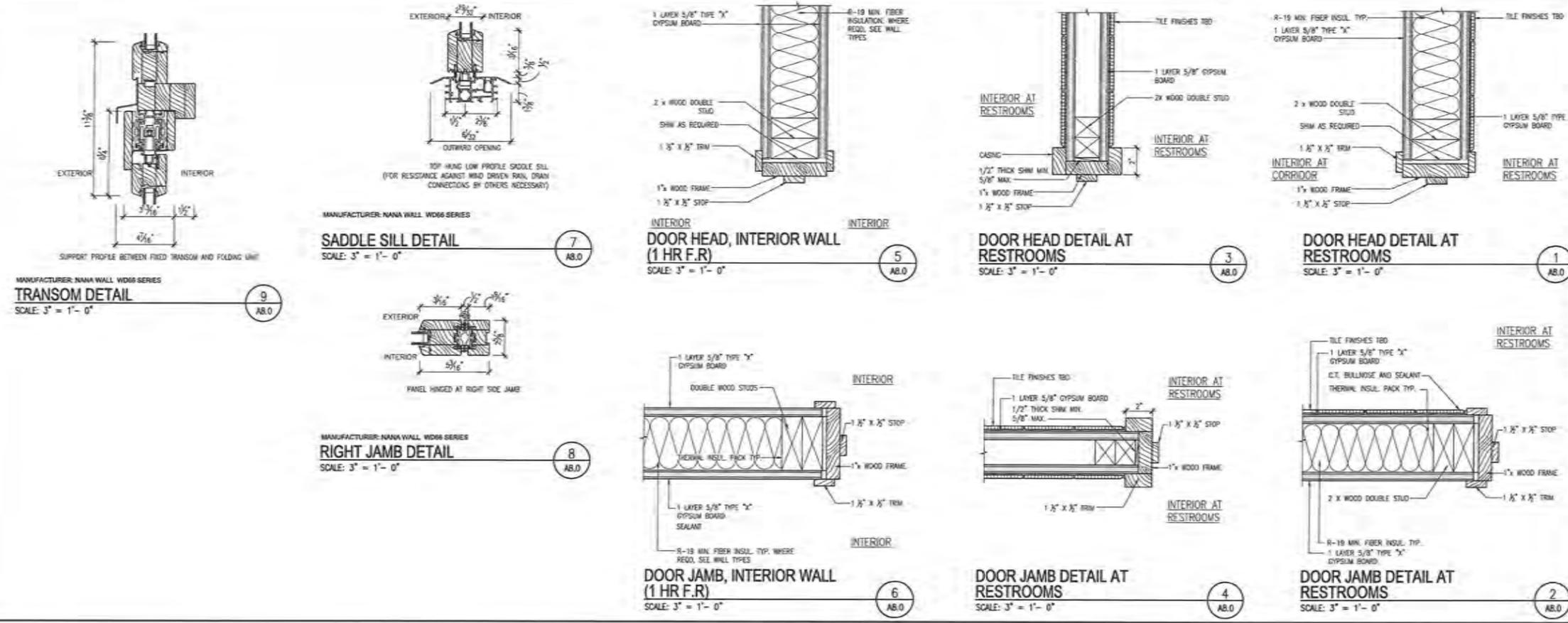
NO.	TYPE	SIZE	THK	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	DETAILS			FIRE RATING	HW GROUP	REMARKS
								HEAD	JAMB	SILL			
MR-01	A	3'-0" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	1/AB.0	2/AB.0	1/AB.1	20 MIN.	HW1	OPAQUE GLASS
MR-02	B	3'-0" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	3/AB.0	4/AB.0	3/AB.1		HW2	LOUVERED DOOR
MR-03	B	3'-0" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	3/AB.0	4/AB.0	3/AB.1		HW2	LOUVERED DOOR
MR-04	B	3'-0" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	3/AB.0	4/AB.0	3/AB.1		HW2	LOUVERED DOOR
WR-01	A	3'-0" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	1/AB.0	2/AB.0	1/AB.1	20 MIN.	HW1	OPAQUE GLASS
WR-02	B	2'-10" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	3/AB.0	4/AB.0	3/AB.1		HW2	LOUVERED DOOR
WR-03	B	3'-0" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	3/AB.0	4/AB.0	3/AB.1		HW2	LOUVERED DOOR
WR-04	B	3'-0" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	3/AB.0	4/AB.0	3/AB.1		HW2	LOUVERED DOOR
WR-05	B	3'-0" X 7'-0"	1 3/4"	SC WOOD	PT.	WOOD	PT.	3/AB.0	4/AB.0	3/AB.1		HW2	LOUVERED DOOR
FD-01	-	3'-0" X 7'-0"(3)	1 3/4"	SC WOOD	PT.	WOOD	PT.	9/AB.0	8/AB.0	7/AB.0		HW4	MANUFACTURER: NANA WALL WD66 SERIES
FD-02	-	3'-0" X 7'-0"(3)	1 3/4"	SC WOOD	PT.	WOOD	PT.	9/AB.0	8/AB.0	7/AB.0		HW4	MANUFACTURER: NANA WALL WD66 SERIES
FD-03	-	3'-0" X 7'-0"(3)	1 3/4"	SC WOOD	PT.	WOOD	PT.	9/AB.0	8/AB.0	7/AB.0		HW4	MANUFACTURER: NANA WALL WD66 SERIES
K-01	C	3'-0" X 7'-0"	1 3/4"	MANF.	PT.	WOOD	PT.	5/AB.0	6/AB.0	2/AB.1	20 MIN.	HW3	ELIASON LWP-6 SERIES SEE JAMB DETAIL 2/AB.1
K-02	C	3'-0" X 7'-0"	1 3/4"	MANF.	PT.	WOOD	PT.	5/AB.0	6/AB.0	2/AB.1	20 MIN.	HW3	ELIASON LWP-6 SERIES SEE JAMB DETAIL 2/AB.1
OFF-01	[E]												EXISTING RELOCATED DOOR
B-01	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	SINGLE STORAGE DR TO MATCH [E] BUILDING STD
ST-01	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	MATCH	DOUBLE STORAGE DOOR TO MATCH [E] BLDG. STD

DOOR TYPES



DOOR HARDWARE SCHEDULE

HARDWARE GROUP	DOOR DESCRIPTION	HARDWARE ITEM	SPECIFICATIONS	REMARKS
HW1	PUBLIC RESTROOM ENTRY DOOR	HINGES: PASSAGE LATCH LEVER STYLE: PUSH PLATE: FULL PLATE: CLOSER: KICKPLATE: DOOR STOP:	(1) BALL BEARING STAINLESS STEEL NRP 4 1/2" X 4" HINGES SCHLAGE SPARTA 880/85, BOTH LEVERS ALWAYS UNLOCKED STAINLESS STEEL HAGER 305 3" X 12" STAINLESS STEEL HAGER 45N HAGER 5200 AND 5201, 5202, 5203, 5204 ACCESSORIES STAINLESS STEEL HAGER 198S TRIMCO #1211 (HARD SURFACE CONDITION) NOTE: AT FULL SWING CONDITION INSTALL 4" FROM WALL AT OUTSIDE EDGE OF DOOR.	SPECIFIED DOOR CLOSERS SHALL HAVE A SWEEP PERIOD ADJUSTED IN SUCH A WAY THAT FROM A TO DEGREE 1" OPEN POSITION, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 9" FROM THE LATCH.
HW2	SC WD. TOILET STALL DOOR W/ LOUVER	HINGES: LOCK:	(1) BALL BEARING STAINLESS STEEL NRP 4 1/2" X 4" HINGES YALE 5425 LN CYLINDRICAL LEVER MORGAN LOCK INTERIOR THUMBTURN	
HW3	DOOR ASSEMBLY AND HARDWARE BY MANUFACTURER			
HW4	DOOR ASSEMBLY AND HARDWARE BY MANUFACTURER			



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OWNER:
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JOB NAME:
INN AT MORRO BAY

80 STATE PARK ROAD,
 MORRO BAY, CA

PUBLIC AREA RENOVATION

JOB #: MORRO BAY - 2013
 TITLE: DOOR & WINDOW SCHEDULE
 SCALE: AS NOTED
 DRAWN BY: JB
 CHECKED BY: PK/DDD
 DATE: 08-19-2013

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City of Morro Bay
Public Services/Planning Division
Current Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning Division
New Planning items or items recently updated are highlighted in yellow. Building permit updates are highlighted in green.

Approved projects are deleted on next version of log.

Agenda No: C-1

Meeting Date: March 5, 2014

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Hearing or Action Ready									
1	Inn at MB	60 State Park Road	1/28/14	CP0-429 & UP0-376	Commercial Improvements to Hotel	Under initial review. Project routed to City staff for review. Project consistent with previous building permit submittal. Comments received from State Park regarding trail. Project to be agendized for 3-19-14 PC meeting	Bldg -- Review complete, applicant to obtain building permit prior to construction		
2	Turner	360 Cerrito	12/12/13	CP0-415	Admin CDP for Demo/ Reconstruct 2,126sf SFR with 490sf garage	Under review. GN - Submittal complete. To be noticed for Administrative CDP with 10 day comment period. CJ. GN - Project Noticed 2/25/14. Admin CDP Permit issued 3/10/14.	BC- conditionally approved.		
3	Buquet	647 Estero	10/16/13	CP0-411	Admin Coastal Development Permit for new SFR	KM - Under review. Corrections returned 11/15/13. Meeting with applicant on 1-7-14 to discuss project. Applicant to resubmit plans per discussion with staff. Resubmittal received 1-22-14. Correction letter sent 2-27-14. Resubmitted and noticed 3-3-14. CJ.	Review complete, applicant to obtain building permit prior to construction. TP/FD Approves 11/6/13.	DH-Comments provided	
4	Adamson	1000 Ridgeway	9/12/13	CP0-408	Admin Coastal Development Permit for Demo/Reconstruct of single family residence.	Parking Exception previously granted by Planning Commission for reduced driveway length Oct. 2012. CJ. KM - Correction letter sent 10/11/13. Corrections received 11/18/13. Permit issued on 12/20/13 and project appealed on 12/30/13. Contacted applicant to request additional info for appeal hearing. Appeal to be heard by PC on or before 2/19/14. Continued to the 3/5/14 PC mtg.	Bldg -- Review complete, applicant to obtain building permit prior to construction	BCR: Resubmit plans to address comments noted in memo of 10/14/13 - drainage report and street widening required	
5		310 Kern	1/23/14	SE0-851	Appeal of Public Street Tree Removal	Appeal received on 1/23/14. Continued by PC to the April 16, 2014 meeting.	No review performed.		
30 -Day Review, Incomplete or Additional Submittal Review									
6	Romero	2931 Ironwood	3/6/14	CP0-428	New 2,496 SFR with 64 sf garage- Admin CDP				

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
7	Strasburg/Oehler	371 Piney	2/28/14	CP0-427	New SFR - Admin CDP				
8	Carver	431 Kern	2/5/14	CP0-426	Demo 1100sf SFR / Reconstruct 2274sf SFR				
9	Najarian	325 Zanzibar	2/3/14	CP0-425	New SFR - Admin CDP	Under initial review. Corrections comments emailed to Applicant 3-13-14.WM	TP-conditionally approved		
10	Beckett	175 Easter	2/3/14	CP0-424	Partial Demo & Reconstruct of SFR	Under initial review. Correction letter sent 3-13-14. GN	FD/TP-Cond App 2/24/14		
11	The Gas Company	0 Kings Ave	1/30/14	A00-019 (amendment of CP0-385)	Advance Meter Project - amend existing CDP to change location of 29' pole for DCU	Under initial review			
12	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	Upgrade of unmanned telecommunications facility	Under initial review. Emailed update to Applicant 3-3-14.	BC- conditionally approved.		
13	Groom	3039 Ironwood	1/15/14	CP0-422	New Single Family Home - concurrent permitting with Building Division	Under initial review Correction letter sent 3-13-14. GN	BC- conditionally approved.	BCR-under review FD/TP Approve.	
14	Dynegy	1290 Embarcadero	1/13/14	CP0-421	Demolition of outlying buildings at Morro Bay Power Plant	Under initial review. Spoke w/ Applicant representative 2-26-14 re status of project. Emailed update status re process to Applicant representative 3-3-14. CJ.	BC-please route to building.		
15	Cockrill	3031 Beachcomber	1/13/14	CP0-420	Addition to Existing Single Family Home in Coastal Appeals Area - concurrent permitting	Under initial review. Spoke w/ Applicant 2-27-14 re status of project.	BC- conditionally approved. FD/TP-Cond App 2/24/14		
16	Frye	3420 Toro Lane	1/13/14	CP0-419	New Single Family Home	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 CJ Met w/ Applicant 2-28-14 to review process - CJ.	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14		
17	McAlexander	480 Arcadia	1/13/14	AD0-086	Administrative Parking Exception for Building Permit application	Under initial review. Spoke w/ Applicant 1-30-14 regarding Building Permit app. Review determined non-conforming setback which require CUP for additions in excess of 25%. Spoke w/ Architect 3-13-14. WM/CJ.	BC-please route to building.		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
18	Leage	1185-1215 Embarcadero	1/9/14	UP0-058	Floating Docks - Phase 2	Under review	BC-under review.		
19	Wammack	505 Walnut	12/31/13	CP0-417	Coastal Development Permit for new SFR on vacant lot - concurrent permitting for Building Permit	GN - Incomplete letter sent 1/31/14	BC- conditionally approved.	BCR-under review	
20	Gonzalez	481 Java	12/30/13	UP0-374	Conditional Use Permit for Non conforming single family residence	KM - Under initial review. GN - Incomplete letter sent 1/30/14.	BC-under review.		
21	Jacober	456 Oahu	12/12/13	AD0-085	Parking Exception (concurrent with Building Permit application #30067)	KM- Under initial review. Submitted concurrently with building permit application for SF addition. Application deemed complete 1/8/14. Corrections requested 2-14. Resubmittal received and under review 3-12. CJ.Review detrmind non-conforming lot coverage which require CUP additiosn in excess of 25%. Correction Memo sent 3/14/014 GN	BC- conditionally approved.	DH-comments provided 1.8.14	
22	Turner	356 Yerba Buena	10/30/13	CP0-412	Single Family Addition & Remodel	Property located within ESH area. Wetlands delineation study received. Incomplete letter sent 11-26-13. CJ. Resubmittal received	BC- conditionally approved.TP-Cond Approve 11/25/13.		
23	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	
24	Hough	279 Main	10/7/13	CP0-409 & UP0-366	CDP and CUP to construct a single family home on vacant lot	CJ- Project reviewed and additional info requested 11-21-13. Met with Applicant's representative 11-21-13.Resubmittal received and under review. Project deemed complete. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove w/corrections 10/17/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	
25	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction. TP-Disapprove 11/19/13.	N/R	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
26	AT&T	788 Main St.	6/10/13	UP0-362 & CP0-403	Special Use Permit for Recycling Container Enclosure in Parking Lot	CJ- Application under Review. Deemed Incomplete. Letter sent 7-9-13. Resubmittal received 11-5-13. Letter of incompleteness sent 12-4 CJ. Resubmittal received 3-6-14	Bldg -- Review complete, applicant to obtain building permit prior to construction.TP-FD Disapprove Express Check 3/18/13 & FD Disapprove	RS- Rvw complete no frontage improvements required	
27	Goodwin	2920 Juniper	5/21/13	CP0-399	Coastal Development Permit for new SFR on vacant lot	CJ- Application deemed incomplete. Requested corrections 6/10/13.	BC-please route to building.	RS&DH-Plan revisions reqd per memo 5/29/13	
Continued projects									
28	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips.Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. Design contract currently under review.	
Projects in Process									
29	Parker/Steinmann	885 Embarcadero	11/6/13	UP0-372 (Amendment of CUP 28-02)	Amendment to Use Permit 28-02 to modify location of trash enclosure	KM - Corrections returned 11-21-13. Waiting on applicant to submit withdrawal letter.	BC- disapproved. Fire denied 11-26-13. TP-Disapprove 11/22/13.		
30	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17 and are awaiting their comment letter. Left messages for project Architect 10/18/13 advising him of Caltrans concerns.	

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31	Frye	244 Shasta	3/6/13	CP0-396 and AD0-081	Secondary Unit and Parking Exception.	Proposed creation of secondary unit from garage. Parking exception. First Noticed 5-16-13. Setbacks noted on plan incorrect, therefore project required to be re-noticed on 6/26/13. Applicant now required to comply with or amend existing permit #CP0-013 before proceeding with proposed project. Met with applicant's representative regarding previously approved permit. Waiting for applicant's resubmittal. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	No review performed.	N/R	
Environmental Review									
32	City of Morro Bay	N/A			MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	
33	Meissner	1387 Hillcrest	12/12/13	CP0-416	Admin CDP	KM - Under review. Project within threshold for proximity to cultural resources. Project deemed not exempt from CEQA and subject to an initial study. Letter sent to applicant 1/6/14. Resubmitted with Phase 1 Archaeological.	BC- conditionally approved.		
34	Lucky 7	1860 Main	3/12/13	CP0-394	Construct Fuel Island Canopy	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. CJ.	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
35	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	Parcel Map. 3 parcels and an open space parcel. A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14.	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
36	LaPlante	3093	11/3/11	CP0-365	New SFR. Resubmittal and Phase 1 Arch report 2/6/12.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. Applicant has requested a meeting on August 9, 2012 to review environmental study request. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant will provide MND fees with submittal of Biological report. 8/9/12 MR met with applicant and owner to discuss environmental issues. Would require a detailed MND. Applicant is still considering preparation of Biological Report. Staff met with applicant and his agent, discussed elements of the project especially the Biological report needs to be prepared. Draft biological report received and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Grants									
37	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with Coastal Conservancy staff to commence grant contract. Grant activity start date expected to be February 2014. RFP in process.	No review performed.	N/A	
38	City of Morro Bay	City-wide			CDBG funding to CAPSLO for operation of the Prado Day Center & Homeless Shelter, & Senior Nutrition Program	Staff has ongoing responsibilities for contract management.	No review performed.	N/R	
Project requiring coordination with another jurisdiction									
39	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
40	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 1/22/14.	
Preapplication projects									
41		Little Morro Creek Road			BMX park	Permit process info provided to applicant on 7-23-13. Staff met with applicant on 8/30/13 to provide further application requirement info. Provided additional clarifying information 11-19-13 to applicant who is finalizing use permit application package. No recent contact.	Met with applicant.	Met w/ applicant 10/15/13 to determine project scope	
Final Map Under Review									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
42	Zinngarde	1305 Teresa	5/9/11	Map	Final Map. Public Works review of the final map, CCR's and conditions of approval. Plans 8/5/11. Applicant resubmitted CCRS. Incomplete submittal as of 1/23/12. Resubmitted 4/4/2012	KW--Comments given to applicant, held meeting on 9/27/2011 regarding comments. Biological being review by applicant to address drainage issues. Biological Report approved by Planning as well as the CCRs. Tentative map improvements.	Improvements under construction.	DH - PIP submitted PIP to be built prior to map recordation. Public Improvements under construction.	
43	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH boundary.	No review preformed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	

Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
44	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
45	James Maul	530, 532, 534 Morro Ave	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted.	Please route project to Building upon resubmittal.	N/A	
Projects going forward to Coastal Commission for review									
46	City of Morro Bay		2/1/13	Ordinance 556	AMENDING THE MUNICIPAL CODE BY ADDING CHAPTER 17.27 ESTABLISHING REGULATIONS AND PROCEDURES ENTITLED "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC working on addressing issues	No review performed.	N/A	
Projects Appealed or Forwarded to City Council									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
47	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction.	No review performed.		
48	City of Morro Bay	N/A		n/a	Urban Forest Management Plan	Public Works anticipating to present plan at Nov. 20th PC meeting. Presented to Planning Commission at 11-20-13 meeting which provided comments to be forwarded to Council.	No review performed.		
49	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014 with remaining two in progress of being scheduled. C.J.	No review performed.	N/R	
50	Perry	3202 Beachcomber	9/8/11	AD0-067	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing. Appeal in abeyance until coastal application complete.	Review complete, applicant to obtain building permit prior to construction.	See above	
Projects in Building Plan Check									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
51	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013)	BC- Returned for corrections 1/9/13.	N/A	
52	Sherrod	938 Anchor	11/8/13	B-30053	SFR Add/ Remodel	KM -Under review. Corrections returned 12-9-13. Nonconforming rear yard setback requires a CUP.	BC- Resubmitted 0210/14.		
53	Francis	210 Andros	12/16/13	B-30070	SFR Addition	Approved. CJ	BC-Issued 2/26/14.		
54	McAlexander	480 Arcadia	2/20/14	B-30110	SFR Add/ Remodel	Correction memo 3/14/14 - GN Needs CUP.	BC- under review.		
54	Skousen	175 Bali	11/18/13	B-30055	SFR Add/ Roof Deck	Requested corrections 11/19/13. CJ. Approved 2-28-14. CJ/GN	BC- RTI 2/28/14.		
55	Cockrill	3031 Beachcomber	12/16/13	B-30068	SFR Add/ Remodel	Addition exceeds 10% in appeals area. Needs CDP. CJ	BC-On hold during Planning process.		
56	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC.	
57	Bowser	580 Downing	1/27/14	B-30091	SFR Addition/ Remodel	CJ- Requested corrections 2-10-14	BC-under review.		
58	Van Beuran	701 Embarcadero	1/14/14	B-30083	Repairs to existing piles in water	CJ- Waiting on Coastal Commission waiver	BC-RTI 2/28/14 pending ACOE permit.		No Harbor comments-EE
59	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Needs CDP	BC- on hold pending planning process.	Memo of 11029/13. CDP application should address soil	
60	Dyney	1290 Embarcadero	2/28/14	B-30117	New electric service		BC-under review.		
61	Ennis	595 Estero	2/19/14	B-30102	SFR Addition		BC- under review.		
62	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
63	Friends of MB Library	625 Harbor	12/18/13	B-30071	Remodel Library	KM - Needs CDP.	BC- out for corrections 02/03/2014		
64	Skiff	2639 Hemlock	1/6/14	B-30081	SFR Addition- construct shop		BC- met with applicant and returned plans for revision.		
65	Ferguson	605 Ironwood	4/24/13	B-29861	New SFR	KM - Approved 10/15/13.	BC- Issued 2/18/14.	BCR-11/01/13- Developer reduced impervious area to reduce requirements.	
66	Groom	3039 Ironwood	1/15/14	B-30084	New SFR	Needs CDP.	BC-under review.		
67	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions,	BC- on hold pending planning process.	Plans returned w/o comment until PIng issue resolved	
68	Bell	335 Kings	12/12/14	B-30066	Rooftop PV system	CJ- Approved.	BC-RTI 2/24/14.		
69	Schlesinger	2636 Koa	2/28/14	B-30118	SFR Remodel		BC-under review.		
70	Gong	217 Main	2/27/14	B-30115	New SFR		BC-under review.		
71	Solu	1050 Morro	2/13/14	B-30103	Remodel Motel, create 3 new guest units		BC-under review.		
72	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13.	BC-returned for corrections 12/16/13.	N/R	
73	Bae	2615 Maple	1/13/14	B-30096	Bathroom Remodel	CJ - no planning issues. Approved.	BC-under review.		
74	Moodey	690 Monterey	12/30/13	B-30075	R&R existing staircases	CJ- approved	BC-RTI.		

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75	Grandma's	307 Morro Bay Blvd.	2/19/14	B-30105	Tenant Improvements for yogurt shop	Approved 2-27. CJ.	BC-returned for corrections 3/4/14.		
76	Frantz	499 Nevis	9/23/12	B-29510	New SFR	CJ- approved	BC- RTI 9/16/2013.	N/A	
77	Jacober	456 Oahu	12/11/13	B-30067	SFR Add/ voluntarily remove illegal garage conversion.	KM - Under review. Corrections sent. Project needs CUP, Correction Memo sent 3/14/14	BC-returned for corrections 2/20/14.		
78	Heller	271 Palm	10/31/13	B-30045	Remodel	KM - Under review. Corrections returned 11-20-13.	BC- returned for corrections 11/22/13.		
79	Guardado	197 Rennell	2/23/14	B-30111	SFR Addition		BC-under review.		
80	Adamson	1000 Ridgeway	9/11/13	B-30008	New SFR	CJ - on hold until CDP approval. CDP under appeal.	BC- returned for corrections 12/30/13.	BCR: Revise plans per memo of 10/14/13	
81	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
82	Inn at MB	60 State Park	6/27/13	B-29884	Main Building Remodel	CJ- Corrections sent 7-17 including need to modify planning permit. Resubmittal received and response sent 12-18 to amend planning permit. Minor amendment necessary.	BC- Returned for corrections 12/19/13.	RS - Referred to State Parks for comment on frontage imprvmts	
83	Wammack	505 Walnut	12/31/13	B-30076	New SFR	CJ - needs CDP	BC-under review.		



City of Morro Bay

Public Services/Planning Division

Advanced Planning Work Program

Work Item	Requested by	Date Requested	Comments	Estimated Staff Hours	Planning Commission	City Council	Coastal Commission
Updating the Strategic plan matrix for managing the greening process	City Council	Annually	Original green matrix went to P.C. on 7/6/09 and then to C.C. on 12/14/09. Now subject to annual updates	20 hours	Annual Updates	Annual Updates	
CEQA Implementation Guidelines	City Council	2006	CEQA guidelines were adopted in March 9, 1981 need to be updated.	120 to 160	TBD	TBD	NA
Climate Action Plan / Greenhouse Gas Stakeholder Meeting			With adoption of Climate Action Plan by Council, staff working with Cities and County in a GHG Stakeholder meeting to discuss implementation, monitoring and report, status of grant applications to implement Climate Action Plan.				
North Main Street Parking Plan	City Council	2011	Text amendment to be review by Planning Commission and PC to make recommendation to City Council 4/18/12 PC mtg. City Council took action on June 3, 2012 and Approved the amendment. Text Amendment submitted to California Coastal Commission.	100	4/18/2012	6/4/2012	TBD
Sign Ordinance Update	City Council	2010	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. Planning Commission made recommendations and forwarded to Council. Anticipate a City Council public hearing on the draft ordinance on May 2011. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item shall be brought back to City Council first meeting in November. Workshops scheduled September 29, 2011 and October 6, 2011.-Workshop results going to City Council December 13, 2011. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013 Revised Sign Ordinance presented in October 2013 with direction to staff to conduct sign workshops in each of the four sign districts. Sign meetings held in the Quintana and Downtown districts as of March 2014. Remaining two workshop to be held.	150 to 250 + consultant hrs	Project went to P.C. on May 16, 2012. At this meeting staff was given several tasks to accomplish prior to the June 20, 2012 meeting including the following: bring back survey results differentiating between the surveys, a new matrix with all definitions including those new definitions provided by the Commission, bring back pictures of signs, clarification of the difference between internally and externally illuminated signs, limitations on materials, encourage increase in window signs, add a column for staff recommendations, define shopping center, enlarge the downtown area.	TBD	
Wireless Ordinance	City Council	2009	Text amendment. Submitted as an LCP amendment to Coastal Commission. Comments received. Staff working to address comments from Coastal staff.				
Updated Zoning Ordinance	CC based on CCC letter	2010	Project on hold pending additional grant funding.	1,800	TBD	TBD	TBD
Updated General Plan/LCP	CC based on CCC letter	2010	Subcommittee formed. Meetings held are: 11/9/11 to develop plan of action, 12/7/11 to review Access & Recreation Element. Changes were made but not yet finalized. 1/9/12 to review Harbor Resources Element Next meeting scheduled for 1/30/12 to discuss Visual Resources. No additional meetings held. Work plan for the update of the General Plan and LCP due back to City Council on June 25, 2013	1,800	TBD	TBD	TBD
2014 Housing Element Update		2013	The City of Morro Bay is required to update their Housing Element (5th Cycle). The update is due June 14, 2014. Staff will be sending out an RFP for a consultation to assist with the preparation of the update. PC Special Workshop to be held 3/12/14. Stakeholders Round Table Meeting to be held 3/18/14.				



AGENDA NO: D-1

MEETING DATE: March 19, 2014

Memorandum

TO: PLANNING COMMISSIONERS

FROM: ROB LIVICK, PUBLIC SERVICES DIRECTOR

EFFECTIVE: MARCH 13, 2014

SUBJECT: SCHEDULE OF REGULAR MEETING DATES FOR 2014

Meeting Days

Planning Commission meetings are held on the 1st and 3rd Tuesday of the month unless a meeting falls on a City holiday where the meeting would then be held the next day (Thursday) or has been cancelled by the Commission during the annual adoption of the meeting calendar which typically occurs at one of the January meetings. Keeping in line with the Council adopted meeting schedule for July to accommodate summer vacation schedules, there will be no second July meeting.

Regular meeting dates for the remainder of 2014 are as follows:

- April 1
- April 15
- May 6
- May 20
- June 3
- June 17
- July 1
- August 5
- August 19
- September 2
- September 16
- October 7
- October 21
- November 4
- November 18
- December 2
- December 16

Joint meeting dates for 2014 have not yet been scheduled by Council.

Agenda Packets

Agenda packets are prepared the week prior to the meeting and are distributed to Commissioners and the public by the end of day the Thursday before the meeting. As Commissioners have iPads, you will receive an electronic copy of the agenda and a full set of plans for any item(s) on the agenda.

Notification that the agenda packet is ready for Commissioners is done through the City's website Notify Me email subscription service. After you sign up, you will receive email notification when the agenda packet is uploaded to the website, including a link to the agenda, and that is your signal that full sets of plans will be in your box at the Public Services office for pick up.

To sign up for Notify Me, please go to <http://www.morro-bay.ca.us/notifyme> and follow the instructions to subscribe. Under the Notify Me list section, you will select Agenda - Planning Commission. Shortly after subscribing, you will receive a confirmation email that you will need to respond to by clicking on the link in the confirmation email. After you have subscribed, you will now be notified by email when the Planning Commission agenda has been posted to the City's website.

If you encounter any difficulties subscribing to the Agenda - Planning Commission Notify Me list, please contact the Management Analyst at 772-6263.