



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, August 5, 2014
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft
Vice-Chairperson Gerald Luhr
Commissioner Michael Lucas
Commissioner John Fennacy
Commissioner Richard Sadowski

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Public Services' Office Assistant at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

- A-1 Approval of minutes from the Planning Commission meeting of June 17, 2014
Staff Recommendation: Approve minutes as submitted.
- A-2 Approval of minutes from the Planning Commission meeting of July 1, 2014
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS - None

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** #AD0-091 Variance

Site Location: 938 Anchor Street, Morro Bay, CA

Variance: Request to allow a 7.56-foot rear setback in the R-1 zone where the Zoning Ordinance requires 10% of the lot depth which, in this case, is 10 feet.

CEQA Determination: Categorically Exempt, Section 15301, Class 1

Staff Recommendation: Deny the variance

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

C. UNFINISHED BUSINESS

- C-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

D. NEW BUSINESS - None

E. DECLARATION OF FUTURE AGENDA ITEMS

F. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on August 19, 2014, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – JUNE 17, 2014
COMMUNITY CENTER MULTI PURPOSE ROOM – 6:00 PM

PRESENT:	Robert Tefft	Chairperson
	Gerald Luhr	Vice Chairperson
	Michael Lucas	Commissioner
	Richard Sadowski	Commissioner
STAFF:	Rob Livick	Public Services Department
	Brandon Ward	Assistant City Attorney
	Whitney McIlvaine	Contract Planner
	Cindy Jacinth	Associate Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PRESENTATIONS - None

PUBLIC COMMENT

Chairperson Tefft opened Public Comment period.

Susan Heinemann, Morro Bay resident, stated she would like the Commission to have planning staff continue the process of defining criteria for neighborhood compatibility.

Ted Demonte, Morro Bay resident, stated he would like the Commission to have planning staff prepare a neighborhood compatibility document and include public participation.

Nancy Bast, Morro Bay resident, stated the need to work on good criteria for defining neighborhood compatibility.

Chairperson Tefft closed Public Comment period.

Commissioner Lucas asked if the Commission can direct staff. Livick replied no and noted Council directed staff to bring back a review of neighborhood compatibility history, develop a time line, project costs and bring it to the Commission before taking it to Council.

Commissioner Sadowski asked when it would come back to the Commission. Livick replied before the end of the year.

Commissioner Tefft asked if the process would start out with a general discussion or go right to the specifics. Livick replied Council direction is to review the history of where City has been on this issue, noting a lot of work has been done on this already, before moving forward and there will be community discussion on this item.

Commissioner Luhr commented that previously a committee was appointed on this and the community was split on the approach.

Chairperson Tefft asked if an ordinance comes from this process, would it be in a zoning ordinance. Livick replied yes and the City would modify the LCP that would need Planning Commission, City Council and Coastal Commission approval.

A. CONSENT CALENDAR

- A-1 Approval of minutes from the Planning Commission meeting of April 15, 2014
Staff recommendation: Approve minutes as submitted
- A-2 Approval of minutes from the Planning Commission meeting of May 6, 2014
Staff recommendation: Approve minutes as submitted.
- A-3 Approval of minutes from the Planning Commission meeting of May 20, 2014
Staff recommendation: Approve minutes as submitted.
- A-4 Approval of minutes from the Planning Commission meeting of June 3, 2014
Staff recommendation: Approve minutes as submitted.
- A-5 Approval of Resolution 15-14 Granting the Appeal of the Administrative Coastal Development Permit (CP0-408) FOR 1000 Ridgeway and Denying the Project with Adoption of Findings.
Staff Recommendation: Approve Resolution as submitted.

MOTION: Vice Chairperson Luhr moved to approve the consent calendar. Commissioner Lucas seconded the motion and the motion passed unanimously. (4-0)

B. PUBLIC HEARINGS

- B-1 **Case No:** #SP0-141 Sign Exception
Site Location: 1105 Morro Avenue
Appeal: Appeal of a Director's determination to deny a two-year extension for a sign exception permit which allowed a commercial off-premises sign in a residential neighborhood for a period of two years.
CEQA Determination: Categorically Exempt, Section 15305, Class 5
Staff Recommendation: Deny the appeal
Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

McIlvaine presented the staff report.

Vice Chairperson Luhr asked if a request for an encroachment permit for the sign came before the City today would it be denied at the staff level. Livick replied yes.

Commissioner Lucas and Jacinth discussed the status of the sign ordinance.

Commissioner Lucas asked if the mobile home park had a percentage of the sign space available, could someone use the sign. Jacinth replied no, noting off premises signs are prohibited.

Chairperson Tefft, Livick and McIlvaine discussed how the original period of two years was arrived at by Council.

Chairperson Tefft opened Public Comment period.

Cathy Novak, representative for Virg's Fishing and Ms. Sharon Moores, clarified Ms. Moores and Virg's Fishing is no longer part of the request and appeal for a time extension.

Chairperson Tefft closed Public Comment period.

Chairperson Tefft, Vice Chairperson Luhr and Commissioners Lucas and Sadowski stated support for the staff recommendation.

MOTION: Vice Chairperson Luhr moved to deny the appeal on SP0-141 and adopt the Resolution in Exhibit A. Commissioner Lucas seconded the motion, and the motion passed unanimously. (4-0)

B-2 **Case No.:** #UP0-120/AD0-024 Conditional Use Permit and Variance for a 6-unit hotel
Site Location: 1170 Front Street
Permit Time Extension Request: Request for an additional two-year time extension to inaugurate the hotel project permitted pursuant to the conditional use permit and variance cited above.
CEQA Determination: Mitigated Negative Declaration, 2006
Staff Recommendation: Approval
Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

McIlvaine presented staff report.

Commissioner Lucas asked if this is a private or city parcel and if only approving permits to be extended. McIlvaine replied it is a private parcel and only approving permits to be extended.

Commissioner Sadowski and McIlvaine discussed the number of time extensions previously granted and how many extensions can be granted.

Vice Chair Luhr asked if there has been any movement at the Coastal Commission level. McIlvaine replied the Applicant was granted a one year time extension and would need to reapply for a Coastal Permit for this project as the permit has expired.

Chairperson Tefft opened Public Comment period.

Cathy Novak, Applicants' representative, stated since there is a new property partner, they need a little more time to review the project.

Commissioner Lucas asked if the purpose of the request is to determine if the Applicant wants to do this project and that if they decide on something else, would they need to start the process all over again. Novak replied yes.

Chairperson Tefft asked if the downturn in the economy made the project not viable economically. Novak replied yes.

Chairperson Tefft asked now that the economy was improving would this project be viable or if significant modifications need to be made. Novak replied it is still under discussion by the Applicants.

Chairperson Tefft closed Public Comment period.

Commissioner Lucas stated support for the time extension.

Vice Chairperson Luhr asked if the plans change significantly, would it come back to the Commission. McIlvaine replied yes.

Vice Chair Luhr stated he prefers a short extension noting his concern with the permit languishing. McIlvaine noted a condition could be added approving the two year extension and that an application be submitted to the Coastal Commission within a certain period of time. Vice Chairperson Luhr stated support for that.

Commissioner Sadowski stated with all the changes since 2006, the process needs to start over.

Chairperson Tefft reopened Public Comment period.

Barbara Doerr, Morro Bay resident, stated major changes had occurred and requested the Commission deny the extension request.

Chairperson Tefft closed Public Comment period.

Chairperson Tefft reported he had ex parte communication with the Applicants prior to the meeting and stated support for the extension.

Chairperson Tefft, Vice Chairperson Luhr, Commissioner Lucas and Livick discussed differences between 6 month and 2 year extensions.

MOTION: Vice Chairperson Luhr moved to grant a one year time extension to for Conditional Use Permit #UP0-120 and Variance #AD0-024 that shall expire 6/17/15. Commissioner Lucas seconded the motion and the motion passed. (3-1, Commissioner Sadowski voting no)

B-3 **Case No.:** #A00-021

Site Location: Citywide

Applicant: City of Morro Bay

Request: Consideration for the 2014-2019 Housing Element Update and associated Negative Declaration with forwarding of a recommendation to the City Council. The Housing Element has been updated at this time in response to California Government Code Section 65588(b), which requires Housing Elements to be updated at specified intervals.

CEQA Determination: Negative Declaration, SCH#2014051053

Staff Recommendation: Forward a favorable recommendation to City Council to adopt the Negative Declaration and to approve the 2014-2019 Housing Element Update as conditionally certified by the State Department of Housing and Community Development.

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

Jacinth presented staff report.

Sinsheimer presented update of the Housing Element process noting HCD is happy with draft.

Vice Chair Luhr commented the report is extremely well done.

Commissioner Lucas expressed concern to cap growth based on water, noting he would like to have a gray water requirement rather than as an option like it is now. Livick replied the growth cap came from a citizen initiative and would require going back to the public to change the cap. Livick noted the Council recently modified their WEU allocation requirements so new WEUs need to be offset on a 2 to 1 ratio, but did not dictate how the offset would occur leaving it up to the developer to define.

Commissioner Lucas and Sinsheimer discussed the concept of overpayment on page 33, noting the analysis indicates there is an affordability issue.

Commissioner Sadowski asked if the 2500 square foot rule for homes should be in this document. Jacinth replied criteria like that would be in the zoning ordinance.

Commissioner Sadowski asked if Morro Bay has never met its low income quota. Jacinth noted the Housing Element has made a policy to encourage and incentivize affordable housing development.

Chairperson Tefft opened Public Comment period and seeing none closed Public Comment period.

Commission Sadowski and Livick discussed the desalination plant permits and wells in the Chorro basin.

Commissioner Sadowski stated the update is optimistic regarding the water situation in the City and would like to see more clarity in the report. Sinsheimer replied what we are required to do for the Housing Element is plan for the City's regional housing needs allocation (RHNA) of 155 units and assess whether there is enough water to meet the RHNA. Livick updated the Commission on State Water, noting the City is working with its partners in the county on other ways to deliver water to Morro Bay.

Vice Chair Luhr stated the City has seen a 200 acre feet per year reduction in water use with the growth that has been allowed, noting new and remodel construction reduces overall water use.

Commissioner Lucas stated he would like a recommendation to make gray water mandatory. Sinsheimer asked if it would be appropriate to add another program to include solar, renewable energy or water conservation technologies or measures. Commissioner Lucas said it could be added to say consider requiring solar or other renewable energy and gray water reclamation techniques in new construction.

Vice Chairperson Luhr expressed concern about the requirement for a remodel to upgrade the entire house to Title 24 standards with no threshold on the size of the permit to where people would not come in for a permit and the City would see more illegal construction occur. Chairperson Tefft noted that these are concepts and the specifics about thresholds would be enacted by ordinance. Sinsheimer added the program language is to consider so it is open ended at this point.

Chairperson Tefft stated support for the conservation and rehabilitation section in Chapter 7.

Commissioner Sadowski and Livick discussed the section regarding sewer capacity noting it needs to be refined to reflect where the City is currently with the WRF.

Jacinth clarified the recommended changes from the Commission: language to add clarity regarding recent water issues and Chorro water, revise section regarding sewer and where City is going with the WRF regarding collection, and modify program H-22.4 to consider requiring solar, gray water systems and rain water in new construction.

Vice Chairperson Luhr expressed concern with program H-22.6 noting he would like more clarification and not leave it as just a permit. Livick suggested the language be changed to say significant remodel or addition and Vice Chair Luhr agreed to that language change.

MOTION: Commissioner Lucas moved the Planning Commission adopt the Resolution in Attachment 1 as amended by comments from the Commission that recommends the City Council approve amendment A00-021 “2014-1019 Housing Element Update” and adopt Negative Declaration SCH#2014051053. Commissioner Sadowski seconded the motion and the motion passed unanimously. (4-0)

UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

Jacinth reviewed the work program with the Commissioners.

D. NEW BUSINESS - None

E. DECLARATION OF FURTUE AGENDA ITEMS

Chairperson Tefft, Commissioners Sadowski and Lucas, and Livick discussed the LCP grant and update. Livick noted staff could bring an item to the Commission regarding the LCP update.

Commissioner Luhr and Livick discussed the Measure D area in relation to review of new businesses to ensure conformance with the measure.

F. ADJOURNMENT

The meeting adjourned at 8:01 p.m. to the next regularly scheduled Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on Tuesday, July 1, 2014 at 6:00 pm.

Robert Tefft, Chairperson

ATTEST:

Rob Livick, Secretary

AGENDA ITEM: A- 2

DATE: August 5, 2014

ACTION: _____

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –JULY 1, 2014
COMMUNITY CENTER MULTI PURPOSE ROOM – 6:00 PM

PRESENT:	Robert Tefft	Chairperson
	Gerald Luhr	Vice Chairperson
	John Fennacy	Commissioner
	Michael Lucas	Commissioner
	Richard Sadowski	Commissioner
STAFF:	Rob Livick	Public Services Department
	Brandon Ward	Assistant City Attorney
	Whitney McIlvaine	Contract Planner
	Cindy Jacinth	Associate Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PRESENTATIONS - None

PUBLIC COMMENT

Chairperson Tefft opened Public Comment period.

Gary Hickson, Morro Bay resident, stated the Commission is doing a good job.

Chairperson Tefft closed Public Comment period.

CONSENT CALENDAR – None

PUBLIC HEARINGS - None

UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and File

Jacinth reviewed the work program with the Commissioners.

NEW BUSINESS

D-1 Discussion of Beach Street Area Specific Plan

McIlvaine presented the staff report.

Livick commented on the financing plan for the capital improvements.

Commissioner Sadowski stated the Surf Street staircase does need replacement and the deck is a great idea. Commissioner Sadowski and Livick discussed grant funding and conditions relating to ADA requirements.

Commissioner Sadowski and McIlvaine discussed the odor, light, and glare issues related to commercial use, with McIlvaine noting at the time the plan was developed it was related to fish processing that really is not going on anymore.

Vice Chairperson Luhr stated the plan seems inadequate and would like to go into detail street by street to address the issues in the plan, such as architectural guidelines or specifications, parking lot shielding, sidewalk planning, undergrounding utilities, pedestrian circulation, protection of low income housing, and guidance for development of the mobile home parks into low income one story units.

Vice Chairperson Luhr stated he would like community workshops and input and liked the idea of a deck area at the Surf Street stairway.

Commissioner Lucas stated he has similar concerns as Vice Chairperson Luhr and said with the beautiful view at the end of Surf Street there is an opportunity for the Veteran's Hall which gets lots of use, noting that this part of town is a no man's land between things and lacks the kind of drive like Market Street to come down Surf Street to that stairway.

Commissioner Lucas stated the current plan tried to protect industrial uses and tried to make more commercial spaces so if the City wants to change things, he would like communication with the neighborhood to hear their concerns, reach out to the various constituent groups, and have workshops.

Commissioner Fennacy agreed with getting more community input, stated he supports the view decks and noted improvements to the streets and access to the Embarcadero from Surf Street are major areas of needed improvement, and expressed concern with funding for capital improvements.

Chairperson Tefft stated he liked the idea of the view decks, including Commissioner Lucas' idea of a plaza adjoining the view deck, and expressed concern that the plan has a specific standard that does not apply anywhere else in the City regarding protecting private views, noting the City has previously said it does not protect private views.

Chairperson Tefft stated he would like to:

- Examine the logic for a public view access fee in Area A
- Examine public view access in-lieu fees in both Area A and B, noting they are too low
- Examine the justification for 15ft setbacks
- See more on the transition between the commercial and residential areas in Area D
- Re-examine if visitor serving/commercial is appropriate for the area
- Re-examine mobile home park condition regarding perimeter screening in Area F
- See recognition in Area F and G that it is multi-family residential
- See neighborhood character acknowledged in the plan
- See a timeline included for capital projects

Commissioner Lucas, Livick and McIlvaine discussed streets relating to street widths, parking, landscaping and Public Works infrastructure projects.

Commissioner Lucas, McIlvaine and Jacinth discussed the ability to allow other uses to occur in the plan area rather than allow a property to sit unused.

Chairperson Tefft expressed concern with not having a clearly defined visitor serving commercial area.

Vice Chairperson Luhr stated the area could become vibrant with a mix of commercial and residential uses through connection to the Embarcadero.

Commissioner Sadowski stated the area would lend itself to more commercial and pedestrian walkways, noting there could be an integration of the development of power plant site with this area.

Chairperson Tefft stated he would like to see something to create more public/private partnerships relating to parking.

Commissioner Lucas and McIlvaine discussed the boundaries of the plan.

Commissioner Fennacy asked if there is standard for the longevity of the plan. McIlvaine noted the plans can be amended at any time.

Vice Chairperson Luhr, McIlvaine and Livick discussed the issue with parking requirements for individual commercial uses and the opportunity for a mixed-use parking ordinance.

Livick stated the staff would synthesize tonight's comments into a staff report to bring back to the Commission and would notice the public to solicit input.

E. DECLARATION OF FURTUE AGENDA ITEMS - None

F. ADJOURNMENT

The meeting adjourned at 7:25 p.m. to the next regularly scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on Tuesday, August 5, 2014 at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Rob Livick, Secretary



AGENDA NO: B-1

MEETING DATE: August 5, 2014

Staff Report

TO: Planning Commissioners **DATE:** August 5, 2014

FROM: Whitney McIlvaine, Contract Planner

SUBJECT: Variance (#AD0-091) Request to allow a rear-yard setback variance from 10 feet to 7.56 feet for a second-story addition to an existing nonconforming structure at 938 Anchor Street.

RECOMMENDATION:

DENY THE VARIANCE by adopting a motion including the following action(s):

- A. Adopt Planning Commission Resolution 18-14 (Exhibit A) which includes the Findings for denial of the setback variance as depicted on site development plans (Exhibit D) dated January 16, 2014.

APPLICANTS: Mike and Julie Sherrod

ARCHITECT: RRM Design Group

LEGAL DESCRIPTION/APN: 066-163-016

PROJECT DESCRIPTION: The applicants are requesting a rear-yard setback reduction to enable construction of a second-story addition with the same setback as currently exists for the first floor. The house was built in 1961, prior to City incorporation, with a rear setback of 7.56 feet. In 1984, the City of Morro Bay changed the minimum rear setback requirement in the Single Family Residential (R-1) zone from 5 feet to 10% of the average lot depth with a 10-foot maximum and a 6-foot minimum. The project site is on a lot with a depth of 100 feet. Therefore, the required rear setback is 10 feet.

Plans show a proposed second-story addition of 614 square feet plus a 130 square-foot second-story deck and a 271 square-foot roof deck. The project also proposes to add 62 square feet on the first floor to enable stairs to the second floor and roof deck.

PROJECT SETTING: The project is located in a residential neighborhood in the

Prepared By: WM

Department Review: _____

Morro Heights area of the City on a 5,000 square-foot (50' by 100') lot. The lot is nonconforming since the minimum lot size in an R-1 zone is 6,000 square feet. Housing in the surrounding area includes a mix of one- and two-story homes and a mix of older homes and newly remodeled homes. An informal Google Earth survey submitted by the applicants (attached as part of Exhibit B) indicates there are numerous examples of nonconforming setbacks in the neighborhood.

<u>Adjacent Zoning/Land Use</u>			
North:	R-1/Residential Use	South:	R-1/Residential Use
East:	R-1/Residential Use	West:	R-1/Residential Use

<u>Site Characteristics</u>	
Site Area	5,000 square feet where 6,000 is the minimum required
Existing Use	Single family residential
Terrain	Level to gently sloping
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	n/a
Access	Anchor Street

<u>General Plan, Zoning Ordinance & Local Coastal Plan Designations</u>	
General Plan/Coastal Plan Land Use Designation	Low/Medium Density Residential
Base Zone District	Single Family Residential (R-1)
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located outside the Coastal Appeals Jurisdiction

PROJECT ANALYSIS:

General Plan, Coastal Land Use Plan Consistency

The residential use is consistent with the General Plan and Coastal Land Use Plan designation of Low/Medium Density Residential. Neither of these documents specifically addresses rear setbacks. However, both documents address protection of neighborhood character (Coastal Land Use Plan p.208, General Plan p. IV-12). Locating the second-

story addition toward the rear of the structure reduces the visual impact of height and bulk from the street and is more in scale and character with other residences in the vicinity.

Zoning Ordinance Consistency

The residential use is consistent with the Single Family Residential (R-1) zoning designation which is "...intended to be applied to existing single-family residential areas of the city to provide for housing which is consistent and harmonious with existing development...". (Section 17.24.040)

Setbacks: In several City zoning districts setbacks are determined as a percentage of lot width and depth with a specified maximum and minimum dimension. Occasionally, this method has caused some confusion with project applicants who have interpreted the standard to mean there is a range of allowed setbacks. Current Zoning Ordinance requirements for setbacks render the existing structure nonconforming with regard to front and rear setbacks as shown in the table below.

<u>Zoning Ordinance Standards</u>		
	Standards	Proposed
Front-Yard Setback	20 feet	Existing 19.42'
Side-Yard Setback	10% of ave. width of lot with 5 ft. maximum and 3 ft. minimum In this case, 5 feet	6.06' and 12.42'
Rear-Yard Setback	10% of the ave. depth of lot with 10 ft. maximum and 6 ft. minimum In this case, 10 feet	Existing 7.56'
Lot Coverage	45% allowed	41.9%
Height	25 feet	24.5'
Parking	2 covered and enclosed spaces	2 covered and enclosed spaces

Additions to Nonconforming Structures: Zoning Ordinance Section 17.56.160 allows for additions to nonconforming structures with approval of a conditional use permit, but

only when the addition is conforming. In this case, the second-floor addition would also be nonconforming with regard to the required rear yard setback. Therefore, the applicants have applied for a variance.

Variance Application and Required Findings

The variance application for this project is attached as Exhibit B. As stated in the application supplement, California State law (Government Code Section 65906) provides for granting a variance from the strict interpretation of a zoning ordinance only when special circumstances apply to the property:

Variances from the terms of the zoning ordinances shall be granted only when, because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

Any variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

A variance shall not be granted for a parcel of property which authorizes a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

The applicant states that because of the property's location and surroundings, where numerous other properties were developed prior to the City's incorporation or prior to the City's adoption of more restrictive rear-yard setback standards, and are nonconforming with regard to current setback standards, the strict application of the zoning ordinance would deprive the applicants' property of privileges enjoyed by other properties in the vicinity with identical zoning. The applicants also maintain that approval of the variance would not be a grant of special privilege given the prevalence of existing nonconforming rear-yard setbacks in the immediate neighborhood.

The Zoning Ordinance (Section 17.60.060) states that variances may be granted when all of the following circumstances are found to apply:

- A. *Not a Special Privilege. That any variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not*

constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zoning district in which the subject property is situated;

It is not clear what condition could be applied to this project that would ensure approval of the variance is not a grant of special privilege.

B. Special Circumstances with Property. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification; and

The size, shape and topography of the subject lot are substantially the same as that of most other lots in the project vicinity. The applicants state that they would be denied privileges enjoyed by other properties in the vicinity if the strict application of the Zoning Ordinance were applied to their property since so many other properties in the vicinity are developed with nonconforming setbacks. However, all properties in the vicinity with nonconforming development are subject to the same zoning standards as the applicants' property.

C. Consistent with General Plan and LCP. That the variance is found consistent with the intent of the general plan and land use plan of the local coastal program.

The General Plan and Coastal Land Use Plan do not address rear yard setbacks. The Zoning Ordinance standards are noted above.

Previous Approval

The applicants received a ready-to-issue building permit notice in August, 2008 for plans substantially similar to the ones currently submitted (Previous plans did not include a roof deck). The plans were approved by the then Planning Manager. It is not clear from the record what the rationale was for the approval. (In 2005, the same person, then an associate planner, wrote a staff report for a project at 918 Mesa Street with the same lot size and zoning as 938 Anchor Street and listed the required rear setback as 10 feet.)

The previous building permit expired in September, 2010. In January, 2014, the applicants re-applied for a building permit. An attached letter (Exhibit C) from the Public Services Director, dated April 14, 2014, explains the applicable zoning standards and the applicants' options for requesting an exception.

CONCLUSION: Throughout the City of Morro Bay, there are numerous developed properties which do not conform to current Zoning Ordinance standards. The Zoning Ordinance acknowledges legal nonconforming uses and structures and specifies standards for their continuance, replacement, and alteration with the aim of reducing nonconforming uses and situations over time. Where structures are nonconforming, additions are allowed providing said additions meet current zoning standards. In this case, the applicant is asking for a nonconforming addition to a nonconforming structure. While the impact of this specific proposal may be relatively minor given the surrounding development, approval of the variance is contrary to the intent of the adopted Zoning Ordinance provisions (Chapter 17.56) regarding nonconforming uses and structures.

Staff recommends the Planning Commission deny the variance request by adopting Planning Commission Resolution 18-14 (Exhibit A) which includes the Findings for denial.

PUBLIC NOTICE: Notice of this item was published in the San Luis Obispo Tribune newspaper on July 25, 2014, and all property owners of record within 300 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION: No environmental determination is required for projects which are denied. If the project were approved, it could be found eligible for a categorical exemption from environmental review under the California Environmental Quality Act (CEQA) Section 15305, Class 5. Class 5 consists of minor alterations in land use limitations in areas with an average slope of less than 20%, which do not result in any changes in land use or density, including but not limited to: minor lot line adjustments, side yard and set back variances not resulting in the creation of any new parcel.

ACTION ALTERNATIVES:

1. Continue with direction to the applicant and staff.
2. Approve the variance. In order to approve the variance request, the Planning Commission must determine that the required variance findings can be made because of circumstances specific to the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 18-14
Exhibit B – Variance Application
Exhibit C – Letter from the Director dated April 14, 2014
Exhibit D - Plan Reductions dated July 10, 2014

EXHIBIT A

RESOLUTION NO. PC 18-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION TO DENY VARIANCE (AD0-091), FOR CONSTRUCTION OF A SECOND-STORY ADDITION WITH A REAR SETBACK OF 7.56 FEET WHERE 10 FEET IS REQUIRED AT 938 ANCHOR STREET.

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on August 5, 2014, for the purpose of considering an application for a rear-yard setback variance from 10 feet to 7.56 feet for a second-story addition to an existing nonconforming structure ; and

WHEREAS, notices of said public hearing were made at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA)

1. Pursuant to CEQA Guidelines Section 15270, CEQA does not apply to projects that are disapproved or denied by the approval body.

Findings for Denial

1. The project, as proposed, is not in conformance with the General Plan and Local Coastal Program because it is not consistent with the Zoning Ordinance which implements the General Plan and is part of the Local Coastal Program.
2. The project, as proposed, is not in conformance with the Zoning Ordinance in that it does not comply with the required rear-yard setback for the zone in which it is located or with the requirement that additions to nonconforming structures be conforming.

Section 2: Action. The Planning Commission does hereby deny Variance AD0-091 at 938 Anchor Street.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 5th day of August, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 5th day of August 2014.

EXHIBIT B



CITY OF MORRO BAY

Public Services Department
Planning Division

955 Shasta Avenue
Morro Bay, CA 93442
(805) 772-6577

RECEIVED

JUL 10 2014

City of Morro Bay
Public Services Department

VARIANCE APPLICATION

For Department Use Only:

Case No.: ADD-091

Variance Type: VAR

Minor VAR

Fees Paid: \$ 2637.00

Project Address: 938 Anchor Street, Morro Bay, CA 93442	
Existing Use: Single Family Residence	
Lot: 27 Block: 08 Tract: Morro Heights	APN: 066-163-016
Applicant: Mike and Julie Sherrod	Day Phone: 805-748-8572
Applicant Address: 938 Anchor Street, Morro Bay, CA 93442	
City: Morro Bay	State/Zip Code: CA 93442
Agent (if any): Same as Applicant	Day Phone: Same as Applicant
Agent Address: Same as Applicant	
City: Same as Applicant	State/Zip Code: Same as Applicant
Property Owner: Same as Applicant	Day Phone: Same as Applicant
Owner Address: Same as Applicant	
City: Same as Applicant	State/Zip Code: Same as Applicant

Acceptance of this application does not imply approval/authorization of this request. I realize that this application may be denied or that conditions may be attached to this request to assure compliance with applicable Municipal Code requirements.

Applicant Signature:	Date: <u>07.07.14</u>
Property Owner Signature:	Date: <u>07.07.14</u>

EXHIBIT B

ATTACHMENT A

1. PROJECT DESCRIPTION

Provide a complete narrative describing requested variance.

Applicant Response:

Background and Project Description. We have a two bedroom house located at 938 Anchor Street and our two children, Vincent and Camille, have been bunking since we bought the house in 2003. In 2008, we realized we needed a third bedroom and the simplest and most cost efficient solution was to build above our existing garage. This solution was selected because the addition is small (only about 600sf), preserves the views down the street to the ocean for our uphill-side neighbor by keeping the second floor to the back of the lot, and is affordable because we are utilizing the existing garage walls and foundation and simply adding a second floor.

Municipal Code Interpretation Inconsistency: Prior to hiring an architect, we convened a Pre-Application meeting with Planning Director, Mike Prater, to review the survey of our lot to see if we would have any issues moving forward with the addition. At the conclusion of that meeting he identified no issues, so we engaged an architect, structural engineer, and geotechnical engineer to prepare the plans. The process went smoothly and we completed the plan review process, paid our fees and were issued a Ready-to-Issue building permit (See Attachment B). The only thing left was to pay the remaining building permit fee to pull our permit and begin construction. However, in 2009, the Great Recession hit, and with uncertain financial times ahead, and after a couple extension requests through 2010, we reluctantly decided to let the permit expire.

Now, with the Great Recession behind us, we picked up where we left off, obtained construction financing, hired a contractor, and in November 2013 we resubmitted the same project for permitting, and to our surprise, were informed that we have an insufficient existing rear yard setback of 7.56 feet instead of 10.00 feet and cannot build what was previously approved even though the existing rear yard setback has not changed (See Attachments C & D). Over the past several months, we've been working with the Public Services Director and Planning staff to walk through the history of our project. What emerged is the fact that planning staff in 2008 interpreted the R-1 rear yard setback as a range between a 10-foot maximum and 6-foot minimum. Our project was within that range with a 7.56-foot rear yard setback, and therefore deemed compliant which is why we were issued the Ready-to-Issue building permit. The Public Services Director agreed the R-1 rear yard setback range interpretation was indeed used to permit our project, but now current planning staff is interpreting the municipal code differently to our detriment. Unfortunately, the previous planning staff's direction coupled with inconsistent application of building requirements has real cost implications for us.

EXHIBIT B

Ultimately, the City presented us with the following four choices to resolve the inconsistency between the previous and current planning staff's rear yard setback interpretation:

1. Withdraw our project.
2. Redesign our house to move the rear wall 2.44 feet. This will cost us about \$5,000 in additional architectural and structural engineering fees to rework the plans, plus an additional \$20,000 to \$25,000 in construction costs to demolish the existing foundation and wall, and build a new foundation and wall. From a property use and enjoyment standpoint, this option reduces the size of our current garage and reduces the square footage of the new living space to a point where the cost is greater than the benefit.
3. Apply for a Conditional Use Permit to leave the existing rear wall in its current location, but still move the second floor addition wall 2.44 feet. This will cost us approximately \$700 in permit fees, about \$5,000 in additional architectural and structural engineering fees, and additional \$25,000 to \$30,000 in construction costs to build a structural system to transfer the load of an offset second floor to the ground. Again, from a property use and enjoyment standpoint, this option reduces the square footage of the new living space to a point where the cost is greater than the benefit.
4. Apply for a variance to build what was previously permitted. This will cost us approximately \$2,500 in application fees plus additional environmental, noticing, and hearing fees.

With the first option, we lose our entire investment. In the second and third options, we incur significant additional cost to enjoy less livable space than was previously permitted in 2010. In the last scenario, we incur additional cost just to see if the City will let us build what was once permissible. All but the variance option results in a taking of a previously granted right to develop our property. Had we been informed of this setback issue at the Pre-Application meeting, or during the initial plan review, we would have made other decisions for improving our property instead of investing in the current design. As a result, we have spent approximately \$25,000 on permit fees, architecture, and engineering that is potentially lost due to no fault of our own.

Variance Request: From our perspective, the only option presented by City staff that will preserve our investment is to seek a variance to maintain our current rear yard setback, and extend the rear garage wall up to build our addition as previously approved and as currently shown in the construction plans. Our small addition, when completed, will be consistent with the pattern of development in our Morro Heights neighborhood in which approximately 50% of the lots have non-conforming rear yard setbacks (See Attachment E).

EXHIBIT B

2. EXPLANATION OF FINDINGS

Explain why the requested Variance does not constitute a granting of special privileges inconsistent with the limitation upon other properties in the vicinity also in the same zone district as the subject property.

Applicant Response:

As stated in the municipal code "The single-family residential (R-1) district is intended to be applied to existing single-family residential areas of the city to provide for housing which is consistent and harmonious with existing development..."

Our project is consistent and harmonious with existing development, and the variance request to maintain the existing 7.56-foot rear yard setback does not constitute a granting of special privileges inconsistent with the limitation upon other properties in the vicinity as non-conforming rear yard setbacks are common in the Morro Heights neighborhood. This is the normal pattern of development and occurs on approximately 50% of the lots on our block and the surrounding blocks (See Attachment E). In fact, our adjacent neighbors to the south and west currently enjoy the use of their non-conforming rear yard setbacks and we would simply like to enjoy our property in the same manner.

Describe the special circumstances applicable to the property including the size, shape, topography, location or surroundings that would result in the strict application of the zoning ordinance provisions that deprives the property of privileges enjoyed by other properties in the same vicinity and land use category.

Applicant Response:

As described above, non-conforming rear yard setbacks are common in the Morro Heights neighborhood and occur on approximately 50% of the lots on our block and the surrounding blocks (See Attachment E). In fact, our lot is surrounded by properties that enjoy the use of their rear yard setback area (See Attachment E). Therefore, we would be deprived of the privileges enjoyed by other properties (i.e. use of our rear yard setback) in the same vicinity and land use category if the strict application of the zoning ordinance were applied to our property.

To further support the fact that we would be deprived of the privileges enjoyed by other properties in our neighborhood, our neighbors reviewed our project and support the development as currently proposed as it fits well with the current development pattern in our neighborhood (See Attachments F-J).

EXHIBIT B

Explain how the granting of the Variance will not adversely affect the health or safety of persons or be materially detrimental to the public welfare or be injurious to nearby property or improvements.

Applicant Response:

Granting of the Variance will not adversely affect the health or safety of persons or be materially detrimental to the public welfare or be injurious to nearby property or improvements as our single family residence is an allowed use in the R-1 zone, is consistent with the existing development pattern, and does not propose anything detrimental to the surrounding properties.

EXHIBIT C



City of Morro Bay

Morro Bay, CA 93442

(805) 772-6200

www.morro-bay.ca.us

April 14, 2014

Mike and Julie Sherrod
938 Anchor Street
Morro Bay, CA 93442

RE: Proposed Remodel Project at 938 Anchor Street (Building Permit Application #30053)

Dear Mr/Ms Sherrod:

This letter is in follow up to City correspondence sent to you on March 4, 2014 regarding your proposed remodel project.

The Planning Division has been unable to approve your request for a building permit due to a non-conforming rear yard setback. Pursuant to Title 17.56 of the Zoning Code, a Conditional Use Permit (CUP) is required for additions in excess of 25% of existing floor area as approved by the Planning Commission, prior to issuance of a building permit. The CUP also requires that new additions must conform to the Zoning Code; which in your case would require that the second story addition size be scaled back to meet the required setbacks.

From phone conversations you have stated that you would like to request to keep the non-conforming setback for the proposed second story addition. In order to do so, the process would be to apply for a Variance pursuant to Title 17.60 of the Zoning Code.

Based on our understanding of your project at this time, staff is unable to support your request to Planning Commission for a Variance, due to the inability to meet the required finding that there is something unique about the property that requires a reduced second story setback. In order to approve a Variance, Planning Commission must make all of the following findings:

1. That the granting of the variance will not be contrary to the intent of this title or to the public safety, health and welfare; and
2. That due to **special conditions or exceptional characteristics of the property, or its location**, the strict application of this title would result in practical difficulties and unnecessary hardship; and
3. That the variance request is consistent with the intent of the coastal land use plan and the general plan.

FINANCE
595 Harbor Street

ADMINISTRATION
595 Harbor Street

FIRE DEPT.
715 Harbor Street

PUBLIC SERVICES
955 Shasta Avenue

HARBOR DEPT.
1275 Embarcadero Road

CITY ATTORNEY
595 Harbor Street

POLICE DEPT.
870 Morro Bay Boulevard

RECREATION & PARKS
1001 Kennedy Way

EXHIBIT C

April 14, 2014
Page 2

Should you wish to proceed with an application for a Variance, staff would make recommendations based on the General Plan/Local Coastal Plan and Municipal Code based on the analysis and findings, the Planning Commission would then make the determination on whether or not to approve or deny your request for a Variance.

Please contact Cindy Jacinth, Associate Planner at 772-6261 should you have any questions.

Sincerely,



Rob Livick, PE/PLS
Public Services Director/City Engineer

cc: Ed Kreins, Whitney McIlvaine, Cindy Jacinth

EXHIBIT D

SHERROD RESIDENCE ADDITION

938 Anchor Street
Morro Bay, California

ABBREVIATIONS

ABV	ABOVE	JST	JOIST
ACOUS	ACOUSTICAL	JT	JOINT
ACT	ACOUSTICAL CEILING TILE	LAM	LAMINATE
AD	AREA DRAIN	LAV	LAVATORY
ADJ	ADJUSTABLE	LWS	LEADS
AFF	ABOVE FINISH FLOOR	LDG	LANDING
ALT	ALTERNATE	LT	LIGHT
ALUM	ALUMINUM	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECT	MEMB	MEMBRANE
B.O.	BOTTOM OF	MFR	MANUFACTURER
BALC	BALCONY	MIN	MINIMUM
BD	BOARD	MISC	MISCELLANEOUS
BET	BETWEEN	MO	MASONRY OPENING
BLDG	BUILDING	MTD	MOUNTED
BLKG	BLOCKING	MTL	METAL
BLW	BELOW	N	NORTH
BM	BEAM	NIC	NOT IN CONTRACT
BOT	BOTTOM	NO	NUMBER
BRKT	BRACKET	NOM	NOMINAL
BLKHD	BLURHEAD	NTS	NOT TO SCALE
BUR	BUILT UP ROOF	O.P.	OVERFLOW PIPE
C.G.	CORNER GUARD	OA	OVERALL
CAB	CABINET	OC	ON CENTER
CALK	CALKING	OD	OUTSIDE DIAMETER
CEM	CEMENT	OFF	OFFICE
CER	CERAMIC	OH	OPPOSITE HAND
CT	CONTROL JOINT	OPG	OPENING
CLG	CEILING	OPP	OPPOSITE
CLOS	CLOSET	PART	PARTITION
CLR	CLEAR	PERM	PERIMETER
CO	CASE OPENING	PG	PAINT GRADE
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLAS	PLASTER
CONT	CONTINUOUS	PLYWD	PLYWOOD
CPT	CARPET	PR	PAINT
CT	CERAMIC TILE	PT	PAINTED
CIR	CENTER	PTD	PAINTED
DBL	DOUBLE	R	RISER
DET	DETAIL	RAD	RADIUS
DIA	DIAMETER	REF	REFLECTED CEILING PLAN
DM	DIMENSION	RD	ROOF DRAIN
DN	DOWN	RE	REFER
DR	DOOR	REF	REFRIGERATOR
DS	DOWN SPOUT	REFW	REFURBISHED
DW	DSHWASHER	REQD	REQUIRED
DWG	DRAWING	RESL	RESILIENT
E	EAST	RM	ROOM
EA	EACH	RO	ROUGH OPENING
EFS	EXTERIOR INSULATION & FINISH SYSTEM	RTU	ROOF TOP UNIT (MECH)
ELEC	ELECTRIC	S	SOUTH
ELEV	ELEVATION	SAFR	SOUND ATTENUATION FIBER
EMER	EMERGENCY	BAT	BATT
ENCL	ENCLOSURE	SC	SCUPPER
EGS	EDGE OF SLAB	SCHED	SCHEDULE
EQ	EQUAL	SEAL	SEALANT
EQUIP	EQUIPMENT	SECT	SECTION
ETR	EXISTING TO REMAIN	SF	SQUARE FOOT
EW	EACHWAY	SH	SHEET
EXP. JT.	EXPANSION JOINT	SM	SMALLER
EXST	EXISTING	SPEC	SPECIFICATION
F.O.	FACE OF	SQ	SQUARE
FA	FIRE ALARM	SS	STAINLESS STEEL
FAP	FIRE ANNUNCIATOR PANEL	STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FEC	FIRE EXTINGUISHER PANEL	STRUCT	STRUCTURAL
FG	FINISH GROUP	SUPP	SUPPLEMENTED
FH	FIRE HYDRANT	SYM	SYMMETRICAL
FHC	FIRE HOSE CABINET	T	TREAD
FIN	FINISH	T&G	TONGUE & GROOVE
FLR	FLOOR	TEL	TELEPHONE
FLUOR	FLUORESCENT	TER	TERRAZZO
FT	FOOT OR FEET	THK	THICK
FUR	FURRING	THR	THRESHOLD
GAL	GALLON	TO	TOP OF
GALV	GALVANIZED	TYP	TYPICAL
GB	GRAB BAR	UC	UNDERCUT
GC	GENERAL CONTRACTOR	UNFN	UNFINISHED
GL	GLASS	UNL	UNLESS NOTED OTHERWISE
GND	GROUND	UNON	UNLESS OTHERWISE NOTED
GWB	GYPSON BOARD	UTE	UTILITY
GYP	GYPSON	VCT	VINYL COMPOSITION TILE
H.W.H.	HOT WATER HEATER	VERT	VERTICAL
HDWD	HARDWOOD	VIF	VERIFY IN FIELD
HDWR	HARDWARE	VTR	VENT TERMINATION PIPE
HM	HOLLOW METAL	WVC	VINYL WALL COVERING
HORIZ	HORIZONTAL	W	WITH
HR	HOUR	W/O	WITHOUT
HT	HEIGHT	WC	WATERCLOSET
ID	INNER DIAMETER	WN	WINDOW
INCAN	INCANDESCENT	WP	WATERPROOF
INSUL	INSULATION	WS	WEISTACK
INT	INTERIOR	W/ST	WAINSCOT
JAN	JANITOR	WT	WEIGHT

PROJECT DIRECTORY

CLIENT/OWNER:
MIKE & JULIE SHERROD
ADDRESS:
938 ANCHOR STREET
MORRO BAY, CA
PHONE: (805)543-1794 FAX: (805)543-4600
CONTACT: DARIN CABRAL
EMAIL:

ARCHITECT:
RRM DESIGN GROUP
ADDRESS:
3765 S. HIGUERA STREET, SUITE 102
SAN LUIS OBISPO, CA 93401
PHONE: (805)439-1910 FAX: (805)783-4813
CONTACT: MIKE ALLHOUSE
EMAIL: MIKE@RMDGROUP.COM

STRUCTURAL ENGINEER:
M2 STRUCTURAL ENGINEERS
ADDRESS:
3765 S. HIGUERA STREET SUITE 102
SAN LUIS OBISPO, CA 93401
PHONE: (805)439-1910 FAX: (805)783-4813
CONTACT: MIKE ALLHOUSE
EMAIL: MIKE@RMDGROUP.COM

ENERGY COMPLIANCE CONSULTANT:
CARSTAIR ENERGY CALCULATIONS
ADDRESS:
P.O. BOX 4736
SAN LUIS OBISPO, CA 93403
PHONE: (805)94-3048 FAX: (805)640-3774
CONTACT: TIMOTHY CARSTAIRS
EMAIL: TIMMYCARSTAIRS@YAHOO.COM

SOILS ENGINEER:
GEOSOLUTIONS, INC
ADDRESS:
220 HIGH STREET
SAN LUIS OBISPO, CA 93401
PHONE: (805) 543-6539 FAX: (805) 543-2171
CONTACT: PATRICK MCNEILL
EMAIL: patrick@geosolutions.net

WATER AND SEWER SERVICE: CITY OF MORRO BAY
ELECTRICAL SERVICE: PACIFIC GAS & ELECTRIC
GAS SERVICE: SOUTHERN CALIFORNIA GAS COMPANY
TELEPHONE SERVICE: AT&T
GARBAGE SERVICE: CITY OF MORRO BAY
CABLE SERVICE: CHARTER COMMUNICATIONS

SERVICES DIRECTORY

WATER AND SEWER SERVICE: CITY OF MORRO BAY
ELECTRICAL SERVICE: PACIFIC GAS & ELECTRIC
GAS SERVICE: SOUTHERN CALIFORNIA GAS COMPANY
TELEPHONE SERVICE: AT&T
GARBAGE SERVICE: CITY OF MORRO BAY
CABLE SERVICE: CHARTER COMMUNICATIONS

GENERAL NOTES

- APPLICABLE CODES AND STANDARDS:
 - 2010 CALIFORNIA RESIDENTIAL CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PRECEDING AT HIS/HER OWN RISK.
- OMISSIONS MADE IN THESE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE APPROPRIATE AUTHORITIES ARE TO BE NOTIFIED BY THE CONTRACTOR. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
- CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- FIRE SPRINKLER SHOP DRAWINGS & CALCULATIONS SHALL BE SUBMITTED TO BUILDING DEPT. & APPROVED BY FIRE DEPT. PRIOR TO INSTALLATION.
- SHOP WELDS MUST BE PERFORMED IN A LA CITY BLDG. DEPT. LICENSED FABRICATOR'S SHOP.
- CONTRACTOR TO REVIEW TITLE 24 DOCUMENTATION TO PROVIDE A BUILDING THAT MEETS AND EXCEEDS THE BUILDING ENERGY AND EFFICIENCY AND PERFORMANCE AS REQUIRED BY ASHRAES/IESNA 90.1-1999 OR THE LOCAL ENERGY CODE, WHICHEVER IS MORE STRINGENT. THE BUILDING IS TO MEET THE ENERGY AND ATMOSPHERE. MINIMUM ENERGY PERFORMANCE PREREQUISITE POINT 2 PER THE USGBC LEED GREEN BUILDING RATING SYSTEM, VERSION 2.1.
- THE FOLLOWING ITEMS SHOWN ON THE DRAWINGS ARE OWNER PROVIDED. OWNER INSTALLED. UTILITIES PROVIDED FOR THESE ITEMS WILL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE INSTALLATION WITH OWNER.
- TV/DVD SYSTEMS
- REFRIGERATOR
- WASHER AND DRYER
- MICROWAVE
- OSHA PERMITS REQUIRED FOR VERTICAL CUTS 5' OR OVER.
- CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLO CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS.
- THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS, AND FOR BOTTOM INSPECTION BEFORE HILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR.

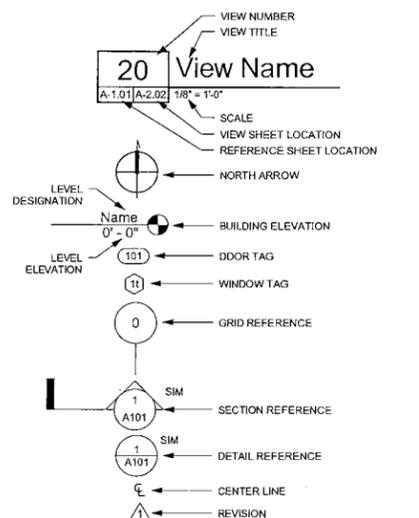
SHEET INDEX

T.1	TITLE SHEET
T.2	GENERAL NOTES
T.3	GENERAL NOTES
A1.0	SITE PLAN
A1.1	FLOOR PLAN - EXISTING
A1.2	ELEVATIONS - EXISTING
A2.1	FLOOR PLAN - PROPOSED
A2.2	FLOOR PLAN & ROOF DECK/ROOF PLAN
A2.3	ELEVATIONS - PROPOSED
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A2.5	BUILDING SECTIONS
A2.6	DOOR & WINDOW SCHEDULES
D.1	ARCHITECTURAL DETAILS
E.01	ELECTRICAL PLAN
S.1	STRUCTURAL NOTES
S.2	FOUNDATION PLAN
S.2.2	ROOF AND FLOOR FRAMING PLANS
S.3	STRUCTURAL DETAILS
S.4	STRUCTURAL DETAILS
S.5	STRUCTURAL DETAILS
S.6	STRUCTURAL DETAILS
Grand total: 22	

SUPPORTING DOCUMENTS

STRUCTURAL CALCULATIONS:	PREPARED BY: M2 STRUCTURAL ENGINEERS
DATE PREPARED:	JANUARY 27, 2014
JOB NUMBER:	AE13024
ENERGY COMPLIANCE REPORT:	PREPARED BY: CARSTAIR ENERGY CALCS
DATE PREPARED:	JULY 8, 2013
JOB NUMBER:	13-0705
SOILS ENGINEERING REPORT:	PREPARED BY: GEOSOLUTIONS, INC
DATE PREPARED:	DECEMBER 12, 2013
JOB NUMBER:	SL06761-2
TRUSS CALCULATIONS:	PREPARED BY: TRUSPRO, INC
DATE PREPARED:	JUNE 28, 2013
JOB NUMBER:	D27510

SYMBOLS



VICINITY MAP



PROJECT DATA

DESCRIPTION: A PROPOSED SECOND FLOOR ADDITION TO AN EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE WITH AN ATTACHED 2-CAR GARAGE.

SITE INFORMATION:
STREET ADDRESS: 938 ANCHOR STREET
MORRO BAY, CA
APN #: 066-163-016
ZONING DISTRICT: R-1
LOT SIZE: 5,000 SF

BUILDING INFORMATION:
EXISTING AREA CALCS:
EXISTING FIRST FLOOR: 1370 SF
EXISTING GARAGE: 518 SF
PROPOSED AREA CALCS:
EXISTING FIRST FLOOR: 1370 SF
PROPOSED FIRST FLOOR: 62 SF
PROPOSED SECOND FLOOR: 614 SF
TOTAL CONDITIONS AREA: 2,046 SF
EXISTING GARAGE: 518 SF
UNCOVERED DECK: 130 SF
ROOF DECK: 271 SF
NUMBER OF STORIES: 2
OCCUPANCY GROUP: R-3/U
CONSTRUCTION TYPE: VB
SPRINKLERED: NO
ROOF RATING: CLASS B
MAXIMUM HEIGHT ALLOWED: 25 FEET
MAXIMUM HEIGHT PROPOSED: 24.50 FEET

PARKING INFORMATION:
COVERED SPACES REQUIRED: 2
COVERED SPACES PROPOSED: 2

ENERGY COMPLIANCE:
THIS BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, CHAPTERS 2-53 OF PART 2, FOR NEW RESIDENTIAL CONSTRUCTION.

LOT COVERAGE

EXISTING LOT COVERAGE:
1,825 SF / 5,000 SF = 36.5%
PROPOSED LOT COVERAGE:
2,094 SF / 5,000 SF = 41.9%

SHERROD RES ADDITION

938 ANCHOR ST., MORRO BAY, CALIFORNIA

TITLE SHEET

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JUL 10 2014

City of Morro Bay
Public Services Department

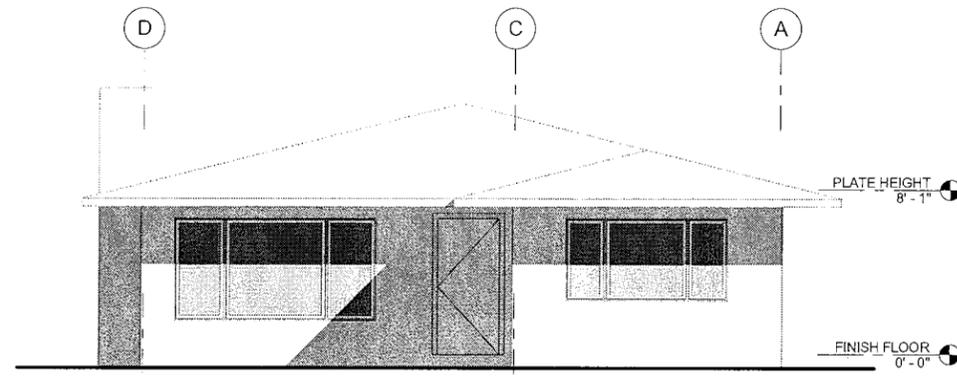
NO.	REVISION	DATE
1	Plan Check Complete City of Morro Bay	7/29/14

PROJECT MANAGER
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DRAWN BY: _____ CHECKED BY: _____
Author: _____ Checker: _____
DATE: _____
PROJECT NUMBER
01/16/2014
2012144
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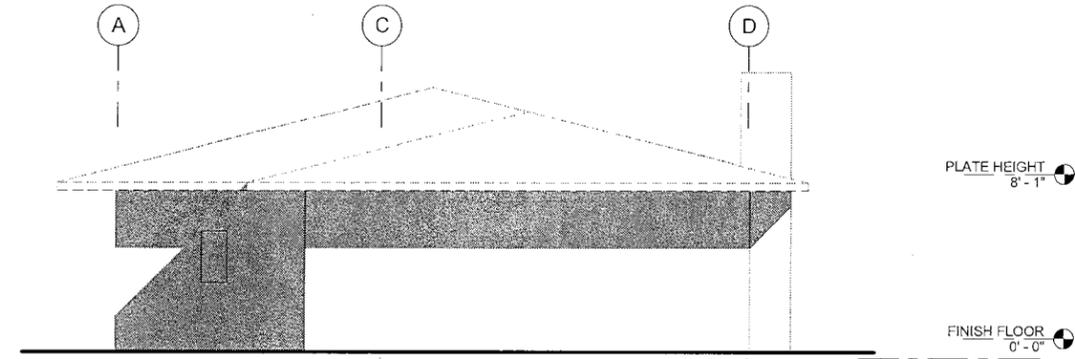
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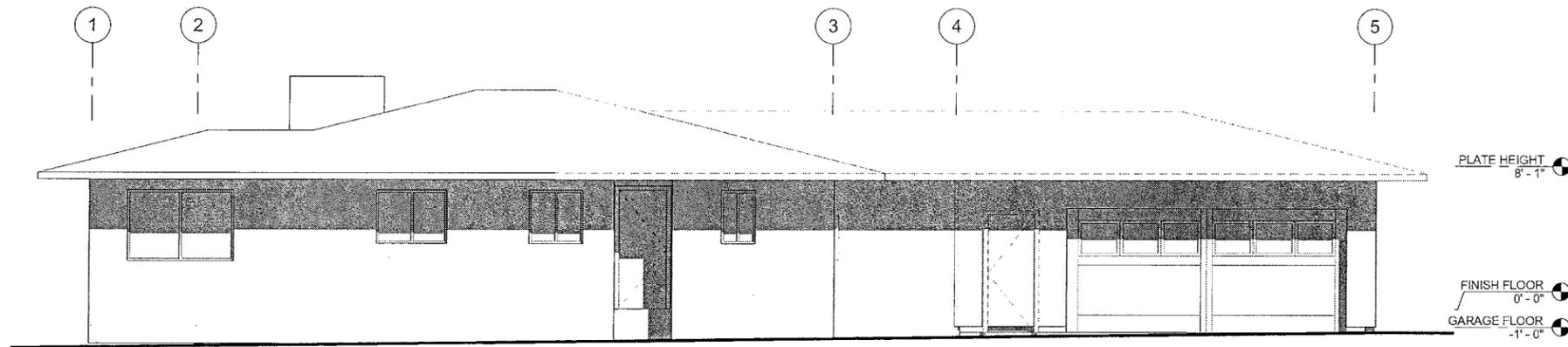
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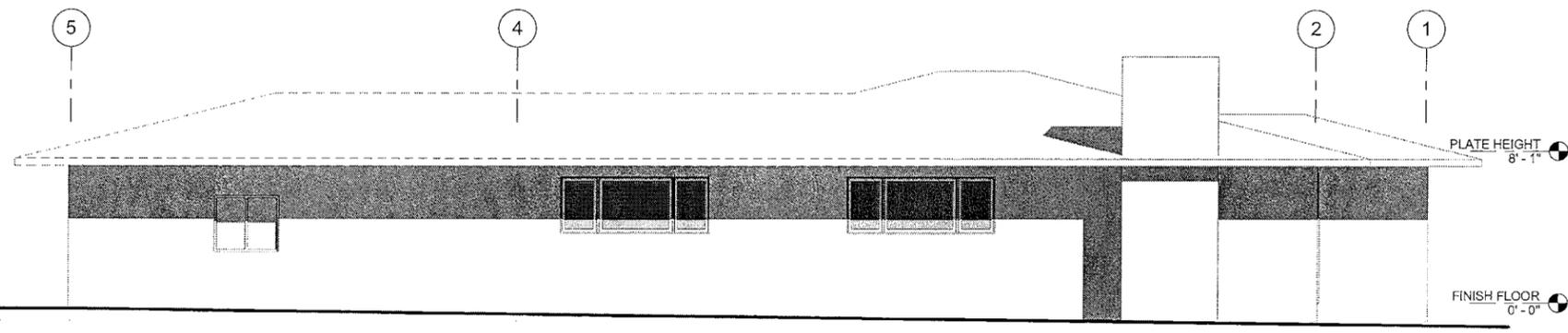
1 FRONT ELEVATION - EXISTING
A1.2 1/4" = 1'-0"



3 REAR ELEVATION - EXISTING
A1.2 1/4" = 1'-0"



2 RIGHT ELEVATION - EXISTING
A1.2 1/4" = 1'-0"



4 LEFT ELEVATION - EXISTING
A1.2 1/4" = 1'-0"

KEYNOTES

LEGEND

- EXTERIOR- 3 1/2" WOOD STUD W/ PLYWOOD SHEATHING OR FURRING STRIPS AND STUCCO, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR- 3 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.
- EXTERIOR- 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING OR FURRING STRIPS AND STUCCO, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR- 5 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.

INDOOR WATER USE

1. A SCHEDULE OF PLUMBING FIXTURES AND FIXTURE FITTINGS THAT WILL REDUCE THE OVERALL USE OF POTABLE WATER WITHIN THE BUILDING BY AT LEAST 20 PERCENT SHALL BE PROVIDED. THE REDUCTION SHALL BE BASED ON THE MAXIMUM ALLOWABLE WATER USE PER PLUMBING FIXTURE AND FITTING AS REQUIRED BY THE CALIFORNIA BUILDING STANDARDS CODE. THE 20 PERCENT REDUCTION IN POTABLE WATER USE SHALL BE DEMONSTRATED BY THE PRESCRIPTIVE METHOD SPECIFIED IN TABLE 4.303.2, FIXTURE FLOW RATES AS SUMMARIZED BELOW. CALGREEN SEC. 4.303.
 1. WATER CLOSET LESS THAN OR EQUAL TO 1.28 GALLONS PER FLUSH.
 2. SHOWERHEADS LESS THAN OR EQUAL **2.0 GPM MAX. @ 80 P.S.I.
 3. LAVATORY FAUCETS LESS THAN OR EQUAL 1.5 GPM MAX. @ 80 P.S.I.
 4. KITCHEN FAUCETS LESS THAN OR EQUAL 1.8 GPM MAX. @ 80 P.S.I.
 - ** INCLUDES DUAL FLUSH TOILETS WITH AN EFFECTIVE FLUSH VOLUME OF 1.28 GALLONS OR LESS. THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
 - ** WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES SPECIFIED IN THE 20 PERCENT REDUCTION COLUMN CONTAINED IN TABLE 4.303.2 AND SUMMARIZED ABOVE. CALGREEN SEC. 4.303.2.
- PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CALGREEN TABLE 4.303.3.

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SHERROD RES ADDITION
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ELEVATIONS - EXISTING

NO.	REVISION	DATE

PROJECT MANAGER
DJC
DRAWN BY
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DC
DATE
01/18/2014
PROJECT NUMBER
2012144
SHEET
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EXHIBIT D

KEYNOTES

- 226 CRICKET.
- 227 FLOOR DRAIN. SLOPE TO DRAIN. CONNECT TO 2" ABS DRAIN LINE IN WALL. DAYLIGHT DRAIN LINE ABOVE FOUNDATION ONTO EXISTING DRIVEWAY.
- 228 WATER PROOF MEMBRANE. NCS 6090 OR EQUAL.
- 230 GUTTER. CONNECT TO DOWNSPOUT.
- 235 GSM SCUPPER. DRAIN ROOF INTO ROOF BELOW.
- 504 VERSICO VERSIWELD REINFORCED TPO 60 MIL. MEMBRANE. SLOPE TO DRAIN. 1/4"FT MIN.

LEGEND

- EXTERIOR- 3 1/2" WOOD STUD W/ PLYWOOD SHEATHING OR FURRING STRIPS AND STUCCO, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR- 3 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.
- EXTERIOR- 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING OR FURRING STRIPS AND STUCCO, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR- 5 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.

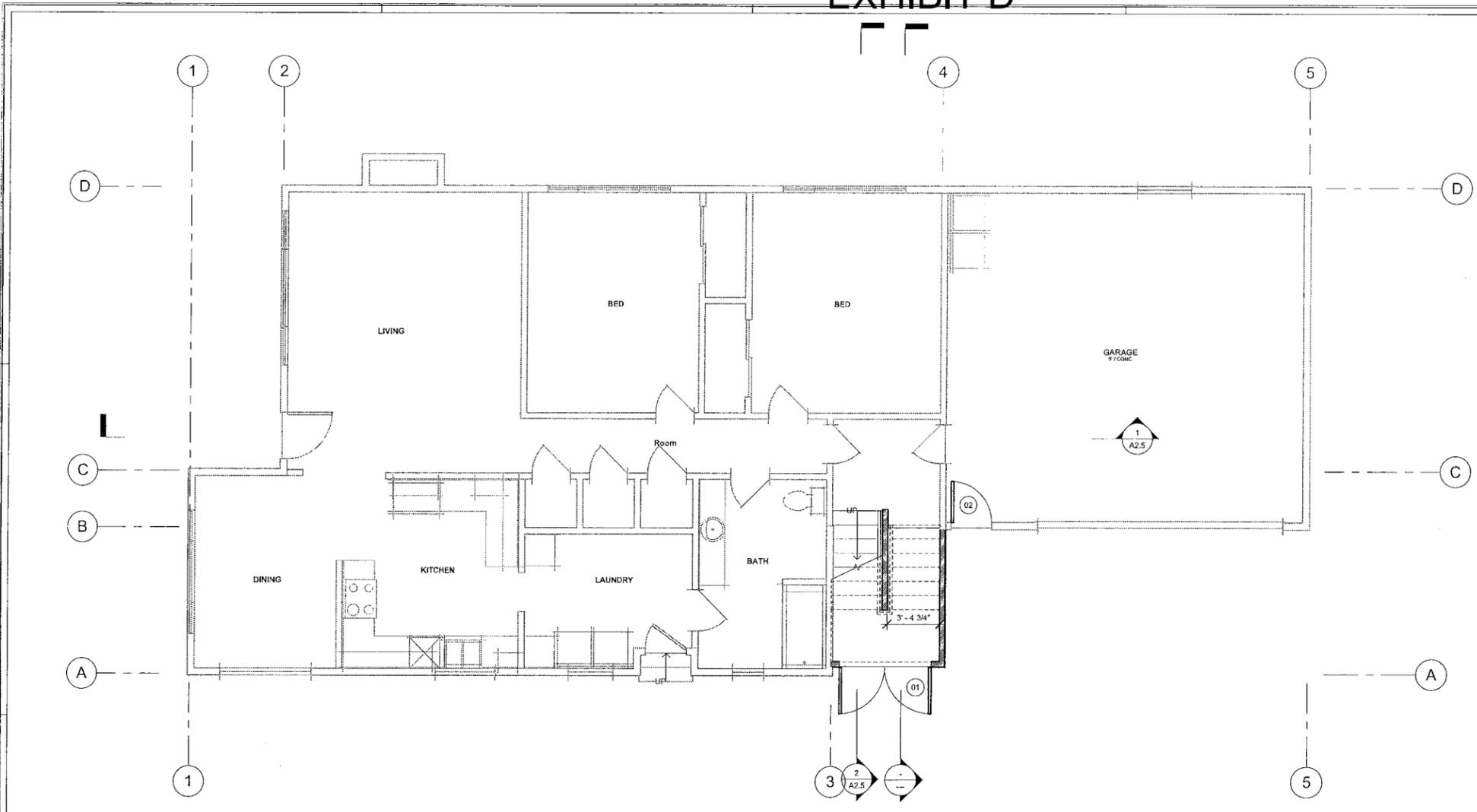


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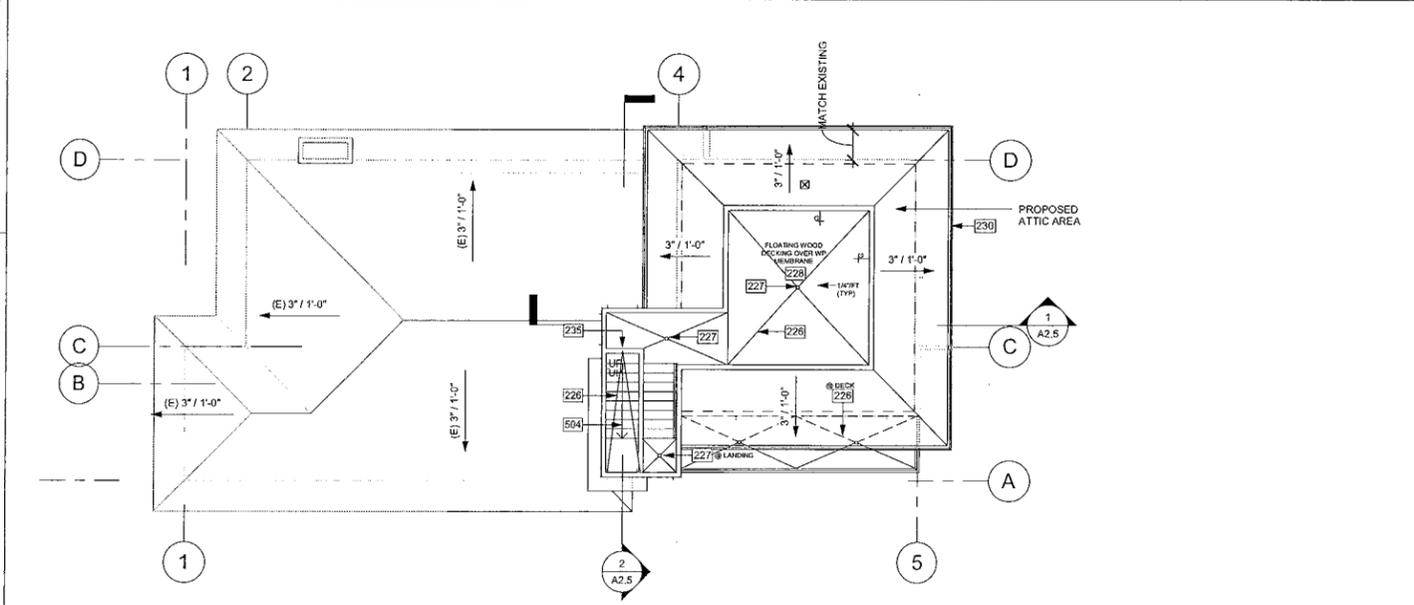
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SHERROD RES ADDITION
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 FLOOR PLAN - PROPOSED

NO.	REVISION	DATE
PROJECT MANAGER DJC		
DRAWN BY SR/DCK/KWK/PS		CHECKED BY DC
DATE 01/16/2014		
PROJECT NUMBER 2012144		
SHEET A2.1		



1 FIRST FLOOR PLAN - PROPOSED
 A1.2 | A2.1 1/4" = 1'-0"



2 ROOF PLAN-PROPOSED
 A1.2 | A2.1 1/8" = 1'-0"

ATTIC VENT CALCS

NAME	AREA	REQUIRED ATTIC VENTING @ 1/300	UPPER VENTS REQUIRED	LOWER VENTS REQUIRED
PROPOSED ROOF ATTIC AREA	297 SF	143 in ²	1	6

ATTIC VENT TYPES

ATTIC AREA = S.F. DIVIDED BY 300 X 144 = SQUARE INCHES PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATORS PROVIDED BY THE EAVE OR CORNICE VENTS.

A VAPOR BARRIER OF CLASS I OR II SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING PER CRC R806.2.

ALL OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH OPENINGS OF 1/4" IN DIMENSION PER CBC 1203.2.1.

VENT TYPES:
 O'HAGIN MODEL "S" CLAY TILE VENT **
 23" X 19.5" S-TILE VENT
 = 97.50 SQUARE INCHES FREE AIR MOVEMENT OR 0.67 SQUARE FEET PER TWO-PIECE VENT.
 SOFFIT BLOCKING FOR EAVE VENTS:
 2" HOLES IN BLOCKING @ 6'-0" O.C. = .065 S.F. OF REQUIRED VENTING PER BLOCK

** NOTE: WHEN A PROJECT IS LOCATED IN THE WILDLAND URBAN INTERFACE FIRE AREA, THE JURISDICTION SHALL REQUIRE ALL VENTING TO COMPLY WITH CHAPTER 7A.

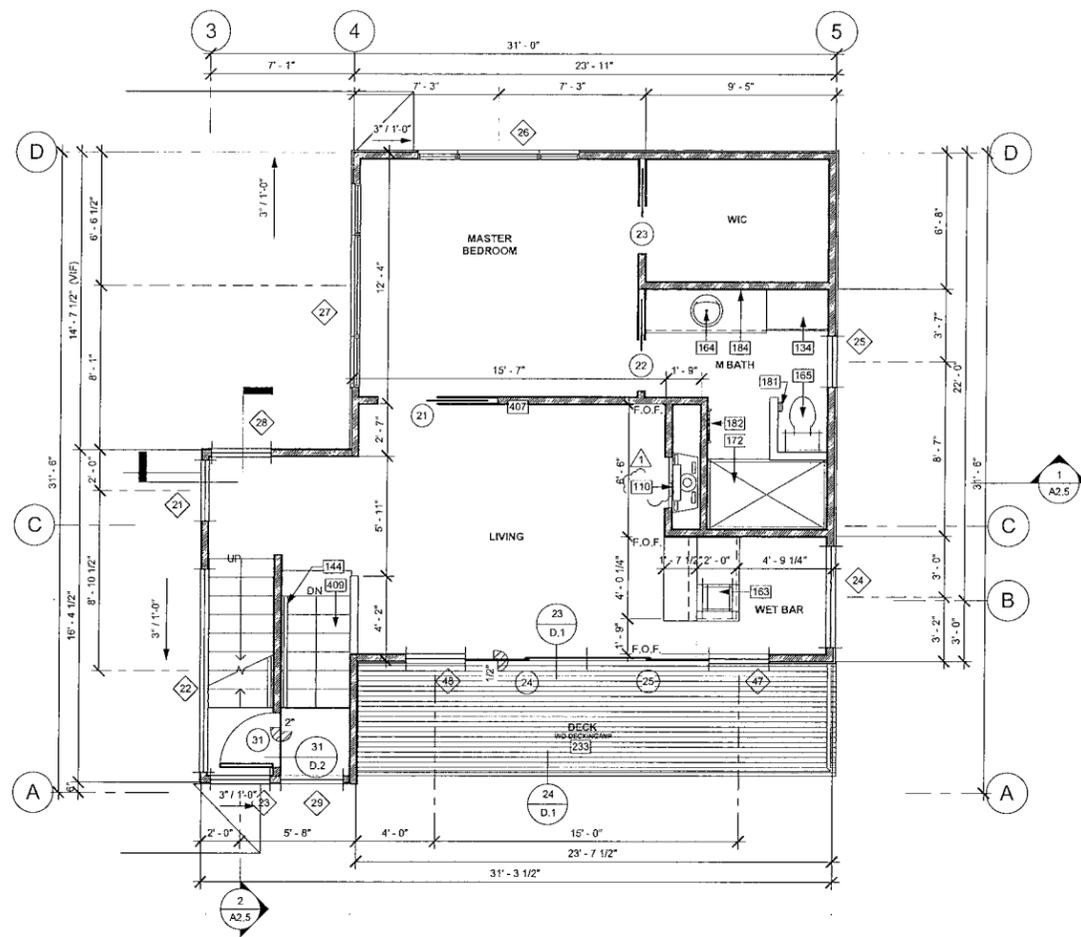
- ALL O'HAGIN VENTS SHALL BE FITTED WITH THE OPTIONAL STAINLESS STEEL FLAME AND EMBER RESISTANT MEDIA PER MANUFACTURER'S RECOMMENDATIONS.
 -IF PROVIDED, ALL SOFFIT AND EAVE VENTS SHALL BE A STATE FIRE MARSHALL APPROVED FLAME AND EMBER RESISTANT VENT.

ROOF LEGEND

- 1'-0" HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING CRICKETS AND INSULATION)
- 1/2" : 1'-0" ROOF SLOPE
- ⊗ ATTIC VENT LOCATION

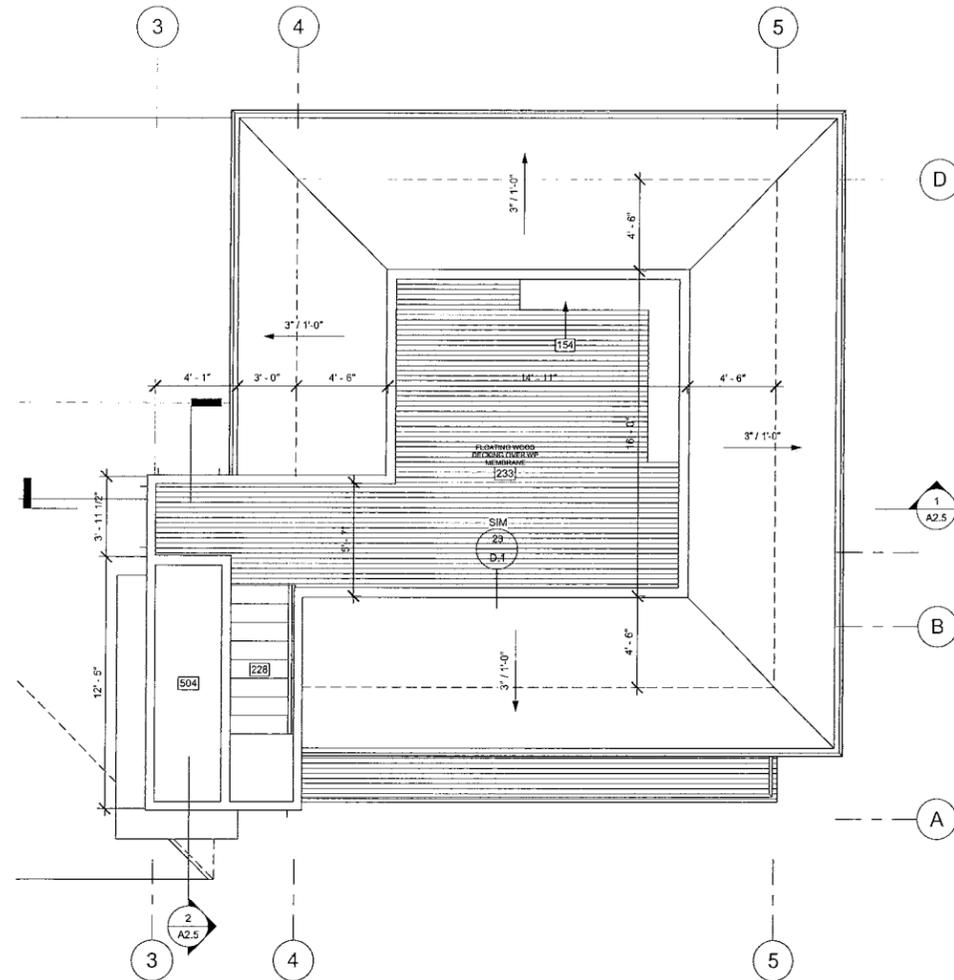
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EXHIBIT D



1 SECOND FLOOR PLAN - PROPOSED

A2.3 | A2.2 | 1/4" = 1'-0"

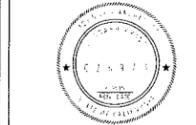


2 ROOF DECK PLAN - PROPOSED

A2.3 | A2.2 | 1/4" = 1'-0"

KEYNOTES

- 110 FIREPLACE, DIRECT VENT. VERIFY INSTALLATION REQUIREMENTS WITH MANUFACTURE SPECIFICATIONS
- 130 WOOD SHELF AND POLE.
- 134 FULL HEIGHT CABINET, SOFFIT ABOVE +96" UNO
- 144 HANDRAIL, +34"-38" ABOVE NOSING. THE GRIP PORTION SHALL BE 1 1/4" MIN AND 2" 1/2" CLEARANCE TO WALL. HANDRAIL SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POST.
- 154 BUILT IN BENCH, COORDINATE LAYOUT WITH FLOATING WOOD PANEL SYSTEM
- 163 SERVICE SINK, REFER TO PLUMBING PLAN
- 164 LAVATORY SINK, REFER TO PLUMBING PLAN
- 165 WATER CLOSET, REFER TO PLUMBING PLAN
- 172 TILE SHOWER AND TILE PAN WITH MASONRY DAM. TILE TO 96" AFS. ENCLOSURE DOOR 84" TALL
- 181 TOILET PAPER HOLDER, PER OWNER SPEC
- 182 TOWEL BAR, PER OWNER SPEC. +54 INCHES ABOVE FLOOR
- 184 MIRROR, THE LENGTH OF THE VANITY OR PEDESTAL X 80" AFS, UNO, PER OWNER SPEC
- 228 WATER PROOF MEMBRANE, NCS 6000 OR EQUAL
- 233 FLOATING WOOD PANELS OVER WATERPROOF MEMBRANE. VERIFY PRODUCT SPECIFICATION WITH OWNER. VERIFY INSTALLATION REQUIREMENTS WITH MANUFACTURE.
- 407 WOOD FLOOR, REFER TO STRUCTURAL
- 409 INTERIOR STAIRS, 17R @ 7.16" AND 16T @ 11". 36" MIN CLEAR WIDTH, REFER TO STRUCTURAL.
- 504 VERSICO VERSIWELD REINFORCED TPO 60 MIL. MEMBRANE. SLOPE TO DRAIN, 1/4"FT MIN.



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FLOOR PLAN & ROOF
DECK/ROOF PLAN

NO.	REVISION	DATE
1	Plan Deck Corrections City of Morro Bay	10/21/13

PROJECT MANAGER
DJC

DRAWN BY
Author

CHECKED BY
Checker

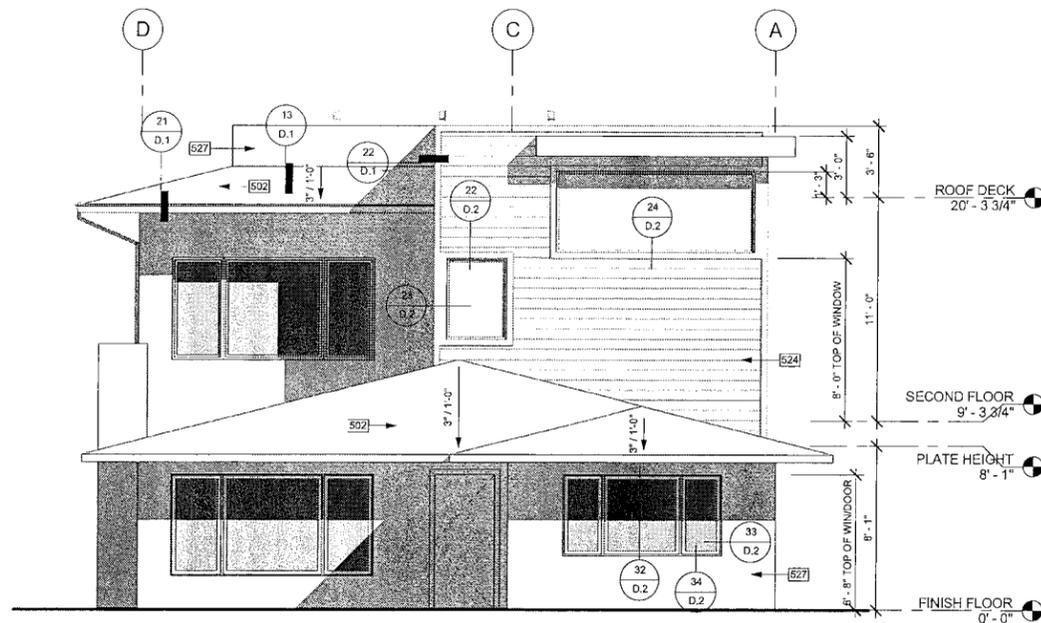
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PROJECT NUMBER
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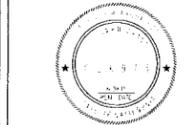


GENERAL NOTES

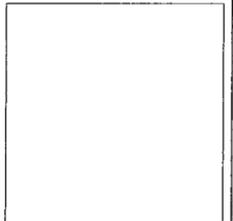
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- USE APPROVED FIRESTOP IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.
- REFER TO ROOF PLAN FOR OVERHANG, FASCIA PER DETAILS, PROVIDE "U"-SHAPED ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.A.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- REFER TO OWNER TO COLORS.

KEYNOTES

- 143 42" HIGH GLASS RAILING
 502 ASPHALTIC SINGLES ROOFING 0/15 LB FELT TO MATCH EXISTING
 524 FIBER CEMENT SIDING O/ BUILDING PAPER, COLOR PER OWNER.
 527 3-COAT CEMENT PLASTER O/ LATH O/ 1-LAYER GRADE "D" BUILDING PAPER (OVER 2-LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER SHEATHING), COLOR TO MATCH EXISTING.



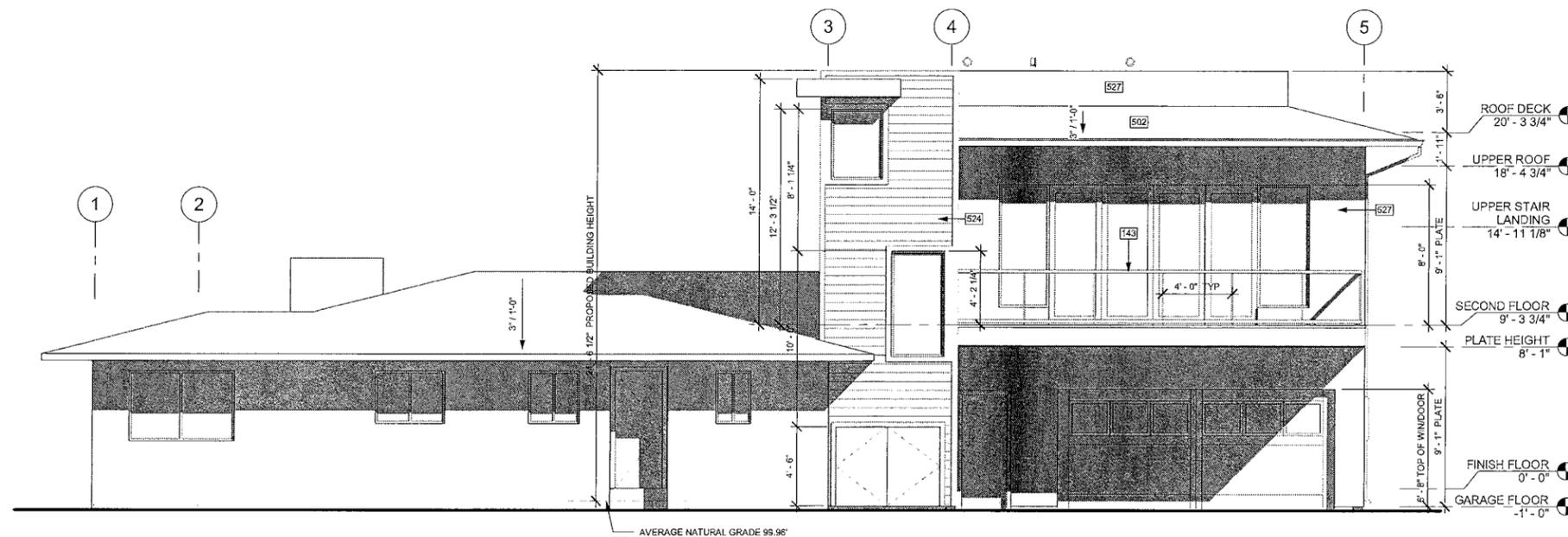
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1 FRONT ELEVATION - PROPOSED

A2.3 1/4" = 1'-0"



SHERROD RES ADDITION
 938 ANCHOR ST., MORRO BAY, CALIFORNIA
ELEVATIONS - PROPOSED

NO.	REVISION	DATE

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 SR/DC/KWK/PS
 CHECKED BY
 DC
 DATE
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 PROJECT NUMBER
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 SHEET

2 RIGHT ELEVATION - PROPOSED

A2.3 1/4" = 1'-0"

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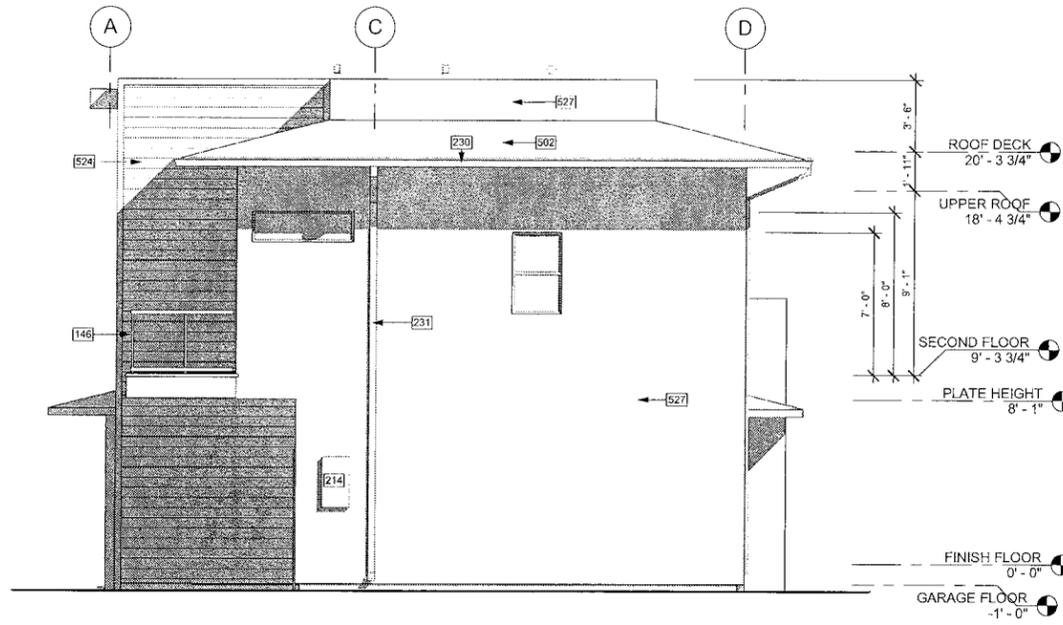
EXHIBIT D

GENERAL NOTES

- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- USE APPROVED FIRESTOP IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.
- REFER TO ROOF PLAN FOR OVERHANG, FASCIA PER DETAILS. PROVIDE "U"-SHAPED ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- REFER TO OWNER TO COLORS.

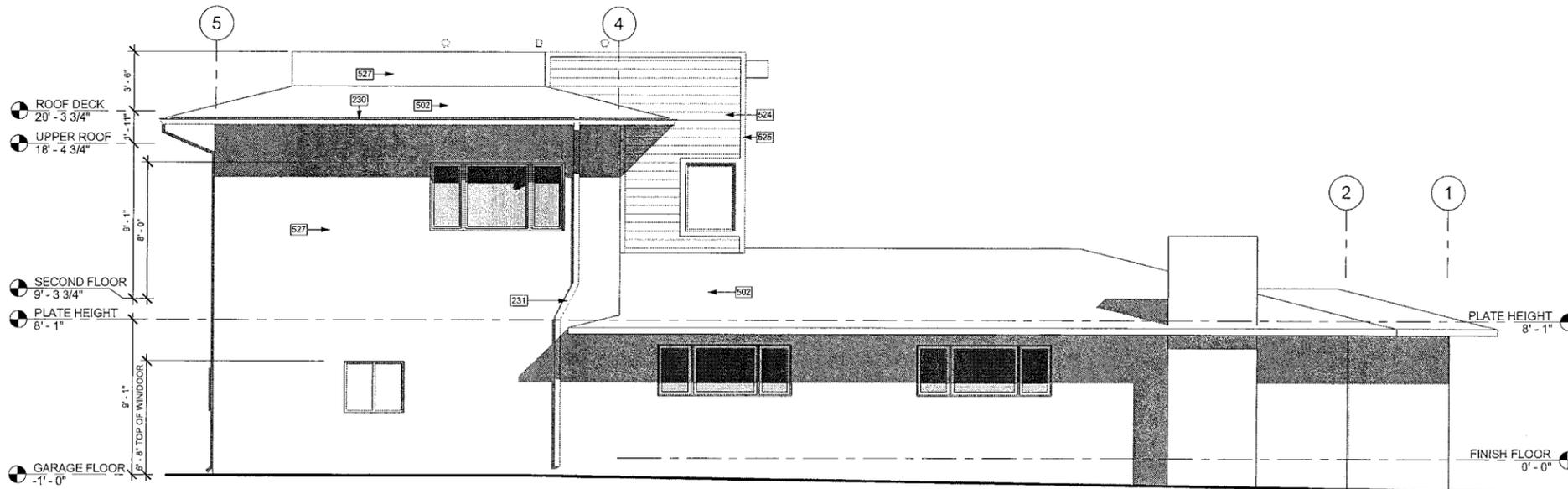
KEYNOTES

- 146 42" HIGH EXTERIOR GLASS GUARDRAIL WITH POWDER COATED GALVANIZED POSTS.
- 214 ELECTRICAL PANEL.
- 230 GUTTER, CONNECT TO DOWNSPOUT.
- 231 DOWNSPOUT, CONNECT TO STORM DRAIN SYSTEM.
- 502 ASPHALTIC SINGLES ROOFING O/15 LB FELT TO MATCH EXISTING.
- 524 FIBER CEMENT SIDING O/ BUILDING PAPER, COLOR PER OWNER.
- 525 WOOD TRIM.
- 527 3-COAT CEMENT PLASTER O/ LATH O/ 1-LAYER GRADE "D" BUILDING PAPER (OVER 2 LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER SHEATHING), COLOR TO MATCH EXISTING.



1 REAR ELEVATION - PROPOSED

A2.4 1/4" = 1'-0"



2 LEFT ELEVATION - PROPOSED

A2.4 1/4" = 1'-0"

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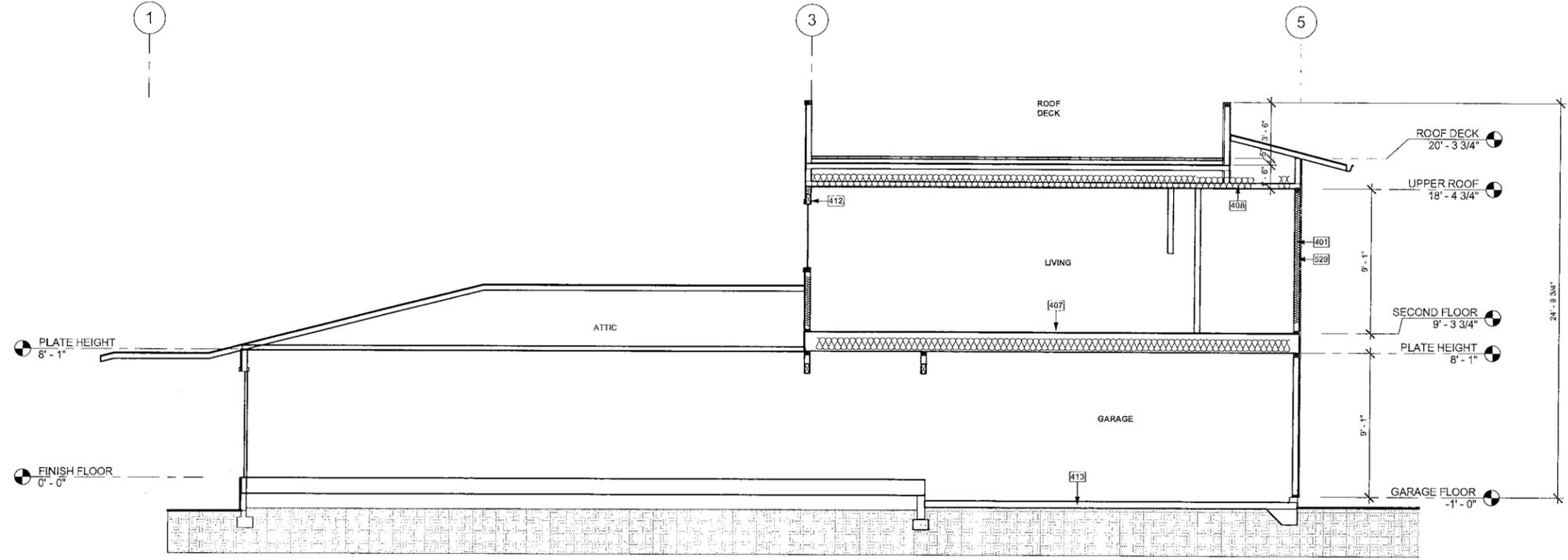
SHERROD RES ADDITION
 938 ANCHOR ST., MORRO BAY, CALIFORNIA
 ELEVATIONS - PROPOSED

NO.	REVISION	DATE

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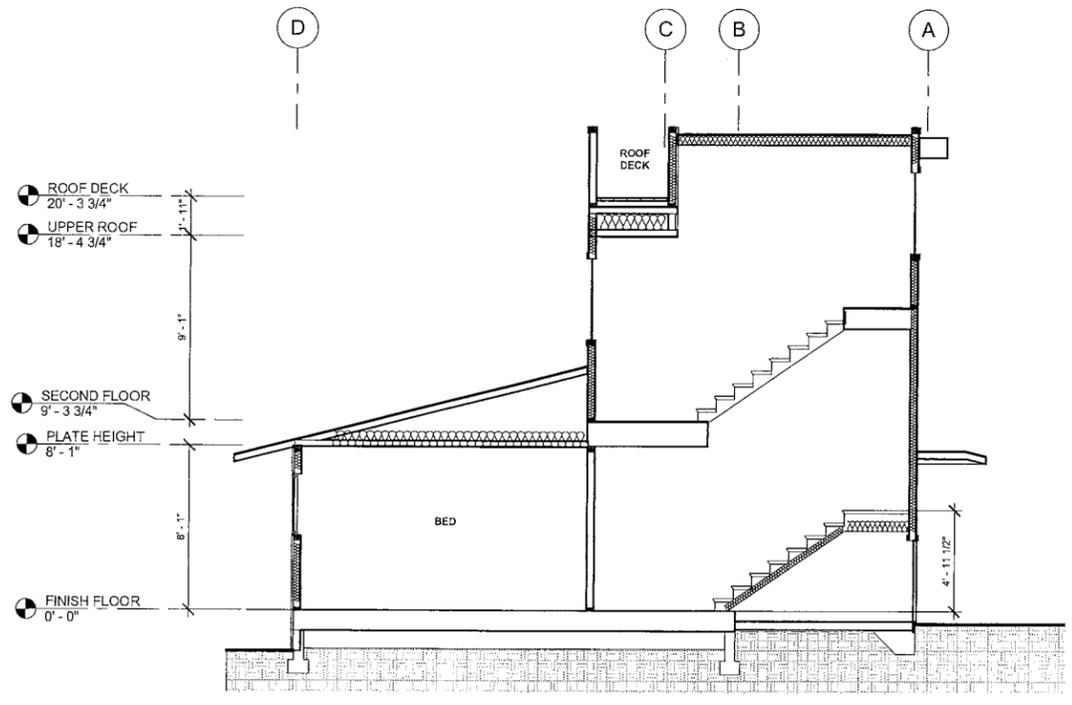
1 BUILDING SECTION 1
A2.1 | A2.5 1/4" = 1'-0"

KEYNOTES

- 401 2X4 WOOD STUD WALL, REFER TO STRUCTURAL.
- 407 WOOD FLOOR, REFER TO STRUCTURAL.
- 408 WOOD TRUSS, REFER TO STRUCTURAL.
- 412 WOOD BEAM, REFER TO STRUCTURAL PLANS.
- 413 CONCRETE SLAB, REFER TO STRUCTURAL PLANS.
- 529 2X4 WALL INSULATION, REFER TO TITLE 24 (R-13 MIN.)

GENERAL NOTES

1. THE PURPOSE OF THIS DRAWING IS TO SHOW CONSTRUCTION MATERIALS/ ASSEMBLIES, FOR SPECIFIC SIZES AND DETAILS. SEE ARCHITECTURAL PLANS, ELEVATIONS, DETAILS AND STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON P.
2. INSULATION: SEE TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
4. FOUNDATION SILLS TO BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. SECTION 2004.11.2.2
3. FIREBLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER CRC R302.11:
R302.11. FIREBLOCKING IN COMBUSTIBLE CONSTRUCTION FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 . 1.1 VERTICALLY AT CEILING AND FLOOR LEVELS.
 . 1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
2. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL ALSO COMPLY WITH CRC R302.7
4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
5. CHIMNEY FIREBLOCKING. ALL SPACES BETWEEN CHIMNEYS AND FLOORS AND CEILINGS THROUGH WHICH CHIMNEY PASS SHALL BE FIREBLOCKED WITH NONCOMBUSTIBLE MATERIAL. SECURELY FASTENED IN PLACE. THE FIREBLOCKING OF SPACES BETWEEN CHIMNEY AND WOOD JOISTS, BEAMS OR HEADERS SHALL BE SELF-SUPPORTING OR BE PLACED ON STRIPS OF METAL OR METAL LATH LAID ACROSS THE SPACES BETWEEN COMBUSTIBLE MATERIAL AND THE CHIMNEY. CRC R1005.19
6. FIREBLOCKING OF CORNICE OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPERATION.
R302.11.1. FIREBLOCKING MATERIALS SHALL CONSIST OF THE FOLLOWING MATERIALS:
1. TWO-INCH NOMINAL LUMBER.
2. TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
3. ONE THICKNESS OF 23/32-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH WOOD STRUCTURAL PANELS.
4. ONE THICKNESS OF 3/4-INCH PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH PARTICLEBOARD.
5. ONE-HALF-INCH GYPSUM BOARD.
6. ONE-QUARTER-INCH CEMENT-BASED MILLBOARD.
7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.



2 BUILDING SECTION 2
A2.1 | A2.5 1/4" = 1'-0"

THE INCLUDED DRAWINGS, SPECIFICATIONS, NOTES, DETAILS AND DIMENSIONS ARE THE PROPERTY OF RRM DESIGN GROUP. NO PART OF THESE DRAWINGS SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP. RRM DESIGN GROUP IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. RRM DESIGN GROUP IS A CALIFORNIA CORPORATION.

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SHERROD RES ADDITION
938 ANCHOR ST., MORRO BAY, CALIFORNIA
BUILDING SECTIONS

NO.	REVISION	DATE

PROJECT MANAGER
DJC
DRAWN BY
SR/DCK/KW/KPS
CHECKED BY
SR/DC
DATE
01/16/2014
PROJECT NUMBER
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City of Morro Bay
Public Services/Planning Division
Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning Division
New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.

Approved projects are deleted on next version of log.

Agenda No: C-1

Meeting Date: August 5, 2014

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Hearing or Action Ready									
1	Sherrrod	938 Anchor	7/10/14	AD0-091	Variance to allow a reduced rear yard setback to accommodate an addition to a non-conforming residence.	Original application made for building permit 11/8/13 for addition to nonconforming SFR. Project reviewed and routed. Project Noticed and to be heard by Planning Commission 8/5/14. WM			
2	Adamson	1000 Ridgeway	9/12/13	CP0-408	Admin Coastal Development Permit for Demo/Reconstruct of 4,829sf SFR with 1,201sf garage. Size of home revised April 2014 to be 3,725sf SFR w/ 1,142sf garage.	Parking Exception previously granted by Planning Commission for reduced driveway length Oct. 2012. CJ. KM - Correction letter sent 10/11/13. Corrections received 11/18/13. Permit issued on 12/20/13 and project appealed on 12/30/13. Contacted applicant to request additional info for appeal hearing. Appeal to be heard by PC on or before 2/19/14. Continued to the 3/5/14 PC mtg. Project continued for 60 days to allow for project revisions. Project to be heard at the 6/3/14 PC meeting. Appeal Upheld, Project Denied. Resolution adopted at 6/17/14 meeting. Project Appealed to City Council on 6/25/14 and scheduled for hearing on 8/12/14 Council meeting.	BC- conditionally approved.	BCR: Resubmit plans to address comments noted in memo of 10/14/13 - drainage report and street widening required	
3	Wammack	505 Walnut	12/31/13	CP0-417	Coastal Development Permit for new 3,236sf SFR including 489sf garage on vacant lot - concurrent permitting for Building Permit	GN - Incomplete letter sent 1/31/14. Resubmittal received 4-1-14. GN - 2nd incomplete letter sent 4/15/14. Waiting on plan changes to identify second unit and required parking. Resubmittal received Tentatively scheduled for August 19th	BC- conditionally approved.	BCR-approved with deferral of frontage improvements	
4	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 CJ Met w/ Applicant 2-28-14 to review process - CJ. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7. Draft initial study under review and plans resubmitted 6/25/14. WM. Project subject to Bluff Development Standards. Mitigated Negative Declaration routed to State Clearinghouse with tentative PC hearing date for 9/2/14.	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RS/DH 7/22/14 under review	
5	Rodgers	445 Shasta	5/23/14	CP0-436	Administrative Coastal Development Permit for 2,343sf new SFR with 622sf garage and 424 sf of decking	New SFR on vacant lot. Under review. Project Noticed and permit ready to issue on 7-28-14. WM.	BC- conditionally approved.	JSW- conditionally approved.	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
6	James	341 Vashon	6/2/14	CP0-437	Administrative Coastal Development Permit for 1,486sf new SFR with 446sf garage and 176sf of decking	New SFR on vacant lot. Under review. Project complete and ready to be noticed 7-31-14. CJ.	BC- conditionally approved.	JSW- conditionally approved.	
7	Montecalvo / Wisel	510 Fresno Ave & 515 Kern	5/1/14	S00-119	Lot line adjustment	Lot line adjustment reviewed and approved 7-14-14. Co-applicant responded with request to withdraw consent for lot line adjustment.			
8	Lowgren	491 Little Morro Creek Rd	4/10/14	S00-118	Lot line adjustment	Under review. Correction letter sent 5-28-14. Applicant currently revising submittal. Resubmittal received and lot line adjustment approved 7-24-14. WM	BC- corrections/ incomplete		
30 -Day Review, Incomplete or Additional Submittal Review									
9	Hibbard	990 Balboa	7/28/14	UP0-384 & AD0-092	Conditional Use Permit and Parking Exception to allow addition to existing non conforming SFR	380 sf addition to 966sf non conforming SFR			
10	Wordeman	2900 Alder	7/28/14	CP0-447	Administrative Coastal Development Permit for new construction of duplex in R-4 zone.	Proposed Duplex unit A at 1965sf w/ 605 sf garage and unit B at 1,714sf w/ 605sf garage. Under Review			
11	Romeiro	219 Marina	7/22/14	CP0-446	Addition to Non conforming SFR in Coastal Appeals Jurisdiction	Addition that exceeds 10% in appeals area requires CDP.			
12	Najarian	471 Nevis	7/22/14	CP0-445	Administrative Coastal Development Permit for new 1,686 SFR with 507sf garage and 192sf of decking	Under Review			
13	McCallister	176 Java St.	7/21/14	CP0-444	Coastal Development Permit for addition to existing SFR within coastal appeals jurisdiction.	Addition that exceeds 10% in appeals area requires CDP.			
14	Sotelo & Chanley	420 Island	7/17/14	CP0-443	CDP for construction of new 1,678sf SFR w/ 482sf garage adjacent to ESH	Under Review.			
15	Davis	625 Harbor	7/2/14	CP0-441	Admin CDP for Library Fence	Project to enclosed outdoor Library courtyard area with a fence.	BC- conditionally approved.		
16	Johnson	301 Little Morro Creek Rd	6/26/14	CP0-442 & UP0-081	CDP and Special/Interim Use Permit for new BMX Bike Park	Under Review		BCR- Conditionally improved with stormwater exemption. Needs floodplain dev. Permit	
17	Dennis	290 Piney Ln	6/26/14	CP0-440	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review	BC- conditionally approved.	BCR/DH drainage plan under review	
18	Dennis	270 Piney Ln	6/26/14	CP0-439	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review	BC- conditionally approved.	BCR/DH drainage plan under review	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
19	Dennis	280 Piney Ln	6/26/14	CP0-438	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review	BC- conditionally approved.	BCR/DH drainage plan under review	
20	Frye	250 & 244 Shasta Street	6/17/14		Amendment to CP0-213 & Variance Request	Amendment to Administrative Coastal Permit CP0-213 and Variance Request to allow a north side yard setback of less than the required 5 feet at 244 Shasta. Including encroachment of garage into required side yard setback and allow home at 0 ft. setback.		BCR_ 7/8/13 cond appr. Complete frontage improvements required	
21	Hauser	501 Zanzibar	5/23/14	UP0-380/ AD0-090	Conditional Use Permit & Parking Exception	Single Family Addition of more than 25% to a non-conforming SFR. Parking Exception	BC- incomplete	RPS- Conditions established in Memo of 3/21/14 for B-30133	
22	Strasburg/Oehler	371 Piney	3/20/14	CP0-427	New SFR - Admin CDP	Received 3/25/14. Under Initial review. CJ.Correction letter sent 4/25 NC. Resubmittal received 5/21. Corrections sent 6-3-14 and 7-10-14. WM	BC- conditionally approved.	JSW- conditionally approved.	
23	Romero	2931 Ironwood	3/6/14	CP0-428	New 2,496 SFR with 64 sf garage- Admin CDP	Correction letter sent 4/25 NC. Resubmitted 5/23. Requested plan corrections 6-24-14. CJ.	BC- conditionally approved.	BCR- cond. Appr. w/ SW requirements	
24	Carver	431 Kern	2/5/14	CP0-426	Demo 1100sf SFR / Reconstruct 2274sf SFR	correction letter sent 4/10 . Resubmitted 5/23. Requested corrections 7-18-14. WM	BC- corrections/ incomplete	RS- cond appr. w/ frontage improvements	
25	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	Upgrade of unmanned telecommunications facility	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM	BC- conditionally approved.	BCR- ADA ramp upgrade required	
26	Leage	1185-1215 Embarcadero	1/9/14	UP0-058	Floating Docks - Phase 2	Under review. Met with environmental consultant regarding CEQA requirements 4-17-14. CJ. Reviewing environmental proposal. Status update sent via email 5-23-14. Met with applicant 6/9/14. Received clarification request 6-12-14. CJ	BC-under review.		
27	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
28	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. CJ. Met with environmental consultant to review CEQA requirements 4-17-14. Seeking additional fee estimate for CEQA review. Met with consultant 7-2-14. Revised fee estimate provided to applicant 7-25-14. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	N/R	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
29	Goodwin	2920 Juniper	5/21/13	CP0-399	Coastal Development Permit for new 3,645sf SFR with 1,028sf garage on vacant lot	CJ- Application deemed incomplete. Requested corrections 6/10/13.	BC-please route to building.	RS&DH-Plan revisions reqd per memo 5/29/13	
Continued projects									
30	Gonzalez	481 Java	12/30/13	UP0-374	Conditional Use Permit for Non conforming single family residence	KM - Under initial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC. Continued to a date uncertain by Planning Commission at the 6/3 meeting to address parking non-conformities. CJ.	BC-under review.	N/R	
30	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	
Projects in Process									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
31	Frye	244 Shasta	3/6/13	CP0-396 and AD0-081	Secondary Unit and Parking Exception.	Proposed creation of secondary unit from garage. Parking exception. First Noticed 5-16-13. Setbacks noted on plan incorrect, therefore project required to be re-noticed on 6/26/13. Applicant now required to comply with or amend existing permit #CP0-013 before proceeding with proposed project. Met with applicant's representative regarding previously approved permit. Waiting for applicant's resubmittal. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned. Letter sent re permit amendment request on 3-31. CJ	No review performed.	N/R	
Environmental Review									
32	Sonic	1840 Main St.	8/14/13	UPO-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17. 7/22/14 Resubmittal review underway	
33	Turner	356 Yerba Buena	10/30/13	CP0-412	Single Family Addition & Remodel to a total of 2,767sf with 599sf garage	Property located within ESH area. Wetlands delineation study received. Incomplete letter sent 11-26-13. CJ. Resubmittal received. Draft initial study under review.	BC- conditionally approved.TP-Cond Approve 11/25/13.	JW-Conditionally Approved	
34	City of Morro Bay	N/A			MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	
35	Lucky 7	1860 Main	3/12/13	CP0-394	Construct Fuel Island Canopy	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. Waiting on Applicant to sign mitigations. WM	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
36	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	Parcel Map. 3 parcels and an open space parcel. A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14.	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
37	LaPlante	3093 Beachcomber	11/3/11	CP0-365	New SFR. Resubmittal and Phase 1 Arch report 2/6/12.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. Applicant has requested a meeting on August 9, 2012 to review environmental study request. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant will provide MND fees with submittal of Biological report. 8/9/12 MR met with applicant and owner to discuss environmental issues. Would require a detailed MND. Applicant is still considering preparation of Biological Report. Staff met with applicant and his agent, discussed elements of the project especially the Biological report needs to be prepared. Draft biological report received and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ environmental consultant re completion of environmental 4/7 C.J. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date
Grants									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
38	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A	
39	City of Morro Bay	City-wide			CDBG funding to CAPSLO for operation of the Prado Day Center & Homeless Shelter, & Senior Nutrition Program and ADA Pedestrian Accessibility project.	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Upon approval, agreement to be forwarded to County Board of Supervisors for 7/8/14 meeting. HUD monitoring visit conducted 7/17/14 for Fair Housing and Public Participation federal compliance.	No review performed.	N/R	
Project requiring coordination with another jurisdiction									
40	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
41	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.	
Preapplication projects - None currently									
Final Map Under Review									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
42	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH boundary.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive									
43	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
44	James Maul	530, 532, 534 Morro Ave	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted.	Please route project to Building upon resubmittal.	N/A	
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing									

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45	City of Morro Bay	Citywide	4/18/14	A00-021	2014-2019 Housing Element Update / Council Resolution 41-14	Sent to Department of Housing and Community Development for review and certification on 4/18/14. Initial Study/ Negative Declaration routed to State Clearinghouse 5/12/14. Final Housing Element to be agendized for 6/17/14 PC mtg and 6/24/14 Council meeting. Adopted by Council with amendments on 6/24/14. Resubmitted to HCD for final 90 day review period on 7/3/14.	No review performed.		
46	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
47	City of Morro Bay	Citywide		LCP-3-MRB-14-0409	Housing Element Implementation	Ordinance 584 sent as LCP Amendment to Coastal Commission. Coastal letter received 4-28-14. City response letter sent 5-21-14. C.J. Received Coastal response via consultant 7-30-14. LCP Amendment tentatively scheduled for August Coastal Commission hearing.	No review performed.		

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48	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review preformed.	N/A	
	City of Morro Bay	Citywide	6/12/12	Ordinance 578 / A00-014	North Main Commercial Parking. LCP Amendment to Zoning Ordinance. Title 17 Section 17.44.020 Parking Facilities.	LCP Amendment to Zoning Ordinance, 17.44.020 submitted to Coastal 9-2013. Amend ordinance to exempt the North Main Street Commercial Area from the provisions required by 17.44.02 A.1 which would allow businesses to change use intensity without providing additional parking. Comments received back from Coastal 11-2013., working on addressing outstanding items requested by Coastal.			
Projects Appealed or Forwarded to City Council									

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49	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop to be held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R	
50	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing. Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012.	Review complete, applicant to obtain building permit prior to construction.	See above	
Projects in Building Plan Check									
50	Fraker	575 Acacia	7/2/14	B-30201	SFR Patio Cover	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN. Resubmitted and approved 7-15-14	BC- under review.	N/A	
51	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	
52	Sherrod	938 Anchor	11/8/13	B-30053	SFR Add/ Remodel	KM -Under review. Corrections returned 12-9-13. Nonconforming rear yard setback requires a CUP.	BC- on hold pending planning process.	DH-7/22/14 needs sewer video	
53	Hill	445 Arcadia	7/8/14	B-30204	SFR Carport/ Deck	CJ - Corrections sent 7-14-14.	BC- under review.	JW-Disapproved, Correction Memo filed 7/18/2014	
54	Cockrill	3031 Beachcomber	12/16/13	B-30068	SFR Add/ Remodel	Addition exceeds 10% in appeals area. Needs CDP. CJ	BC-On hold during Planning process.	JW- needs sewer video	
55	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC.	
56	Granite Ranch	2720 Elm	4/30/14	B-30161	SFR Remodel	WM - Approved 5-5-14.	BC- Returned for corrections 5/7/14.	RS- Approved 07-17-2014	
57	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed	
58	GAFCO	1185 Embarcadero	7/11/14	B-30186	Dock and Gangway	CJ - Approved 7-28-14	BC- under review.	Return for correction per memo of 7/20/14	

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59	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit.	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation or stabilization of	
60	Craig	561 Estero	5/6/14	B-30162	SFR Remodel	Under review.	BC- under review.		
61	Buquet	647 Estero	3/14/14	B-30129	New SFR	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
62	Govers	404 Fairview	5/23/14	B-30177	SFR Remodel	CJ - Approved 5-27-14	BC- under review.		
63	Mendonca	2831 Fir	5/22/14	B-30093	SF Addition	NC - Correction letter sent 5/30/14. Approved 7-14-14. CJ.	BC-Returned for corrections 6/17/14.	ME-needs sewer video 6/12/2014	
	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car garage w/ storage	Under review		Assigned to ME/DH for review	
64	Harbor/ Stilts	1196 Front	6/23/14	B-30187	Oil Recovery Building	Approved. WM	BC- returned for corrections 6/23/14.		
65	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
66	Friends of MB Library	625 Harbor	12/18/13	B-30071	Remodel Library	KM - Needs CDP.	BC- Issued 7/2/14.	RS- approved w/ ADA improvements	
67	Groom	3039 Ironwood	1/15/14	B-30084	New SFR	Needs CDP.	BC-Returned for corrections 3/17/14.	BCR-7/1/14 approved. SW O&M plan rec'd 7/10/14	
68	McCallister	176 Java	6/3/14	B-30179	SFR Remodel	Project exceeds 10% in coastal appeals area. Will require a CDP prior to Building. CJ	BC-Returned for corrections 6/18/14.	BCR- under review	
69	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Plans returned w/o comment until Plng issue resolved	
70	Ramsay/ Chivens	431 Kern	3/11/14	B-30078	SFR Demo/ Reconstruct	Needs CDP prior to Building Permit	BC-Resubmitted 6/4/14.	RS 3/24/14 Cond Appr. w/ frontage Improvements	
71	Garcia	500 Kings	5/8/14	B-30166	SFR Demo		BC-Issued 7/7/14.		
72	Gannon	2571 Laurel	5/9/14	B-30168	SF Addition	NC-Correction memo sent 5/9/14. 2nd correction sent 7-14-14. CJ	BC- Returned for corrections 5/12/14.		
73	Gong	217 Main	2/27/14	B-30115	New SFR	Correction memo sent 4/24/14 GN.	BC- Returned for corrections 4/24/14.	BCR- 2nd review complete, several items from first review not addressed	
74	Senior Appartments	555 Main	6/30/14	B-30190	21 Unit Senior Apartments	Under review	BC-under review.	To BCR for review 7/17/14	
75	AT&T	788 Main	6/23/14	B-30194	Recycling Facility and Site Improvements	Correction sent 7-14-14. WM	BC-under review.		
76	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13.	BC-returned for corrections 12/16/13.	N/R	
77		501 Morro Bay Blvd.		B30207		Under review		Approved BCR 3/18/13	
78		525 Morro Bay Blkvd	7/14/14	B-30208	To-Go Food Sales			Original comments haven't been addresses. Revision	
79	Volk	800 Quintana	3/27/14	B-30137	Cell Antennas	NC - Corrections sent 4/8. CJ - Approved 6-17	BC-Issued 6/26/14.		
80	Adamson	1000 Ridgeway	9/11/13	B-30008	New SFR	CJ - on hold until CDP approval. CDP under appeal. CDP denied by Planning Commission 6/17. Council to hear appeal 8-12-14.	BC- on hold pending planning process.	BCR: Revise plans per memo of 10/14/13	

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81	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
82	Inn at MB	60 State Park	6/27/13	B-29884	Main Building Remodel	CJ- Corrections sent 7-17 including need to modify planning permit. Resubmittal received and response sent 12-18 to amend planning permit. Minor amendment necessary. Waiting on easement as of 6/24/14. Approved 7-30-14. CJ	BC- Waiting on applicant for final submittal items.	RS - Referred to State Parks for comment on frontage imprvmts. See PS memo of 7/14 for unresolved issue. Resubmittal approved pending completion of State Park	
83	Wammack	505 Walnut	12/31/13	B-30076	New SFR	CJ - needs CDP	BC-under review.	BCR sidewalk deferral agreement	
84	Najarian	325 Zanzibar	4/2/14	B-30142	New SFR	WM - Needs signed Acceptance of Conditions Form. 4/8	BC-Resubmitted 7/11/14.	RPS- Corrections noted in memo of 3/17/14 and email of	
85	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition	NC - Corrections sent 4/25	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	
86		8 Zanzibar Terrace	7/15/14	B-30209	Interior remodel			To JW for review	
Projects & Permits with Final Action									
3	Groom	3039 Ironwood	1/15/14	CP0-422	New 2,206sf Single Family Home with 510sf garage - concurrent permitting with Building Division	Under initial review Correction letter sent 3-13-14. GN. Resubmittal received 5/21. CJ. Project Noticed and permit issued 7-17-14	BC- conditionally approved.	BCR-approved with stormwater reqs.	
4	Wikler	405 Pacific	3/27/14	CP0-430	Administrative CDP 3 new unit construction to existing SFR	Incomplete letter sent 4/24/14 GN. Resubmitted 4/29/14 GN. Project needs to clarify building height before being noticed for administrative CDP. Project Noticed and permit issued 7-14-14.	BC- conditionally approved.	BCR- conditionally approved-reconstruct ADA ramp and design DW approach per B-6	