



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

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*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.  
The City shall be committed to this purpose and will provide a level of municipal service and safety  
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, August 19, 2014  
Veteran's Memorial Building – 6:00 P.M.  
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft  
Vice-Chairperson Gerald Luhr  
Commissioner Michael Lucas  
Commissioner John Fennacy  
Commissioner Richard Sadowski

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS

## PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Public Services' Office Assistant at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

## PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Approval of minutes from the Planning Commission meeting of August 5, 2014

**Staff Recommendation:** Approve minutes as submitted.

A-2 Approval of Resolution No. PC 18-14 Approving Variance (AD0-091) for Construction of a Second-Story Addition with a Rear Setback of 7.56 Feet Where 10 Feet is Required at 938 Anchor Street

**Staff Recommendation:** Adopt Resolution No. PC 18-14.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** #CP0-417

**Site Location:** 505 Walnut Street, Morro Bay, CA

**Applicant:** Mel & Marilyn Wammack

**Project Description:** Request for a Coastal Development Permit to construct a two-story, 2,120 square-foot primary dwelling, and an attached 442 square-foot secondary unit over a 460 square foot garage on a vacant 4,534 square-foot lot at the corner of Walnut and Main Streets. This project is located in the Coastal Commission appeal jurisdiction on property zoned Single Family Residential (R-1).

**CEQA Determination:** Categorically Exempt, Section 15303(a), Class 3

**Staff Recommendation:** Conditional Approval

**Staff Contact:** Whitney McIlvaine, Contract Planner, (805) 772-6211

C. UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List

**Staff Recommendation:** Receive and file.

D. NEW BUSINESS

D-1 Rear-yard Setback Interpretation

**Staff Recommendation:** Adopt Resolution No. PC 20-14.

D-2 Centennial Stairway Project Concepts

**Staff Recommendation:** Review, comment and provide recommendations.

E. DECLARATION OF FUTURE AGENDA ITEMS

F. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on September 2, 2014, at 6:00 p.m.

**PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: [www.morro-bay.ca.us/planningcommission](http://www.morro-bay.ca.us/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morro-bay.ca.us/notifyme](http://www.morro-bay.ca.us/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

### **APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



**B-1 Case No.:** #AD0-091 Variance

**Site Location:** 938 Anchor Street, Morro Bay, CA

**Variance:** Request to allow a 7.56-foot rear setback in the R-1 zone where the Zoning Ordinance requires 10% of the lot depth which, in this case, is 10 feet.

**CEQA Determination:** Categorically Exempt, Section 15301, Class 1

**Staff Recommendation:** Deny the variance

**Staff Contact:** Whitney McIlvaine, Contract Planner, (805) 772-6211

McIlvaine presented the staff report.

Commissioner Lucas and McIlvaine discussed prior approved non-conforming second floor additions in the area and if that set a precedent for a current request to approve a second story addition of a non-conforming structure.

Commissioner Lucas and McIlvaine discussed the difference between when a project for a second floor addition on an existing non-conforming footprint would need only a building permit and when a variance would be needed.

Vice Chairperson Luhr asked if it is staff's interpretation of the zoning requirements that the ready to issue permit from 2008 was issued in error. McIlvaine replied yes.

Chairperson Tefft asked if the staff interpretation in 2008 was that the house was conforming so a conditional use permit was not required. McIlvaine stated the record is unclear, noting there was no conditional use permit ready to issue, only a building permit.

Chairperson Tefft and McIlvaine discussed when a conditional use permit would be needed for non-conforming structures, with McIlvaine confirming that additions of more than 25% would require a conditional use permit.

Commissioner Sadowski noted that he visited the site and spoke with the owner.

Chairperson Tefft opened Public Comment period.

Mike Sherrod, Applicant, stated a canvassing of the homes in the super block area shows half are two stories with non-conforming rear yard setbacks. Sherrod presented a history of the project, letters of support for the project, and requested the Commission approve the variance.

Vice Chairperson Luhr noted that if the variance is granted, someone in the future could request a variance to add a second story at the front of the house and asked the Applicant if they would be willing to place a deed restriction on the property. Sherrod replied yes.

Nancy Aaron, Morro Bay Anchor Street resident, spoke in support of granting the variance.

Matt Makowetski, Morro Bay resident, spoke in support of granting the variance.

Michael Caylen, Morro Bay Anchor Street resident, spoke in support of granting the variance.

Robert Nava, Morro Bay Anchor Street resident, spoke in support of granting the variance.

Chairperson Tefft closed Public Comment period.

Commissioner Fennacy spoke in support of the project and granting the variance noting there are special circumstances.

Commissioner Lucas stated he likes the design but is very concerned with the precedent it sets to approve the variance, noting unless there is a condition to address this, he cannot support a variance.

Vice Chairperson Luhr stated he would like to grant the variance, but condition it such that it specifies a previous planning staff member determined this was a valid project to limit the precedent for future variance requests of this nature, and restrict the air space over the existing front portion to a single story so a variance request would be needed for a future project.

Commissioner Sadowski stated he supports granting the variance and the conditions Vice Chairperson Luhr suggested.

Chairperson Tefft stated he visited the site and spoke with the Applicant, noting there are two issues before the Commission: how the zoning ordinance should be interpreted and whether or not grant this variance, noting that he supports McIlvaine's interpretation of the zoning ordinance. Chairperson Tefft stated he supports granting the variance as the Applicant proceeded based on representations by the City that we now believe to be incorrect and the project is well designed and not detrimental to the neighborhood.

Chairperson Tefft and staff discussed the status of the structure if the variance is granted, noting the rear yard setback would still be non-conforming but that the front yard setback may be deemed conforming if consistent with a provision in zoning code for street yard averaging.

Chairperson Tefft stated he supports granting the variance with the suggested conditions from Vice Chairperson Luhr.

Commissioner Fennacy stated he believes there are special circumstances to granting the variance that are stand alone to this project and is concerned with placing a condition that would restrict future development of the site.

Vice Chairperson Luhr stated the condition would be a trigger to bring it back and a future Commission could change that condition at its discretion.

Vice Chairperson Luhr and Graham discussed how the courts have interpreted a variance and whether the Commission condition the variance based on the process rather than special circumstances of the lot.

Chairperson Tefft re-opened Public Comment period.

Sherrod asked if there was a decision being made tonight. Graham replied yes but the Commission does not have a resolution before them to adopt granting the variance.

Sherrod, Vice Chairperson Luhr and Graham discussed differences between a deed restriction and a condition to restrict development of the property in the future.

Chairperson Tefft closed Public Comment period.

**MOTION:** Vice Chairperson Luhr moved to continue this item to the August 19 meeting with direction to staff to return with a resolution for approval of variance AD0-091 with conditions as noted. Commissioner Lucas seconded the motion.

Commissioners and staff discussed a continuance of the item versus approval of a variance and returning with a resolution and conditions on the Consent Calendar.

**AMENDED MOTION:** Vice Chairperson Luhr amended his motion and moved to approve variance AD0-091 with the conditions noted and direct staff to return at the August 19 meeting with a resolution approving variance AD0-091. Commissioner Lucas seconded the amended motion.

Commissioner Lucas and staff discussed bringing back an interpretation memo confirming that McIlvaine interpreted the code correctly. Graham stated that would be done for the next meeting.

The amended motion passed unanimously. (5-0)

#### UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List  
Staff Recommendation: Receive and File

Jacynth reviewed the work program with the Commissioners.

NEW BUSINESS - None

#### E. DECLARATION OF FURTUE AGENDA ITEMS

- Staff to review setback regulations for accessory structures in relation Mr. Krause's code enforcement issue and return to the Commission as necessary.

#### F. ADJOURNMENT

The meeting adjourned at 7:34 p.m. to the next regularly scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on Tuesday, August 19, 2014 at 6:00 p.m.

\_\_\_\_\_  
Robert Tefft, Chairperson

ATTEST:

\_\_\_\_\_  
Rob Livick, Secretary

RESOLUTION NO. PC 18-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION TO APPROVE VARIANCE (AD0-091), FOR CONSTRUCTION OF A SECOND-STORY ADDITION WITH A REAR SETBACK OF 7.56 FEET WHERE 10 FEET IS REQUIRED AT 938 ANCHOR STREET

**WHEREAS**, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on August 5, 2014, for the purpose of considering an application for a rear-yard setback variance from 10 feet to 7.56 feet for a second-story addition to an existing nonconforming structure ; and

**WHEREAS**, notices of said public hearing were made at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

**California Environmental Quality Act (CEQA)**

- A. The variance has been found to be categorically exempt from CEQA pursuant to Section 15305, Class 5. Class 5 consists of minor alterations in land use limitations in areas with an average slope of less than 20%, which do not result in any changes in land use or density, including but not limited to: minor lot line adjustments, side yard, and set back variances not resulting in the creation of any new parcel.

**Findings for Approval**

1. Granting of the variance to allow a 7.56-foot rear setback where the Zoning Ordinance would otherwise require a 10-foot rear setback will not be detrimental to the public safety, health and welfare. The project is subject to compliance with all applicable Building and Fire Code requirements.
2. Granting of the variance does not constitute a special privilege inconsistent with the limitations upon other properties in the vicinity and zoning district in which the subject property is situated because, in this specific case, a nearly identical project was approved by the City for building permit issuance in 2008.

3. Due to special conditions or exceptional characteristics of the property, or its location and surroundings, the strict application of this title would result in practical difficulties and unnecessary hardship because compliance with the full 10-foot rear setback will require extensive re-engineering and redesign of a project which is nearly identical to the project approved by the City for building permit issuance in 2008.
4. The variance request is consistent with the intent of the Coastal Land Use Plan and the General Plan because the resulting project would be consistent and compatible with the pattern of development in the surrounding neighborhood.
5. Approval of the variance allows the second-story addition to be located at the rear of the existing house and thereby reduce visual impacts to the neighborhood streetscape.

**Section 2:** Action. The Planning Commission does hereby approve Variance AD0-091 to specifically allow a rear setback of 7.56 feet for a 614 square-foot, second-story addition, a 130 square-foot second-story deck, and a 271 square-foot roof deck addition to the rear portion of an existing nonconforming structure at 938 Anchor Street in the R-1 zone, where a 10-foot setback would otherwise be required by Zoning Ordinance Section 17.24.040.

**Conditions of Approval:**

1. This variance (AD0-091) is granted for the land described in the staff report dated August 5, 2014, for the project at 938 Anchor Street depicted on plans dated January 16, 2014, on file with the Public Services Department, showing a 614 square-foot second-story addition with a balcony and roof deck over the rear of the existing house with a rear-yard setback of 7.56 feet where a 10-foot setback is otherwise required. Site development shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued thereafter, this approval will automatically become null and void.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.
5. Future Additions: Any future applications for second-story additions to the existing house at 938 Anchor Street shall require review and approval by the Planning Commission.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 19th day of August, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Chairperson

ATTEST

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Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 19th day of August 2014.



AGENDA NO: B-1

MEETING DATE: August 19, 2014

## Staff Report

**TO:** Planning Commissioners

**DATE:** August 19, 2014

**FROM:** Whitney McIlvaine, Contract Planner

**SUBJECT:** Coastal Development Permit (CP0-417) for construction of a new single-family dwelling and a secondary dwelling unit at 505 Walnut Street

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by adopting a motion including the following action(s):

A. Adopt Planning Commission Resolution 19-14, which includes the Findings and Conditions of Approval for the project depicted on site development plans dated August 6, 2014.

B.

**APPLICANT/AGENT:** Mel & Marilyn Wammack / Rob Reynolds

**LEGAL DESCRIPTION/APN:** 066-253-006

**PROJECT SETTING:**

The project is located in central Morro Bay on the inland side of Main Street in a Single Family Residential zone (R-1). This property is currently an irregularly shaped vacant lot that is approximately 4,534 square feet in size with street frontage on three sides. Surrounding development consists mostly of two-story single-family residences. Houses in the area range in size from under 1,000 square feet to over 3,000 square feet.



Prepared By: \_\_\_\_\_ Department Review: \_\_\_\_\_

**PROJECT DESCRIPTION:**

The Applicant is requesting a Coastal Development Permit for new construction of a single-family dwelling and an attached secondary dwelling unit on a vacant lot at 505 Walnut Street. The project site is within the California Coastal Commission appeal jurisdiction. Projects located within the appeal jurisdiction are required to obtain a Coastal Development Permit from the Planning Commission. Plans show a new two-story, 2,090 square-foot, single-family residence, a 460 square-foot garage, an attached 442 square-foot secondary unit, and two upper-level decks. An open parking area for the secondary unit is shown on the east side of the garage.

<b><u>Adjacent Zoning/Land Use</u></b>			
North:	R-1, Low/Medium Residential	South:	R-1, Low/Medium Residential
East:	R-1, Low/Medium Residential	West:	R-1/PD, Low/Medium Residential/Planned Development

<b><u>Site Characteristics</u></b>	
Site Area	4,534 square feet
Existing Use	Vacant
Terrain	Slopes roughly 7.5% towards the southwest
Archaeological Resources	No known archaeological resources exist on the site and the site is not within close proximity of a known site
Access	Walnut Street / Main Street / Cypress Avenue

<b><u>General Plan, Zoning Ordinance &amp; Local Coastal Plan Designations</u></b>	
General Plan/Coastal Plan Land Use Designation	Low to Medium Density Residential (4-7 units/acre)
Base Zone District	R-1, Single Family Residential
Zoning Overlay District	N/A
Special Treatment Area	N/A
Combining District	N/A
Specific Plan Area	N/A
Coastal Zone	Within the Coastal Appeals Jurisdiction

**PROJECT ANALYSIS:**

Project compliance with Single Family Residential Zoning Ordinance standards is shown in the following table. Additional analysis is provided below.

<b><u>R-1: Single Family Residential Zoning Ordinance Standards</u></b>			
	<b>Standards</b>	<b>Proposed</b>	<b>Complies?</b>
<b>Front Yard Setback</b>	20 feet	20 feet from Cypress Avenue and Main Street	Yes
<b>Garage Setback</b>	20 feet	20 feet from Walnut Street	Yes
<b>Interior Yard Setback</b>	10% of average width of lot with 10 foot maximum and 5 foot minimum	5 feet	Yes
<b>Exterior Yard Setback</b>	20% of average width of lot with 10 foot maximum and 5 foot minimum	10 feet from Walnut Street	Yes
<b>Rear Yard Setback</b>	10% of average depth of lot with 10 foot maximum and 5 foot minimum	11 feet 6 inches	Yes
<b>Lot Coverage</b>	45% allowed	38.5%	Yes
<b>Height</b>	25 feet	24 feet	Yes
<b>Parking</b>	2 covered and enclosed spaces plus one uncovered space	2 covered and enclosed spaces plus one uncovered space	Yes

**Street Frontage and Dedication**

The project is located on the northeast corner of Main and Walnut Streets. The lot also fronts on Cypress Avenue. The project is required to dedicate 5 feet of property along Main Street to enable enough room for future frontage improvements. Final plans will be revised to simply lengthen the parallel line delineating the dedication through to the western property boundary. No additional dedication along Cypress is required. A new driveway from Walnut Street will provide access to the garage and the open parking space for the secondary unit.

**Setbacks**

Zoning Ordinance Section 17.12.370 defines “front lot” as the narrowest dimension of a lot fronting on a street. Therefore, the front setback is measured from Cypress Street.

Plans show a 20-foot setback from Cypress and Main Streets. Walnut Street conforms to the maximum exterior side-yard setback requirement of 10 feet.

### **Secondary Unit**

The project includes a 442 square-foot secondary unit above the garage. The secondary unit conforms to provisions of Section 17.48.320 of the Zoning Ordinance, including size, architectural compatibility with the primary unit, and site development standards, such as height and setbacks. One additional parking space is required and provided.

### **Parking and Driveway**

Garage parking for two cars is proposed for the main dwelling. Plans show parking for the secondary unit adjacent to the garage in the rear setback. The space is between the house and a retaining wall and accessed via the driveway.

Chapter 17.44 of the Zoning Ordinance requires single-car garage and carport parking spaces to be 11' x 20'. Because the proposed outdoor space is between a retaining wall and the house, staff recommended the same 11-foot minimum width parking space dimension. This minimum is reflected on the plans.

The Zoning Ordinance allows for a residential driveway width greater than 20 feet to avoid awkward vehicle maneuvers. Plans show a driveway width of approximately 25 feet to provide viable access to the secondary unit parking space.

### **Neighborhood Compatibility Policies**

The General Plan discusses protection of neighborhood character as an issue in the Visual Resource and Scenic Highway Element, noting that, "(1) New residences and new residential additions are often out of scale and character with other residences in the vicinity. (2) The current allowable height and bulk for residential development is not appropriate for some portions of the community." (p.IV-12)

General Plan Land Use Element policy LU-15 states, "The present human scale and leisurely, low intensity appearance of Morro Bay should be maintained through careful regulation of building height, location and mass."

*The proposed building meets the height and setback requirements for projects in the R-1 zone. Siting the building toward the northeast corner of the site reduces visual impact on the streetscape. Building mass is discussed below.*

### **Scenic Resource Protection Policies**

The Coastal Land Use Plan (LCP) contains numerous policies protecting public views from scenic corridors and public recreational areas. LCP Policy 12.01 requires development to be sited and designed to protect views to and along the ocean and scenic

and coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas and, where feasible, to restore and enhance visual quality in visually degraded areas. The LCP's highly scenic areas have an additional standard, but the proposed home is not located in a City designated highly scenic area.

*The project is not in a designated scenic area, but there are designated scenic areas and views nearby. The site could be characterized as "coastal" due to its proximity to the bay. Grading is proposed to create a level building pad and replace retaining walls. Architectural compatibility with the surrounding area is discussed below.*

Zoning Ordinance Section 17.48.190 Protection of visual resources and compatible design states, "New development shall project and, where feasible, enhance the visual quality of the surrounding area. New development may be permitted only if the siting and design meet the following standards:

- A. Protection of public views: significant public views to and along the coast are protected.

*There are limited views of the bay along Main Street in the project vicinity. This stretch of Main Street is not designated as scenic in the LCP. The project is on the inland side of Main Street, which reduces potential impacts on water views.*

- B. Natural landform protection: alterations to natural landforms are minimized.

*The site does not contain any significant natural landforms. Preliminary grading plans estimates the project will involve roughly 60 cubic yards of cut and fill to create a level building pad and provide for other site improvements. The finish floor would be at an elevation of 105.7feet, which is the average natural grade of the site. The maximum cut would be 3.7 feet. The maximum fill would be 2.5 feet. Currently there are retaining walls along the north and east sides of the site, indicating some previous grading. New retaining walls are proposed. The new wall along the north side will be located roughly 3 feet further north to correspond with the actual location of the property boundary.*

C. Compatibility: the development is visually compatible with the character of the surrounding area and any design themes adopted for the area by the city.”

*There are no adopted design themes applicable to this site. Architectural compatibility is discussed below.*

### **Architectural Compatibility**

The project is not unlike other newer residential construction in the vicinity, which is typically two-story and more than 2,500 square feet in size. Overall, the surrounding neighborhood exhibits a variety of dwelling sizes, architectural styles, and building materials. Some issues specific to this project are:

Color and Materials: Proposed colors are a bright, saturated turquoise for the main body of the house and a white trim. A less bright hue might be more appropriate. Materials called out on the plans include Hardie lap siding and trim, mullioned windows, architectural composition shingles, and wrought iron balusters and wood rail guards on the decks. There is no specific material called out for the retaining walls. Incorporating split face block into the design would add visual interest. Staff understands the applicant also intends to add fencing on top of the retaining wall. Any fencing is subject to conformance with Zoning Ordinance Section 17.48.100.

Siting: The residential project would be prominently located on an up-sloping corner lot along Main Street. With 2,992 square feet of enclosed space and 170 square feet of porch and deck space, this would be one of the larger structures in the area. The project site will tend to amplify the structure’s apparent size and bulk.

Massing: The second story of the structure is larger than the ground floor. It cantilevers over the first floor in several locations with 110 square feet of additional enclosed space and two upper story decks totaling 118 square feet. Staff is concerned this gives the building a top-heavy appearance. However, there are numerous examples of cantilevered second-story elements in the vicinity. The project will be required to plant 3 street trees since it fronts on three streets. Trees and other landscaping will help reduce the apparent mass of the building.

Articulation: The north wall is effectively a single plane, approximately 65 feet long. The use of lap siding, window trim, and the wide horizontal banding, together with the 4-inch inset at the stairwell, will provide some relief in terms of shadow detail. Commissioners may wish to specify a few additional measures break up the massing of this elevation.

Lighting: Exterior lighting is not shown on the plans. Staff recommends that all exterior lighting be shielded so that the light source is not directly visible from off site.

**ENVIRONMENTAL DETERMINATION**: Pursuant to the California Environmental Quality Act the project is categorically exempt pursuant Section 15303, Class 3 for New Construction or Conversion of Small Structures. The exemption provides for the construction of up to three single-family residential structures in an urbanized area.

**PUBLIC NOTICE**: Notice of this item was published in the San Luis Obispo Tribune newspaper on August 8, 2014 and all property owners of record within 300 feet and occupants within 100 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**CONCLUSION**: The project constitutes infill residential development in an urbanized area of the City and meets the development standards of the zoning district, including height, lot coverage, parking and setbacks. The project would not have significant adverse impacts on visual resources since the development is not located within a designated scenic area, but in an existing residential area with other similar residential developments.

Therefore, staff recommends Planning Commission conditionally approve the requested Coastal Development Permit #CP0-417 for new construction of a single-family residence and secondary unit at 505 Walnut.

**ALTERNATIVE ACTIONS**: As an alternative to the recommended action, the Planning Commission may:

1. Deny the project and direct staff to return with a resolution for denial.
2. Continue with direction to staff and/or the applicant.

**EXHIBITS**:

Exhibit A - Planning Commission Resolution 19-14  
Exhibit B – Graphics/ Plan Reductions

EXHIBIT A  
RESOLUTION NO. PC 19-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING THE COASTAL DEVELOPMENT PERMIT (CP0-417) FOR THE CONSTRUCTION OF A NEW TWO-STORY 2,090 SQUARE- FOOT SINGLE-FAMILY RESIDENCE WITH A 460 SQUARE-FOOT TWO-CAR GARAGE, AN ATTACHED 442 SQUARE-FOOT SECONDARY UNIT, AND 170 SQUAREE FEET OF PORCH AND DECKING WITH ONE ADDITIONAL OPEN PARKING SPACE AT 505 WALNUT STREET.

**WHEREAS**, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on August 19, 2014, for the purpose of considering Coastal Development Permit #CP0-417; and

**WHEREAS**, notices of said public hearing were made at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the appellant and testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

**California Environmental Quality Act (CEQA)**

1. Pursuant to the California Environmental Quality Act, the Director has found the project as proposed categorically exempt under Section 15303, Class 3(a), “New Construction or Conversion of Small Structures,” because the project is a single-family home with an attached secondary dwelling in a residential zone and does not have a significant effect on the environment.

**Coastal Development Permit Findings**

2. The Planning Commission finds the development of a new single-family residence with an attached secondary dwelling unit is consistent with the applicable provisions of the General Plan and certified Local Coastal Program.
3. The Planning Commission finds the project, as conditioned, is consistent with the character of the neighborhood in which it is located. It is surrounded by compatible uses of low density residential development; has similar bulk and scale as nearby structures; and like other structures in the neighborhood, the proposed project is two stories and has an attached two car garage.

4. The Planning Commission finds that the development of a new single-family residence and attached secondary dwelling unit will not cause any health and safety concerns, and will not impact neighboring uses, environmentally sensitive habitat areas, or otherwise create significant impacts.

**Section 2. Action.** The Planning Commission does hereby approve Coastal Development Permit #CP0-417 subject to the following conditions:

### **STANDARD CONDITIONS**

1. This permit is granted for the land described in the staff report dated August 19, 2014, for the project at 505 Walnut Street depicted on plans dated August 6, 2014, on file with the Public Services Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for CP0-417, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Public Services Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions

challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
8. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

#### **Planning Conditions:**

1. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. At the time of foundation inspection, the property owner shall verify lot boundaries and building setbacks to the satisfaction of the City Planning Manager and City Building Official.
1. Height Certification: Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the City Planning Manager certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection a licensed surveyor shall measure the height of the structure and submit a letter to the City Planning Manager, certifying that the height of the structure is in accordance with the approved set of plans and complies with the height requirements of the Morro Bay, Municipal Code Section 17.12.310.
2. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems, shall be submitted for review and approval by the Building Official. (MBMC Section 17.52.070)
3. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist, knowledgeable in local indigenous culture, or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be

liable for costs associated with the professional investigation. (MBMC Section 17.48.310)

4. Secondary Unit Parking: The minimum width of the area between the face of the retaining wall along the eastern property line and the eastern face of the building shall be 11 feet to enable room for a viable parking space for the secondary unit.
5. Lighting: Prior to issuance of a building permit, the applicant shall submit an exterior lighting plan for review and approval by the City Planning Manager. The plan shall show all exterior lighting fixtures and locations and shall be subject to the following standards:
  - a. The point source of all exterior lighting shall be shielded from offsite views.
  - b. Exterior lighting shall be directed downward and shall use cut-off fixtures or shields.
  - c. Exterior lighting shall be designed not to focus illumination onto exterior walls.
  - d. Bright white-colored lighting shall not be used for exterior lighting.
6. Undergrounding: All utilities to the structure shall be undergrounded.
7. Retaining Walls: The retaining walls along the east and north property lines shall incorporate split face masonry units.
8. Fencing: Any project fencing is subject to conformance with Zoning Ordinance Section 17.48.100.
9. Inspection: The applicant shall comply with all Planning conditions listed above and obtain a final inspection from the Planning Division at the necessary time in order to ensure all conditions have been met.

#### **Building Conditions:**

1. Prior to construction, the applicant shall submit a complete building permit application and obtain the required building permit.

#### **Fire Code Requirements:**

1. Fire Sprinklers. The new residence shall be equipped with an automatic fire sprinkler system, in accordance with Morro Bay Municipal Code, Section 14.08.090(1)(2) and 2010 California Residential Code, Section R313.
2. Carbon Monoxide Alarms. For new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. (CRC 315)

**Public Works Conditions:**

1. Sewer Backwater Valve: Construction plans shall reflect that a sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project. (MBMC 14.24.070).
2. Frontage improvements are required along Main Street (MBMC 14.44.020) Specific improvements include a street tree, curb, gutter and six-foot wide sidewalk with ADA compliant ramps at the corners. Developer may defer the installation of curb, gutter and sidewalk if deemed necessary to better coordinate construction with other planned improvements. If work is deferred, the required improvements shall be shown on the building plans with a note indicating deferral. A deferral agreement shall be recorded against the property prior to issuance of a building permit.
3. To provide sufficient right-of-way for frontage improvements, the property owner shall dedicate to the City a five-foot wide strip of lot frontage along Main Street to the satisfaction of the Public Works Director prior to issuance of a building permit.
4. Provide a standard erosion and sediment control plan (MBMC 12.04 & 14.48). The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. This Plan shall be provided with the Building Permit application.
5. Show the installation of a driveway approach per City of Morro Bay standards B-7 or B-8. Note that driveway width for residential properties shall not exceed 25'.
6. Include the locations of the sewer lateral, water service, and water and sewer mains.
7. Grading and Drainage: Show existing and proposed topography and grading plan. Show drainage paths on the plans. Projects are encouraged to implement Low Impact Development (LID) feature.
8. Three street trees shall be planted in the front and exterior yard setbacks within 10 feet of the right-of-way to the satisfaction of the Planning Manager and City Engineer.
9. Add the following Notes to the Construction Plans:
  - a. No work within (or use of) the City's Right of Way shall occur without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.
  - b. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 19th day of August, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Robert Tefft, Chairperson

ATTEST

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Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 19th day of August 2014.

# EXHIBIT B



## Materials Legend

- 1. Composition Shingle Roofing  
Woodmore Collection  
Woodcrest/Sycamore
- 2. Eaves and Trim  
BWC-04 Beach House White (Behr)
- 3. Hardy Plank Siding  
P460-3 Soft Turquoise (Behr)
- 4. Wood front doors (dark stain)  
SW 3115 Bistro Walnut
- 5. Vinyl Windows  
Milgard White

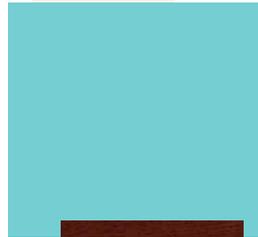
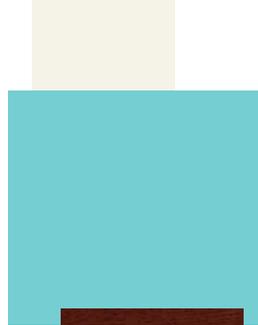
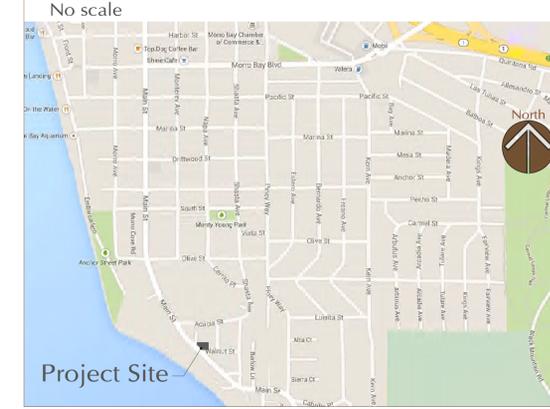


EXHIBIT B

Vicinity Map



UTILITIES SHALL BE TIED INTO STREET, VERIFY LOCATION OF UTILITY TIE-IN PRIOR TO CONSTRUCTION. ALSO VERIFY REQUIRED SIZE OF LINES TO BUILDING.

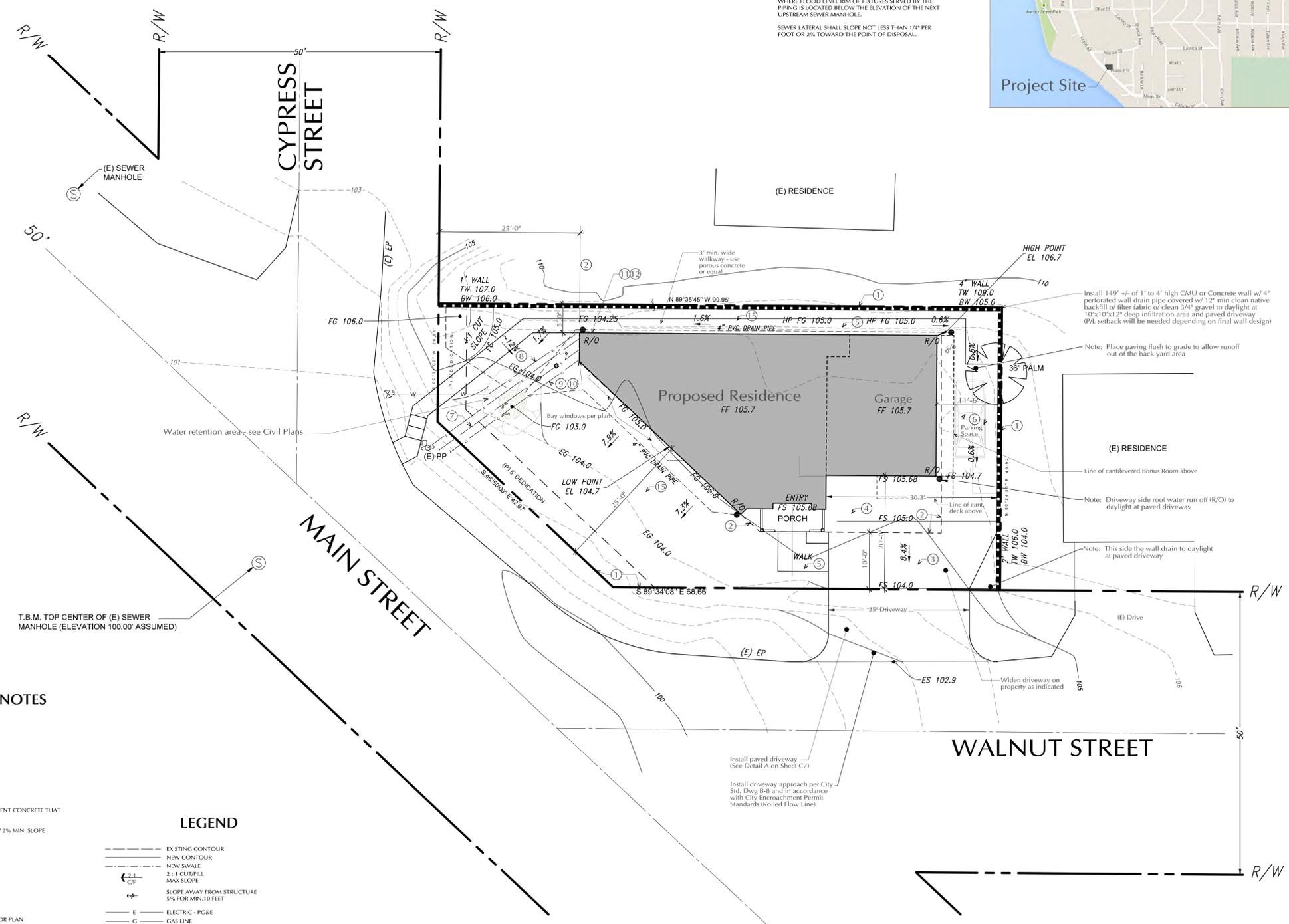
ELECTRICAL SERVICE ENTRANCE CONDUCTORS TO BE UNDER GROUND

ABS SEWER LATERAL W/ CLEANOUT MAX 2'-0" FROM BUILDING.

PROVIDE 5% SLOPE AWAY FROM ALL STRUCTURES FOR A MIN. OF 10' THEN FOLLOW THE NATURAL DRAINAGE FLOW. PRESERVATION OF NATURAL PATTERN OF STORMWATER DRAINAGE SHALL BE MAINTAINED.

PROVIDE A BACKWATER VALVE ON THE SEWER LATERAL WHERE FLOOD LEVEL RIM OF FIXTURES SERVED BY THE PIPING IS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM SEWER MANHOLE.

SEWER LATERAL SHALL SLOPE NOT LESS THAN 1/4" PER FOOT OR 2% TOWARD THE POINT OF DISPOSAL.



- KEY NOTES**
- 1 PROPERTY LINE
  - 2 BUILDING SETBACK LINE
  - 3 16'-0" CONCRETE DRIVEWAY
  - 4 CONCRETE APRON
  - 5 WALKWAY
  - 6 PARKING AREA: POROUS PAVEMENT CONCRETE THAT ALLOWS RAIN TO INFILTRATE
  - 7 SEWER LINE ROUTE 3" MIN. Ø W/ 2% MIN. SLOPE
  - 8 WATER LINE ROUTE
  - 9 GAS LINE ROUTE
  - 10 GAS POINT OF CONNECTION
  - 11 PG&E POINT OF CONNECTION
  - 12 ELECTRIC PANEL. REFER TO FLOOR PLAN
  - 13 TELEPHONE SERVICE ENTRANCE
  - 14 APPROVED ADDRESS NUMBERS
  - 15 SLOPE FINISH GRADE AWAY FROM STRUCTURE 5% FOR MIN. 10 FEET
- LEGEND**
- EXISTING CONTOUR
  - - - NEW CONTOUR
  - - - NEW SWALE
  - 2:1 CUT/FILL MAX SLOPE
  - 5% SLOPE AWAY FROM STRUCTURE 5% FOR MIN. 10 FEET
  - E ELECTRIC - PG&E
  - G GAS LINE
  - TV CABLE TV
  - W WATER
  - PH PHONE
  - HAY BALES FIXED TO GROUND WITH #4 REBAR

Sheet Index

Sheet	Description	
1	General Information & Site Plan	1 of 3
2	Exterior Elevations	2 of 3
3	Floor Plans	3 of 3

Project Data

Project Description: New Single Family Residence  
 Address: 505 Walnut Avenue Morro Bay, CA  
 Legal Description: Lot 6, Block 3, Morro Rock Park  
 APN: 066-253-006  
 Zone: R-1  
 Lot Area: 0.12 acres +/-

Setbacks:

Front - Walnut [Residence]	10'
Front - Walnut [Garage]	20'
Left - Cypress Ave	25'
Left - Main Street	25'
Right	10.5' (First Floor) 8.5' (Second Floor)
Rear	5'

Lot Coverage:

Area of building footprint (includes cantilevers and deck/balconies 30" above ground level)	1,746 sf
Lot Area	4,534.5 sf
Coverage:	38.5% < 45% - okay

Building Area:

Conditioned Space	
First Floor:	975 s.f.
Second Floor:	1,115 s.f.
Bonus Room (Apt.)	442 s.f.
Total Proposed Living Space:	2,522 s.f.

Porches and Non-Conditioned Space

Garage area:	460 s.f.
Front Porch:	52 s.f.
Master Bedroom Deck:	64 s.f.
Bonus Room Deck:	54 s.f.

Stories: 2 Story  
 Building Height: 24'-0" +/- (abv average grade)  
 25'-0" max allowable

The average natural grade is determined as follows:  
 Highest existing point along building foundation: EL. 106.7'  
 Lowest existing point along building foundation: EL. 104.7'  
 Average Natural Grade: EL. 105.7' (equals first floor slab)

Individual building sections:  
 First Floor: 10' x 11'  
 Floor Framing: 8'  
 Second Floor: 8'  
 Roof Framing: 4,906'  
 Building Height: 24,006'

Proposed Peak elevation: 105.7' + 24.006' = 129.706'  
 Peak elevation above ave. natural grade: 130.7'  
 Note: There is 0.994' of flexibility (130.7' - 129.706')

Construction Type: V-B  
 Sprinklers: Yes (NFPA 13R)  
 Occupancies: R-3 & U

Contact Information

Owner/Applicant: Mel & Marilyn Wammack  
 16851 Avenida Florencia  
 Poway, CA 92064  
 Phone: 619.701.2452

Architect: Jeff Schneiderei  
 580 Dolliver Street  
 Pismo Beach, CA 93449  
 Phone: 805.773.8333  
 Fax: 424.214.3290

Contractor: Rob Reynolds Construction  
 6323 Webster Road  
 Creston, CA 93432  
 Phone: 805.238.1636

Soils Engineer: Beacon Geotechnical Services, LLC  
 P.O.Box 4814  
 Paso Robles, CA 93447  
 Phone: 805.434.9490



Site Plan

Scale: 1" = 10'-0"

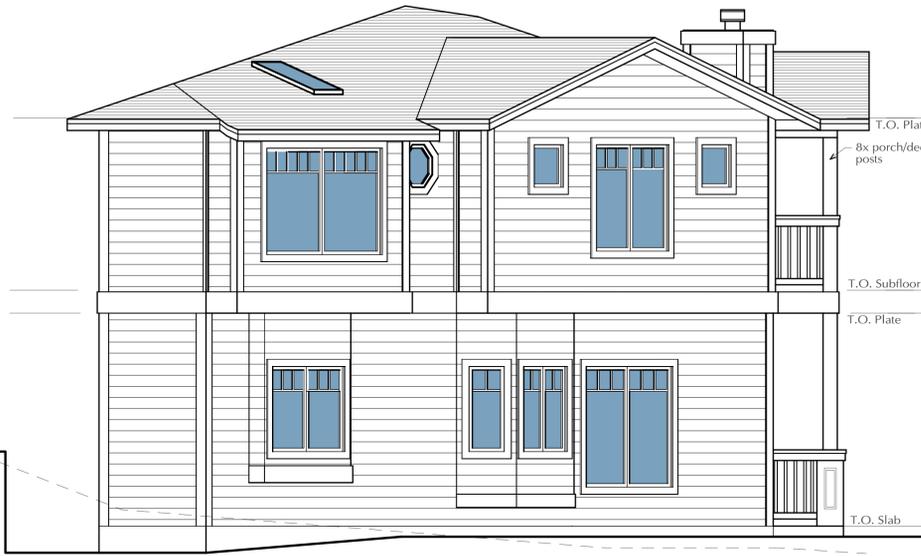
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Job Number: 1324  
 Date: 8/6/2014 - Planning Submittal  
 Revisions:

Jeff Schneiderei Architect  
 580 Dolliver Street  
 Pismo Beach, CA 93449  
 Phone: 805.773.8333  
 Fax: 424.214.3290  
 www.jeschneidereiarchitects.com

Wammack Residence  
 Lot 6, Block 3, Morro Rock Park  
 505 Walnut Ave., Morro Bay, CA  
 Mel & Marilyn Wammack

EXHIBIT B



Left - West Elevation



Front - South Elevation



Right - East Elevation



Rear - North Elevation

Materials Legend

- 1. Composition Shingle Roofing  
Woodmore Collection  
Woodcrest/Sycamore
- 2. Eaves and Trim  
BWC-04 Beach House White (Behr)
- 3. Hardy Plank Siding  
P460-3 Soft Turquoise (Behr)
- 4. Wood front doors (dark stain)  
SW 3115 Bistro Walnut
- 5. Vinyl Windows  
Milgard White



Northeast Corner



Main Street Facade

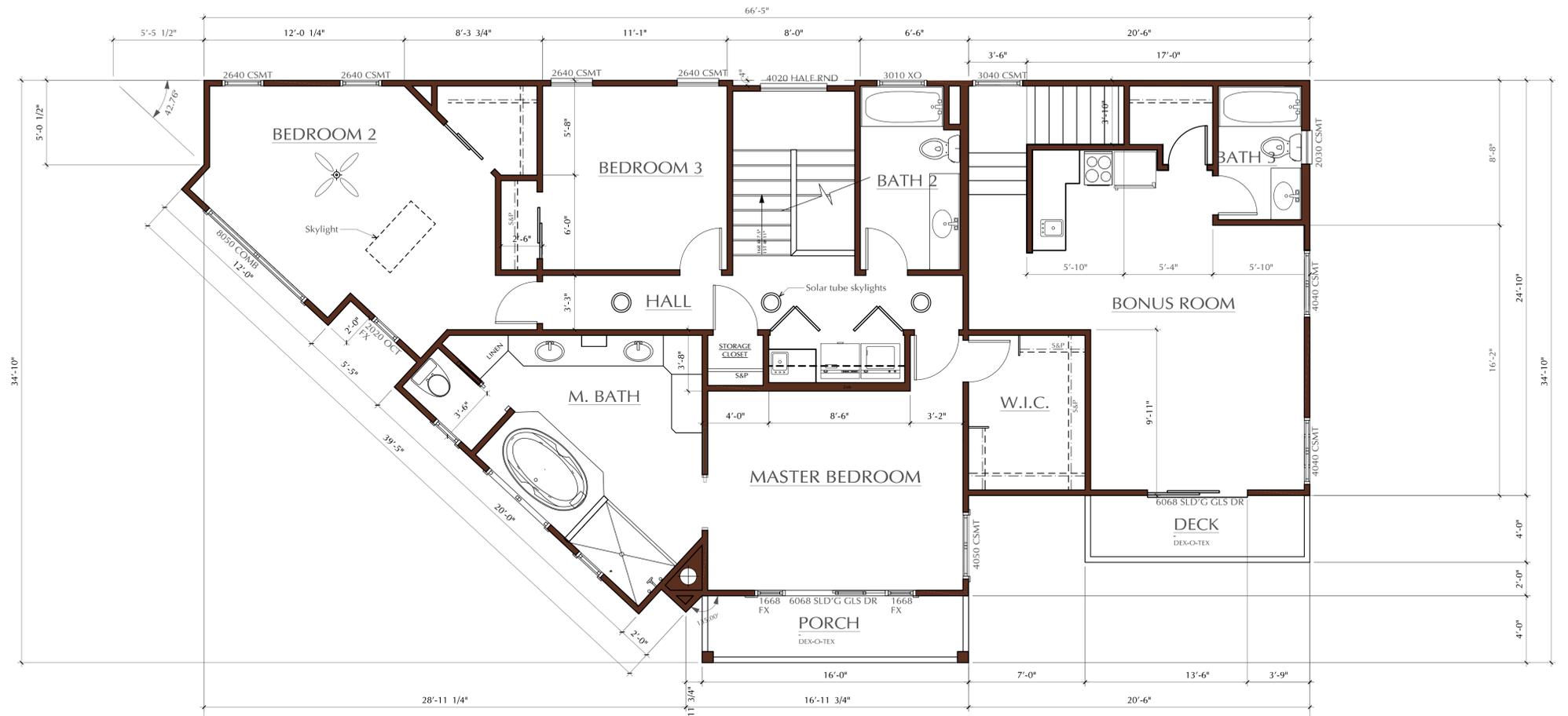


Walnut Street Facade



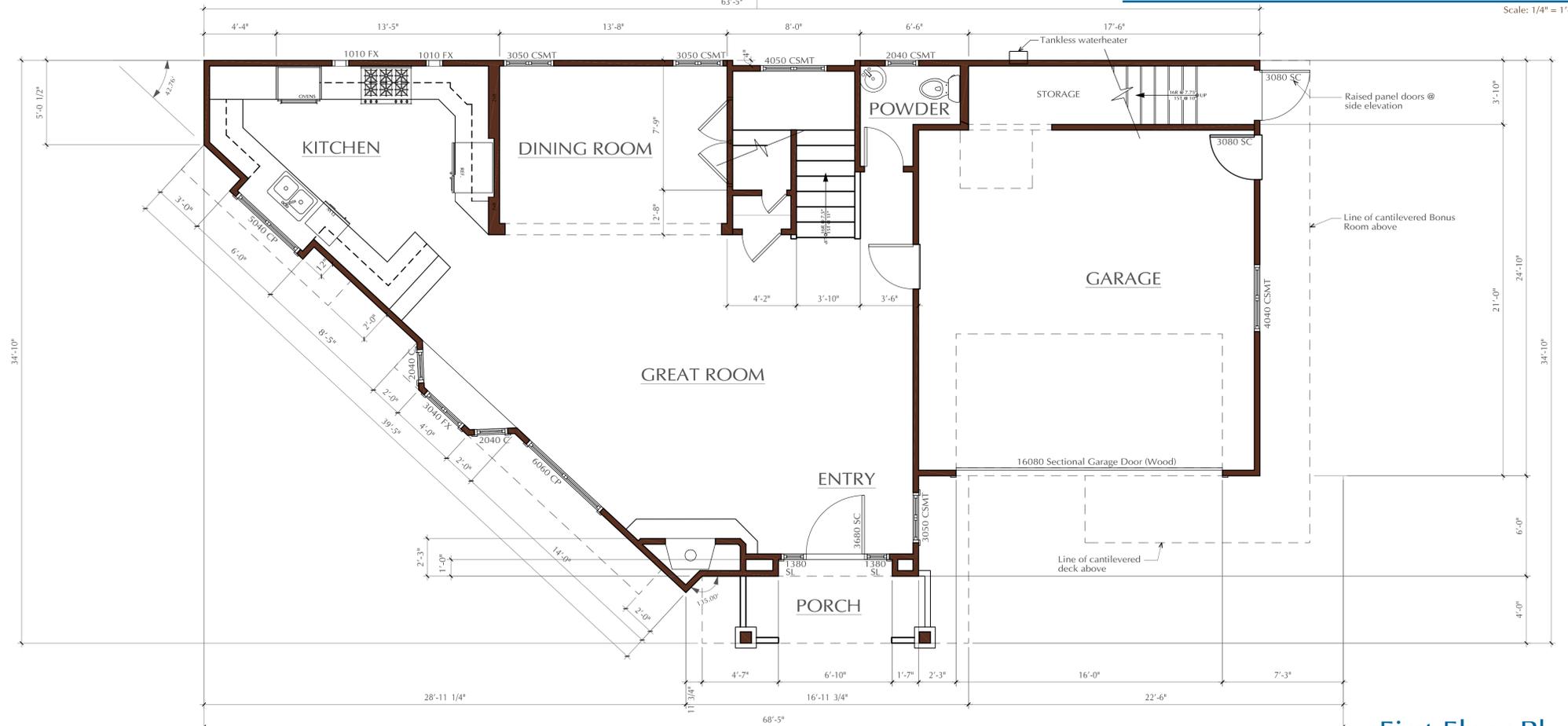
Walnut Street @ Southeast Corner

EXHIBIT B



Second Floor Plan

Scale: 1/4" = 1'-0"

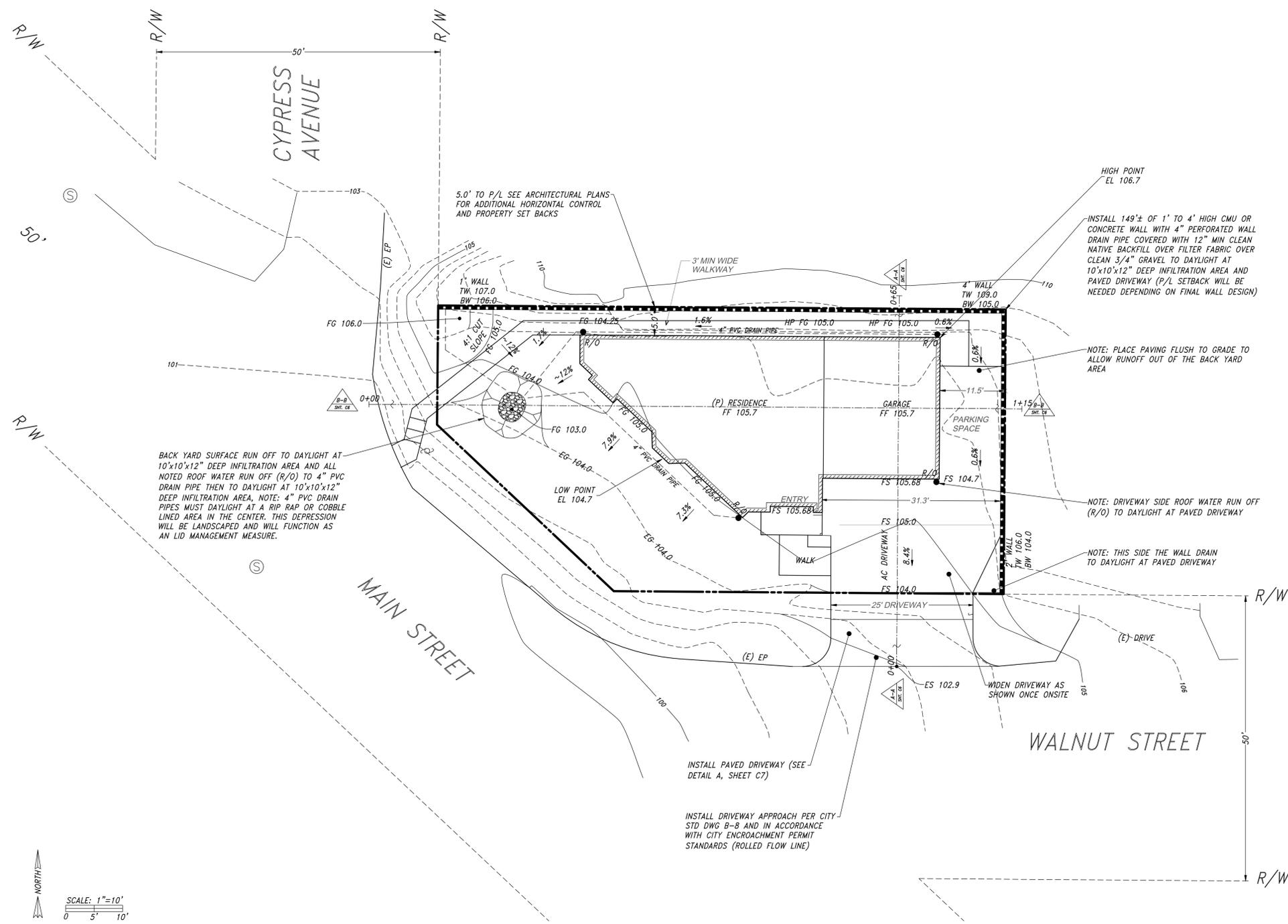


First Floor Plan

Scale: 1/4" = 1'-0"

EXHIBIT B

PROPOSED GRADING AND DRAINAGE PLAN:



- BUILDING PAD GRADING REQUIREMENTS:**
1. BUILDING PAD AREA: NOTE TO CONTRACTOR - PRIOR TO ANY BUILDING PAD CONSTRUCTION ACTIVITIES REVIEW THE ENTIRE CURRENT SOILS REPORT. THE SOILS ENGINEER MUST FIELD VERIFY AND CERTIFY THAT THE BUILDING CONSTRUCTION AREA AND IF APPLICABLE, THAT ANY STRUCTURAL FILL SLOPES ARE IN COMPLETE COMPLIANCE WITH THE SPECIAL INSPECTIONS AND REPORTS TABLE SHOWN ON SHEET C1.
  2. UNDER SEPARATE PERMIT, ALL BUILDING PAD AREA RETAINING WALLS AND DETAILS ARE SHOWN ON SEPARATE SHEETS AND ARE THE RESPONSIBILITY OF OTHERS.

- GRADING AND DRAINAGE REQUIREMENTS:**
1. ALL SURFACE DRAINAGE SHALL SLOPE A MINIMUM OF 5% FOR AT LEAST 10 FEET AWAY FROM THE BUILDING FOUNDATION AND AT LEAST 2% BEYOND THAT UNLESS OTHERWISE INDICATED ON THIS PLAN. ALL SURFACE DRAINAGE SHALL ALSO FOLLOW THE APPROXIMATE PATHWAYS SHOWN ON THIS PLAN. WHERE STEPBACKS ARE LESS THAN 10 FEET, FINISHED SURFACES MUST INCLUDE IMPERVIOUS OR SEMI-IMPERVIOUS MATERIALS TO ENSURE SURFACE DRAINAGE OF AT LEAST 2%.
  2. ALL DRAINAGE STRUCTURES (i.e. ROOF RUNOFF, DROP INLETS, SLOT DRAINS, etc.) SHALL BE PLUMBED, PIPED AND DAYLIGHTED AT DESIGNATED AREAS AS SHOWN ON THIS PLAN. THE BUILDING CONTRACTOR IS RESPONSIBLE TO ENSURE ALL DRAINAGE STRUCTURES ARE PROPERLY MAINTAINED TO ENSURE POSITIVE DRAINAGE FLOW THROUGHOUT CONSTRUCTION.

**BUILDING HEIGHT INFORMATION:**  
 THE AVERAGE NATURAL GRADE IS DETERMINED AS FOLLOWS:  
 HIGHEST EXISTING POINT ALONG THE BLD FOUNDATION EL 106.7  
 LOWEST EXISTING POINT ALONG THE BLDG FOUNDATION EL 104.7  
 AVERAGE NATURAL GRADE EL 105.7

BUILDING HEIGHT 10' + 1' + 8' + 4.906' = 23.906'  
 (1st FLR + FLR JOISTS + 2nd FLR + ROOF)  
 PROPOSED PEAK ELEVATION 23.906' + 105.7 = 129.606  
 PEAK LIMIT 25' ABOVE AVE NATURAL GRADE = 130.7

NOTE: THERE IS 1.1' OF FLEXIBILITY (130.7 - 129.6)

BACK YARD SURFACE RUN OFF TO DAYLIGHT AT 10'x10'x12" DEEP INFILTRATION AREA AND ALL NOTED ROOF WATER RUN OFF (R/O) TO 4" PVC DRAIN PIPE THEN TO DAYLIGHT AT 10'x10'x12" DEEP INFILTRATION AREA. NOTE: 4" PVC DRAIN PIPES MUST DAYLIGHT AT A RIP RAP OR COBBLE LINED AREA IN THE CENTER. THIS DEPRESSION WILL BE LANDSCAPED AND WILL FUNCTION AS AN LID MANAGEMENT MEASURE.

5.0' TO P/L SEE ARCHITECTURAL PLANS FOR ADDITIONAL HORIZONTAL CONTROL AND PROPERTY SET BACKS

INSTALL 149± OF 1' TO 4' HIGH CMU OR CONCRETE WALL WITH 4" PERFORATED WALL DRAIN PIPE COVERED WITH 12" MIN CLEAN NATIVE BACKFILL OVER FILTER FABRIC OVER CLEAN 3/4" GRAVEL TO DAYLIGHT AT 10'x10'x12" DEEP INFILTRATION AREA AND PAVED DRIVEWAY (P/L SETBACK WILL BE NEEDED DEPENDING ON FINAL WALL DESIGN)

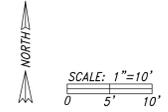
NOTE: PLACE PAVING FLUSH TO GRADE TO ALLOW RUNOFF OUT OF THE BACK YARD AREA

NOTE: DRIVEWAY SIDE ROOF WATER RUN OFF (R/O) TO DAYLIGHT AT PAVED DRIVEWAY

NOTE: THIS SIDE THE WALL DRAIN TO DAYLIGHT AT PAVED DRIVEWAY

INSTALL PAVED DRIVEWAY (SEE DETAIL A, SHEET C7)

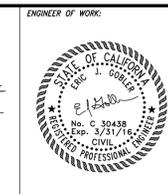
INSTALL DRIVEWAY APPROACH PER CITY STD DWG B-8 AND IN ACCORDANCE WITH CITY ENCROACHMENT PERMIT STANDARDS (ROLLED FLOW LINE)



REVISIONS	
1	
2	
3	

PROPRIETARY NOTES:  
 THESE PLANS, SPECIFICATIONS AND DESIGNS ARE INSTRUMENTS OF WORK AND SERVICES PREPARED FOR THIS PROJECT BY ERIC GOBLER CIVIL ENGINEERING. NO PART OF THESE PLANS SHALL BE USED IN PART OR IN WHOLE FOR ANY OTHER PROJECT UNLESS WRITTEN CONSENT IS OBTAINED FROM ERIC GOBLER, CIVIL ENGINEER.

TOPOGRAPHIC SURVEY BY:  
 DANNY F. HORN - Land Surveyor  
 566 Spring Street  
 Paso Robles, CA 93446  
 (805) 238-8888 Fax: (805) 238-1240



ENGINEER OF WORK:  
 ERIC J. GOBLER, P.E.  
 LIC. #C30438  
 9110 ATASCADERO AVENUE  
 ATASCADERO, CA 95422  
 (805) 466-8632 OFFICE  
 (805) 459-1268 CELL  
 (805) 466-6465 FAX

PROJECT DESCRIPTION:		MEL & MARILYN WAMMACK 505 WALNUT STREET, MORRO BAY, APN: 066-253-006	
SHEET DESCRIPTION:	PROPOSED GRADING AND DRAINAGE PLAN	PLAN #3	MARCH 2014
DESIGN/DRAWN:	COUNTY PLAN CHECKER:	APPROVING ENGINEER FOR CITY REQUIREMENTS:	DATE:
JOB NUMBER:	CO. PERMIT NUMBER:	ERIC J. GOBLER, RCE 30438 EXP. 03/31/16	3-17-14
CALIFORNIA COORDINATES:	N	E	SHEET: C2



City of Morro Bay  
Public Services/Planning Division  
Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning Division  
New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.

Approved projects are deleted on next version of log.

Agenda No: C-1

Meeting Date: August 19, 2014

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
<b>Hearing or Action Ready</b>									
1	Sherrrod	938 Anchor	7/10/14	AD0-091	Variance to allow a reduced rear yard setback to accommodate an addition to a non-conforming residence.	Original application made for building permit 11/8/13 for addition to nonconforming SFR. Project reviewed and routed. Project Noticed and to be heard by Planning Commission 8/5/14. WM	BC- conditionally approved.		
2	Adamson	1000 Ridgeway	9/12/13	CP0-408	Admin Coastal Development Permit for Demo/Reconstruct of 4,829sf SFR with 1,201sf garage. Size of home revised April 2014 to be 3,725sf SFR w/ 1,142sf garage.	Parking Exception previously granted by Planning Commission for reduced driveway length Oct. 2012. CJ. KM - Correction letter sent 10/11/13. Corrections received 11/18/13. Permit issued on 12/20/13 and project appealed on 12/30/13. Contacted applicant to request additional info for appeal hearing. Appeal to be heard by PC on or before 2/19/14. Continued to the 3/5/14 PC mtg. Project continued for 60 days to allow for project revisions. Project to be heard at the 6/3/14 PC meeting. Appeal Upheld, Project Denied. Resolution adopted at 6/17/14 meeting. Project Appealed to City Council on 6/25/14 and scheduled for hearing on 8/12/14 Council meeting.	BC- conditionally approved.	BCR: Resubmit plans to address comments noted in memo of 10/14/13 - drainage report and street widening required	
3	Wammack	505 Walnut	12/31/13	CP0-417	Coastal Development Permit for new 3,236sf SFR including 489sf garage on vacant lot - concurrent permitting for Building Permit	GN - Incomplete letter sent 1/31/14. Resubmittal received 4-1-14. GN - 2nd incomplete letter sent 4/15/14. Waiting on plan changes to identify second unit and required parking. Resubmittal received Tentatively scheduled for August 19th	BC- conditionally approved.	BCR-approved with deferral of frontage improvements	
4	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 CJ Met w/ Applicant 2-28-14 to review process - CJ. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7. Draft initial study under review and plans resubmitted 6/25/14. WM. Project subject to Bluff Development Standards. Mitigated Negative Declaration routed to State Clearinghouse with tentative PC hearing date for 9/2/14.	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RS/DH 7/22/14 under review	
5	Rodgers	445 Shasta	5/23/14	CP0-436	Administrative Coastal Development Permit for 2,343sf new SFR with 622sf garage and 424 sf of decking	New SFR on vacant lot. Under review. Project Noticed and permit ready to issue on 7-28-14. WM.	BC- conditionally approved.	JSW- conditionally approved.	

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6	James	341 Vashon	6/2/14	CP0-437	<b>Administrative Coastal Development Permit for 1,486sf new SFR with 446sf garage and 176sf of decking</b>	New SFR on vacant lot. Under review. Project complete and ready to be noticed 7-31-14. CJ.	BC- conditionally approved.	JSW- conditionally approved.	
7	Montecalvo / Wisel	510 Fresno Ave & 515 Kern	5/1/14	S00-119	<b>Lot line adjustment</b>	Lot line adjustment reviewed and approved 7-14-14. Co-applicant responded with request to withdraw consent for lot line adjustment.	BC- conditionally approved.		
8	Lowgren	491 Little Morro Creek Rd	4/10/14	S00-118	<b>Lot line adjustment</b>	Under review. Correction letter sent 5-28-14. Applicant currently revising submittal. Resubmittal received and lot line adjustment approved 7-24-14. WM	BC- corrections/ incomplete		
<b>30 -Day Review, Incomplete or Additional Submittal Review</b>									
9	Hibbard	990 Balboa	7/28/14	UP0-384 & AD0-092	<b>Conditional Use Permit and Parking Exception to allow addition to existing non conforming SFR</b>	<b>380 sf addition to 966sf non conforming SFR</b>	BC- conditionally approved.		
10	Wordeman	2900 Alder	7/28/14	CP0-447	<b>Administrative Coastal Development Permit for new construction of duplex in R-4 zone.</b>	Proposed Duplex unit A at 1965sf w/ 605 sf garage and unit B at 1,714sf w/ 605sf garage. Under Review	BC- conditionally approved.		
11	Romeiro	219 Marina	7/22/14	CP0-446	<b>Addition to Non conforming SFR in Coastal Appeals Jurisdiction</b>	Addition that exceeds 10% in appeals area requires CDP.	BC- conditionally approved.		
12	Najarian	471 Nevis	7/22/14	CP0-445	<b>Administrative Coastal Development Permit for new 1,686 SFR with 507sf garage and 192sf of decking</b>	Under Review	BC- conditionally approved.	JSW- conditionally approved.	
13	McCallister	176 Java St.	7/21/14	CP0-444	<b>Coastal Development Permit for addition to existing SFR within coastal appeals jurisdiction.</b>	Addition that exceeds 10% in appeals area requires CDP.			
14	Sotelo & Chanley	420 Island	7/17/14	CP0-443	<b>CDP for construction of new 1,678sf SFR w/ 482sf garage adjacent to ESH</b>	Under Review.	BC- conditionally approved.		
15	Davis	625 Harbor	7/2/14	CP0-441	<b>Admin CDP for Library Fence</b>	Project to enclosed outdoor Library courtyard area with a fence.	BC- conditionally approved.		
16	Johnson	301 Little Morro Creek Rd	6/26/14	CP0-442 & UP0-081	<b>CDP and Special/Interim Use Permit for new BMX Bike Park</b>	Under Review		BCR- Conditionally improved with stormwater exemption. Needs floodplain dev. Permit	
17	Dennis	290 Piney Ln	6/26/14	CP0-440	<b>Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony</b>	Under Review	BC- conditionally approved.	BCR/DH drainage plan under review	
18	Dennis	270 Piney Ln	6/26/14	CP0-439	<b>Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony</b>	Under Review	BC- conditionally approved.	BCR/DH drainage plan under review	

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19	Dennis	280 Piney Ln	6/26/14	CP0-438	<b>Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony</b>	Under Review	BC- conditionally approved.	BCR/DH drainage plan under review	
20	Frye	250 & 244 Shasta Street	6/17/14		<b>Amendment to CP0-213 &amp; Variance Request</b>	Amendment to Administrative Coastal Permit CP0-213 and Variance Request to allow a north side yard setback of less than the required 5 feet at 244 Shasta. Including encroachment of garage into required side yard setback and allow home at 0 ft. setback.		BCR_ 7/8/13 cond appr. Complete frontage improvements required	
21	Hauser	501 Zanzibar	5/23/14	UP0-380/ AD0-090	<b>Conditional Use Permit &amp; Parking Exception</b>	Single Family Addition of more than 25% to a non-conforming SFR. Parking Exception	BC- incomplete	RPS- Conditions established in Memo of 3/21/14 for B-30133	
22	Strasburg/Oehler	371 Piney	3/20/14	CP0-427	<b>New SFR - Admin CDP</b>	Received 3/25/14. Under Initial review. CJ.Correction letter sent 4/25 NC. Resubmittal received 5/21. Corrections sent 6-3-14 and 7-10-14. WM	BC- conditionally approved.	JSW- conditionally approved.	
23	Romero	2931 Ironwood	3/6/14	CP0-428	<b>New 2,496 SFR with 64 sf garage- Admin CDP</b>	Correction letter sent 4/25 NC. Resubmitted 5/23. Requested plan corrections 6-24-14. CJ.	BC- conditionally approved.	BCR- cond. Appr. w/ SW requirements	
24	Carver	431 Kern	2/5/14	CP0-426	<b>Demo 1100sf SFR / Reconstruct 2274sf SFR</b>	correction letter sent 4/10 . Resubmitted 5/23. Requested corrections 7-18-14. WM	BC- corrections/ incomplete	RS- cond appr. w/ frontage improvements	
25	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	<b>Upgrade of unmanned telecommunications facility</b>	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM	BC- conditionally approved.	BCR- ADA ramp upgrade required	
26	Fowler	1185-1215 Embarcadero	1/9/14	UP0-058	<b>Floating Docks - Phase 2</b>	Under review. Met with environmental consultant regarding CEQA requirements 4-17-14. CJ. Reviewing environmental proposal. Status update sent via email 5-23-14. Met with applicant 6/9/14. Received clarification request 6-12-14. CJ	BC-under review.		Is-changed Leage to Fowler 8/7/14
27	Hough	289 Main	10/16/13	CP0-410 & UP0-369	<b>CDP and CUP to construct a 2,578sf single family home on vacant lot</b>	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	

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28	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	<b>Use Permit for seven boat slips and gangway</b>	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. CJ. Met with environmental consultant to review CEQA requirements 4-17-14. Seeking additional fee estimate for CEQA review. Met with consultant 7-2-14. Revised fee estimate provided to applicant 7-25-14. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	N/R	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
29	Goodwin	2920 Juniper	5/21/13	CP0-399	<b>Coastal Development Permit for new 3,645sf SFR with 1,028sf garage on vacant lot</b>	CJ- Application deemed incomplete. Requested corrections 6/10/13.	BC-please route to building.	RS&DH-Plan revisions reqd per memo 5/29/13	
<b>Continued projects</b>									
30	Gonzalez	481 Java	12/30/13	UP0-374	<b>Conditional Use Permit for Non conforming single family residence</b>	KM - Under initial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC. Continued to a date uncertain by Planning Commission at the 6/3 meeting to address parking non-conformities. CJ.	BC- conditionally approved.	N/R	
30	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	<b>Environmental documents for Nutmeg Tanks.</b> Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	
<b>Projects in Process</b>									

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31	Frye	244 Shasta	3/6/13	CP0-396 and AD0-081	<b>Secondary Unit and Parking Exception.</b>	Proposed creation of secondary unit from garage. Parking exception. First Noticed 5-16-13. Setbacks noted on plan incorrect, therefore project required to be re-noticed on 6/26/13. Applicant now required to comply with or amend existing permit #CP0-013 before proceeding with proposed project. Met with applicant's representative regarding previously approved permit. Waiting for applicant's resubmittal. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned. Letter sent re permit amendment request on 3-31. CJ	No review performed.	N/R	
<b>Environmental Review</b>									
32	Sonic	1840 Main St.	8/14/13	UPO-364 & CP0-404	<b>Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.</b>	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17. 7/22/14 Resubmittal review underway	
33	Turner	356 Yerba Buena	10/30/13	CP0-412	<b>Single Family Addition &amp; Remodel to a total of 2,767sf with 599sf garage</b>	Property located within ESH area. Wetlands delineation study received. Incomplete letter sent 11-26-13. CJ. Resubmittal received. Draft initial study under review.	BC- conditionally approved.TP-Cond Approve 11/25/13.	JW-Conditionally Approved	
34	City of Morro Bay	N/A			<b>MND for Chorro Creek Stream Gauges</b>	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	
35	Lucky 7	1860 Main	3/12/13	CP0-394	<b>Construct Fuel Island Canopy</b>	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. Waiting on Applicant to sign mitigations. WM	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	

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36	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	<b>Parcel Map. 3 parcels and an open space parcel.</b> A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14.	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
37	LaPlante	3093 Beachcomber	11/3/11	CP0-365	<b>New SFR.</b> Resubmittal and Phase 1 Arch report 2/6/12.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. Applicant has requested a meeting on August 9, 2012 to review environmental study request. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant will provide MND fees with submittal of Biological report. 8/9/12 MR met with applicant and owner to discuss environmental issues. Would require a detailed MND. Applicant is still considering preparation of Biological Report. Staff met with applicant and his agent, discussed elements of the project especially the Biological report needs to be prepared. Draft biological report received and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ environmental consultant re completion of environmental 4/7 C.J. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date
<b>Grants</b>									

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38	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			<b>\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.</b>	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A	
39	City of Morro Bay	City-wide			CDBG funding to CAPSLO for operation of the Prado Day Center & Homeless Shelter, & Senior Nutrition Program and ADA Pedestrian Accessibility project.	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Upon approval, agreement to be forwarded to County Board of Supervisors for 7/8/14 meeting. HUD monitoring visit conducted 7/17/14 for Fair Housing and Public Participation federal compliance.	No review performed.	N/R	
<b>Project requiring coordination with another jurisdiction</b>									
40	City of Morro Bay	Outfall			<b>Original jurisdiction CDP for the outfall and for the associated wells</b>	Coastal staff is working with staff. Coastal letter received 4/29/2013.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
41	City of Morro Bay Desal Plant	170 Atascadero			<b>Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.</b>	Waiting for outcome from the CDP application for the outfall	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.	
<b>Preapplication projects - None currently</b>									
<b>Final Map Under Review</b>									

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42	Medina	3390 Main	10/7/11	Map	<b>Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12</b>	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH boundary.	No review preformed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
<b>Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive</b>									
43	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	<b>Embarcadero-Maritime Museum (Larry Newland).</b> Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
44	James Maul	530, 532, 534 Morro Ave	3/12/10	SP0-323 & UP0-282	<b>Parcel Map.</b> CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted.	Please route project to Building upon resubmittal.	N/A	
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing</b>									

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45	City of Morro Bay	Citywide	4/18/14	A00-021	<b>2014-2019 Housing Element Update / Council Resolution 41-14</b>	Sent to Department of Housing and Community Development for review and certification on 4/18/14. Initial Study/ Negative Declaration routed to State Clearinghouse 5/12/14. Final Housing Element to be agendized for 6/17/14 PC mtg and 6/24/14 Council meeting. Adopted by Council with amendments on 6/24/14. Resubmitted to HCD for final 90 day review period on 7/3/14.	No review performed.		
46	City of Morro Bay	Citywide	10/16/13	A00-013	<b>Zoning Text Amendment - Second Unit</b>	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
47	City of Morro Bay	Citywide		LCP-3-MRB-14-0409	<b>Housing Element Implementation</b>	Ordinance 584 sent as LCP Amendment to Coastal Commission. Coastal letter received 4-28-14. City response letter sent 5-21-14. C.J. Received Coastal response via consultant 7-30-14. LCP Amendment tentatively scheduled for August Coastal Commission hearing.	No review performed.		

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48	City of Morro Bay	Citywide	2/1/13	Ordinance 556	<b>Wireless Amendment - LCP Amendment</b> CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review preformed.	N/A	
	City of Morro Bay	Citywide	6/12/12	Ordinance 578 / A00-014	<b>North Main Commercial Parking. LCP Amendment to Zoning Ordinance.</b> Title 17 Section 17.44.020 Parking Facilities.	LCP Amendment to Zoning Ordinance, 17.44.020 submitted to Coastal 9-2013. Amend ordinance to exempt the North Main Street Commercial Area from the provisions required by 17.44.02 A.1 which would allow businesses to change use intensity without providing additional parking. Comments received back from Coastal 11-2013., working on addressing outstanding items requested by Coastal.			
<b>Projects Appealed or Forwarded to City Council</b>									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
49	City of Morro Bay	Citywide	6/19/13	A00-015	<b>Sign Ordinance Update.</b> Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop to be held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R	
50	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	<b>Variance.</b> Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing. Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012.	Review complete, applicant to obtain building permit prior to construction.	See above	
<b>Projects in Building Plan Check</b>									
50	Fraker	575 Acacia	7/2/14	B-30201	SFR Patio Cover	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN. Resubmitted and approved 7-15-14	BC- Issued 7/23/14.	N/A	
51	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	
52	Sherrod	938 Anchor	11/8/13	B-30053	SFR Add/ Remodel	KM -Under review. Corrections returned 12-9-13. Nonconforming rear yard setback requires a CUP.	BC- on hold pending planning process.	DH-7/22/14 needs sewer video	
53	Hill	445 Arcadia	7/8/14	B-30204	SFR Carport/ Deck	CJ - Corrections sent 7-14-14.	BC- out for corrections.	JW-Disapproved, Correction Memo filed 7/18/2014	
54	Cockrill	3031 Beachcomber	12/16/13	B-30068	SFR Add/ Remodel	Addition exceeds 10% in appeals area. Needs CDP. CJ	BC-Issued- 8/7/14.	JW- Aproved	
55	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC.	
56	Granite Ranch	2720 Elm	4/30/14	B-30161	SFR Remodel	WM - Approved 5-5-14.	BC- Issued 7/23/14.	RS- Approved 07-17-2014	
57	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed	
58	GAFCO	1185 Embarcadero	7/11/14	B-30186	Dock and Gangway	CJ - Approved 7-28-14	BC- returned for corrections 8/11/14.	Return for correction per memo of 7/20/14	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
59	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit.	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation or stabilization of	
60	Craig	561 Estero	5/6/14	B-30162	SFR Remodel	Under review.	BC- under review.		
61	Buquet	647 Estero	3/14/14	B-30129	New SFR	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
62	Govers	404 Fairview	5/23/14	B-30177	SFR Remodel	CJ - Approved 5-27-14	BC- under review.		
63	Mendonca	2831 Fir	5/22/14	B-30093	SF Addition	NC - Correction letter sent 5/30/14. Approved 7-14-14. CJ.	BC-Returned for corrections 6/17/14.	ME-needs sewer video 6/12/2014	
64	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed		BC- under review.		
65	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car garage w/ storage	Under review	BC- under review.	Assigned to ME/DH for review	
66	Harbor/ Stilts	1196 Front	6/23/14	B-30187	Oil Recovery Building	Approved. WM	BC- returned for corrections 6/23/14.		
67	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
68	Meissner	1387 Hillcrest	7/31/14	B-30226	New SFR		BC- under review		
69	Groom	3039 Ironwood	1/15/14	B-30084	New SFR	Needs CDP.	BC-Returned for corrections 3/17/14.	BCR-7/1/14 approved. SW O&M plan rec'd 7/10/14	
70	Sotello	420 Island	6/30/14	B-30192	New SFR		BC- under review		
71	McCallister	176 Java	6/3/14	B-30179	SFR Remodel	Project exceeds 10% in coastal appeals area. Will require a CDP prior to Building. CJ	BC-Returned for corrections 6/18/14.	BCR- under review	
72	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Plans returned w/o comment until Plng issue resolved	
73	Ramsay/ Chivens	431 Kern	3/11/14	B-30078	SFR Demo/ Reconstruct	Needs CDP prior to Building Permit	BC-Resubmitted 6/4/14.	RS 3/24/14 Cond Appr. w/ frontage Improvements	
74	Gannon	2571 Laurel	5/9/14	B-30168	SF Addition	NC-Correction memo sent 5/9/14. 2nd correction sent 7-14-14. CJ	BC- Returned for corrections 5/12/14.		
75	Gong	217 Main	2/27/14	B-30115	New SFR	Correction memo sent 4/24/14 GN.	BC- Returned for corrections 4/24/14.	BCR- 2nd review complete, several items from first review not addressed	
76	Senior Appartments	555 Main	6/30/14	B-30190	21 Unit Senior Apartments	Under review	BC-under review.	To BCR for review 7/17/14	
77	AT&T	788 Main	6/23/14	B-30194	Recycling Facility and Site Improvements	Correction sent 7-14-14. WM	BC-under review.		
78	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13.	BC-returned for corrections 12/16/13.	N/R	
79	MB Napa LLC.	501 Morro Bay Blvd.	7/14/14	B-30207	Fascade Improvements	Under review			
80	Shine Café	525 Morro Bay Blvd	7/14/14	B-30208	Juice Bar Tenant Improvements		BC-under review.	Original comments haven't been addresses. Revision required.	
81	T-Mobile	750 Radcliffe	7/25/14	B-30221	Fiber Utility Connection		BC-under review.		
82	Adamson	1000 Ridgeway	9/11/13	B-30008	New SFR	CJ - on hold until CDP approval. CDP under appeal. CDP denied by Planning Commission 6/17. Council to hear appeal 8-12-14.	BC- on hold pending planning process.	BCR: Revise plans per memo of 10/14/13	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
83	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
84	Inn at MB	60 State Park	6/27/13	B-29884	Main Building Remodel	CJ- Corrections sent 7-17 including need to modify planning permit. Resubmittal received and response sent 12-18 to amend planning permit. Minor amendment necessary. Waiting on easement as of 6/24/14. Approved 7-30-14. CJ	BC- RTI 7/30/14.	RS - Referred to State Parks for comment on frontage imprvmts. See PS memo of 7/14 for unresolved issue. Resubmittal approved pending completion of State Park easement before	
85	Williams	320 Trinidad	7/24/14	B-30220	Convert Existing Storage Space to Guest House		BC-under review.		
86	Wammack	505 Walnut	12/31/13	B-30076	New SFR	CJ - needs CDP	BC-under review.	BCR sidewalk deferral agreement	
87	Najarian	325 Zanzibar	4/2/14	B-30142	New SFR	WM - Needs signed Acceptance of Conditions Form. 4/8	BC-Issued 8/4/14.	RPS- Corrections noted in memo of 3/17/14 and email of	
88	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition	NC - Corrections sent 4/25	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	
88	Prewitt	8 Zanzibar Terrace	7/15/14	B-30209	Interior remodel			JSW-Approved. 2014-08-05	
89	Foor	537 Zanzibar	7/22/14	B-30217	Retaining Wall		BC-Returned for corrections 8/4/14.		
<b>Projects &amp; Permits with Final Action</b>									
3	Groom	3039 Ironwood	1/15/14	CP0-422	<b>New 2,206sf Single Family Home with 510sf garage - concurrent permitting with Building Division</b>	Under initial review Correction letter sent 3-13-14. GN. Resubmittal received 5/21. CJ. Project Noticed and permit issued 7-17-14	BC- conditionally approved.	BCR-approved with stormwater reqs.	
4	Wikler	405 Pacific	3/27/14	CP0-430	<b>Administrative CDP 3 new unit construction to existing SFR</b>	Incomplete letter sent 4/24/14 GN. Resubmitted 4/29/14 GN. Project needs to clarify building height before being noticed for administrative CDP. Project Noticed and permit issued 7-14-14.	BC- conditionally approved.	BCR- conditionally approved-reconstruct ADA ramp and design DW approach per B-6	



AGENDA NO: D-1

MEETING DATE: August 19, 2014

## Staff Report

**TO: Planning Commissioners**

**DATE: August 19, 2014**

**FROM: Scot Graham, Planning Manager**

**SUBJECT: Rear Yard Setback Interpretation**

### **RECOMMENDATION:**

Staff recommends that the Planning Commission review the rear setback interpretation and adopt the attached resolution memorializing the interpretation.

Adopt Planning Commission Resolution 20-14 (Exhibit A) approving the rear setback interpretation.

### **INTERPRETATION DESCRIPTION:**

The Planning Commission, at their regularly scheduled meeting of August 5, 2014, directed staff to return with an interpretation resolution defining how the rear yard setback requirement for the R-1 single-family residential zoning district is defined.

The R-1 zoning standards applicable to the rear yard setback are found in section (Table) 17.24.040 of the City of Morro Bay Zoning Ordinance and reads as follows:

#### **Minimum Rear Yard Setback.**

*10% of the Average depth of the lot with 10-foot maximum and 6-foot minimum.*

The above referenced rear setback requirement necessitates determination of the average lot depth and subsequent multiplication of the lot depth by 10% to establish the rear setback limitation. The maximum required rear setback is 10-feet and would be applicable to all lots 100-foot in depth and greater. The 6-foot minimum limitation would apply to all lots 60-foot in depth or less. For all lots between 60 and 100 feet in depth, simply multiply the lot depth by 10% to determine the setback, e.g. a 70-foot deep lot multiplied by 10% = 7-foot rear yard setback.

**Exhibit(s): A.** Planning Commission Resolution

Prepared By: \_\_\_\_\_

Department Review: \_\_\_\_\_

RESOLUTION NO. PC 20-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION AFFIRMING THE COMMISSION'S INTERPRETATION REGARDING REAR YARD SETBACK REQUIREMENTS IN THE R-1 SINGLE FAMILY RESIDENTIAL DISTRICT

**WHEREAS**, the Planning Commission of the City of Morro Bay reviewed the rear yard setback requirements in the R-1 single-family residential district at their regularly scheduled meeting of August 5, 2014; and

**WHEREAS**, Planning Commission acknowledged that the rear yard setback policy language applicable to the R-1 Zone was somewhat vague, and to avoid confusion in the future, requested that staff return with a policy resolution clarifying exactly how the rear yard setback should be calculated; and

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

The R-1 zoning standards applicable to the rear yard setback are found in section (Table) 17.24.040 of the City of Morro Bay Zoning Ordinance and reads as follows:

**Minimum Rear Yard Setback.**

*10% of the Average depth of the lot with 10-foot maximum and 6-foot minimum.*

The above referenced rear setback requirement necessitates determination of the average lot depth and subsequent multiplication of the lot depth by 10% to establish the rear setback limitation. The maximum required rear setback is 10-feet and would be applicable to all lots 100-foot in depth and greater. The 6-foot minimum limitation would apply to all lots 60-foot in depth or less. For all lots between 60 and 100 feet in depth, simply multiply the lot depth by 10% to determine the setback, e.g. a 70-foot deep lot multiplied by 10% = 7-foot rear yard setback.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 19th day of August, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Robert Tefft, Chairperson

ATTEST

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Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 19th day of August 2014.



AGENDA NO: D-2

MEETING DATE: August 19, 2014

## Staff Report

**TO: Planning Commissioners**                      **DATE: August 13, 2014**

**FROM: Rob Livick, PE/PLS – Director/City Engineer**

**SUBJECT: Review the Three Proposed Concept Plans for Improvements to Centennial Staircase**

### **RECOMMENDATION**

The Planning Commission review the three concepts prepared by the adjacent property owner along with the Public Works Advisory Board and the Recreation and Parks Commission recommendation provide and further recommendations or comments to City Council.

### **FISCAL IMPACT**

No direct fiscal impact at this time as staff time only is being expended. Any cost of construction of the lift station in excess of the minimum requirements shall be borne by the City.

### **DISCUSSION**

As a condition of the sale and Lot Line Adjustment for the property located at 781 Market Avenue the Agreement stated, in part:

*In consideration of the lot-line adjustment and the approximate additional 3000 square footage that will added to the property at 781 Market Street, the Buyer agrees to design, engineer, and install, prior to May 1, 2011, a Lift Station to provide access to the Embarcadero and Market Street. The Lift Station design shall be approved by the City and shall be located on the west side of the building next to the centennial staircase. The Lift Station shall be open to the public to obtain access from and to the Embarcadero and Market Street and be capable of carrying a minimum of at least 6 individuals. Buyer and Seller agree to negotiate and execute an operations and maintenance agreement for the Lift Station.*

On June 11, 2013 this subject was discussed by City Council and was directed that the City's Recreation and Parks Commission along with the Public Works Advisory Board review the concepts presented and provide any recommendations to City Council.

On August 29, 2013 the Public Works Advisory Board and the Parks and Recreation Commission held a joint meeting to discuss and provide recommendations regarding the proposed concept plans prepared by the

Prepared By: RL

Dept Review: RL

property owner for an new (people)“lift station”/elevator/funicular. Both bodies recommend that the City pursue Alternative 3 due to cost and the also stated that the tower concept was a desirable feature.

The first design (Exhibit A from the June 11, 2013 staff report) is for a funicular or inclined elevator, which is a cable attached to tram-like vehicle on rails that moves people up and down a slope. The second design (Exhibit B) is for a more traditional elevator. The third design is also for a traditional elevator that would satisfy the requirements of the agreement. Both designs A and B greatly exceed the costs of the concept shown in Exhibit C. Exhibits labeled “Alternate 3” (Attachment 2) are a further refinement of the concept shown in Exhibit C and utilizes the existing stairwell system and will provide the required vertical circulation and disabled access for the site and adjacent building.

In addition, the architect has prepared a concept elevation as an upgrade to the basic elevator tower, "Alternate Tower Elevation". The tower design was based on the concept of the elevator tower as a conceptual light house with a glass elevator allowing views to the rock. The additional architecture and glass elevator and glazing would run about an additional estimated \$100,000. That is a broad estimate that could be refined.

In addition to the conceptual plans for improvements to the Centennial Stairway, the architect for the property owner has prepared very preliminary (parametric level) cost estimates for the construction of the improvements. The construction only costs range from \$389,000 for Alternative C (or 3) to \$1.2 million for a funicular or inclined elevator as shown in Exhibit A of the June 11, 2013 Staff Report. In addition to the construction cost there would be fees for design, survey, environmental review, and permitting and contract administration. These costs would likely add at approximately 30-percent to the cost of the project

### **CONCLUSION**

The Planning Commission should review and discuss the Concept Plans for Improvements to Centennial Staircase and provide any recommendations to the City Council.

### **ATTACHMENTS**

1. June 11, 2013 Staff Report and City Council minutes
2. Alternative 3 Exhibits
3. August 29, 2013 Staff Report and minutes



AGENDA NO: C-1

Meeting Date: June 11, 2013

# Staff Report

TO: Honorable Mayor and City Council

DATE: June 4, 2013

FROM: Robert Schultz, City Attorney

SUBJECT: Review of Three Proposed Concept Plans for Improvements to Centennial Staircase

## RECOMMENDATION

Staff recommends that City Council review and discuss the three different Concept Plans for Improvements to Centennial Staircase and direct Staff to schedule this item for review at the Recreation and Parks Commission and the Planning Commission and return to the City Council with their recommendations.

## ALTERNATIVES

1. Review proposed concept plans, schedule this item for review at Recreation and Parks Commission and Planning Commission.
2. Review proposed concept plans, make a recommendation and send to Planning Commission.
3. Reject proposed designs.

## BACKGROUND

The City purchased two abutting parcels of land in June 2003. One was the former trailer park at 714 Embarcadero and the other was known as the Hungry Tiger property at 781 Market Avenue (also formerly Anthony's and Brannigan's). The former trailer park is currently used as a public parking lot and the Hungry Tiger property sat vacant for several years as result of an inability to attract an investor interested in a Hotel/Conference Center Public/Private Partnership.

In 2009, the City Council decided to sell the property at 781 Market Street to George Salwasser. After the sale, Mr. Salwasser made major improvements to the vacant building and it is now a restaurant and wine bar. As part of the Purchase and Sales Agreement, the City negotiated for Mr. Salwasser to pay the costs to design, engineer, and install a lift station to improve access between the Embarcadero and Market Street.

In November 2012, the City Council reviewed two Concept Plans attached as Exhibit A and B. One design was for a funicular, the other a traditional elevator. After deliberating, Mayor Yates

Prepared By: \_\_\_\_\_

Dept Review: \_\_\_\_\_

City Manager Review: \_\_\_\_\_

City Attorney Review: \_\_\_\_\_

moved for support of the funicular, directed Staff to communicate the Council's decision to Mr. Salwasser and send the project directly to the Planning Commission. The motion was seconded by Councilmember Leage and passed unanimously 5-0.

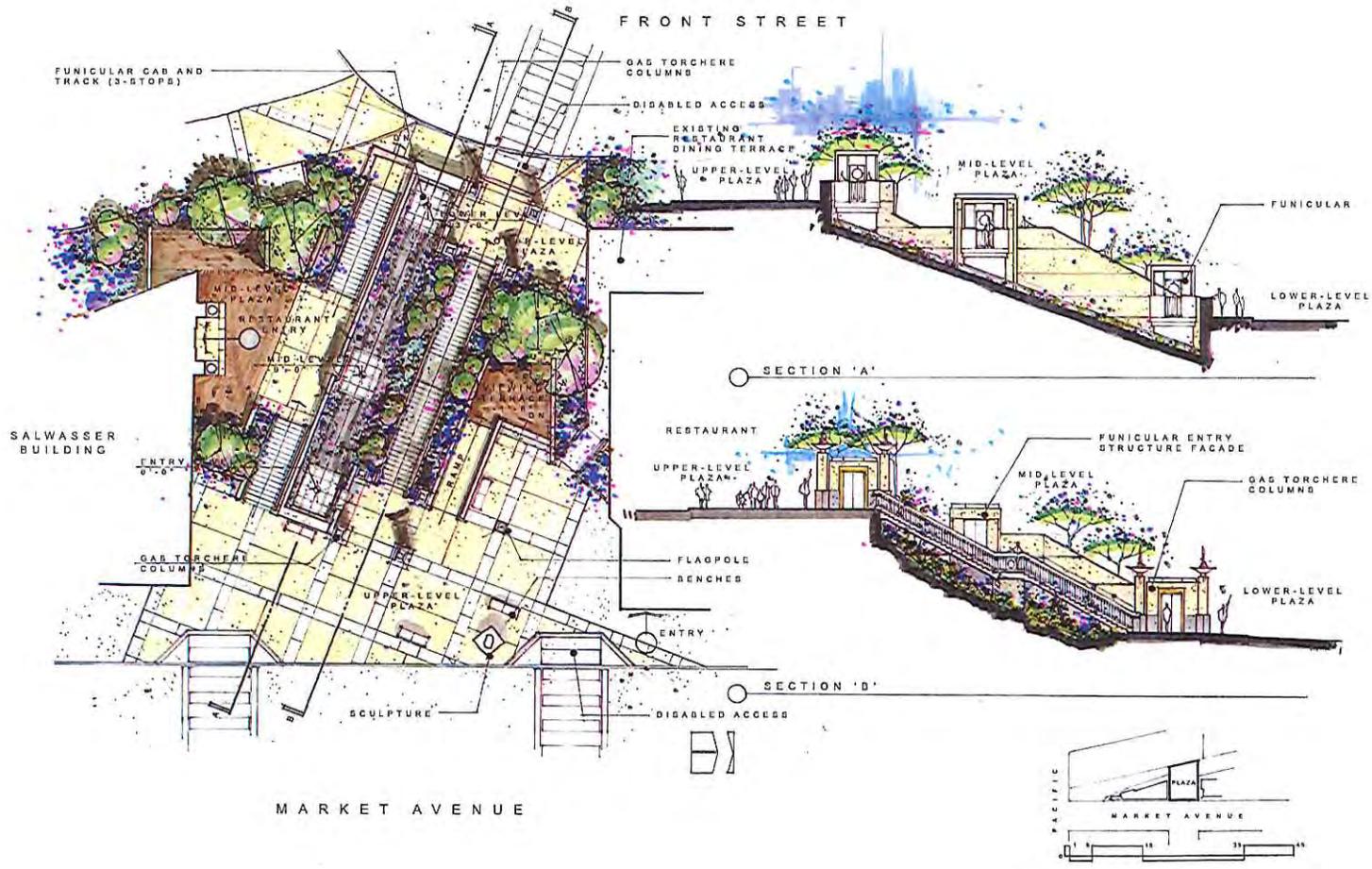
After the Council Meeting, staff communicated with Mr. Salwasser regarding moving forward with the funicular. Mr. Salwasser stated that his position was that the City was welcome to put in a funicular but according to his interpretation of the Agreement he was only responsible to pay for a lift station, and that the added cost to install the funicular would have to be borne by the City. Staff requested cost estimates from Mr. Salwasser for both proposed designs, as well as the cost and plans for the installation of a lift station that would comply with the sales agreement. In response to that request, Mr. Salwasser has submitted a design of an elevator shown as Exhibit C for a cost of \$325,000. Cost estimates for Exhibits A & B have not been provided.

### **DISCUSSION**

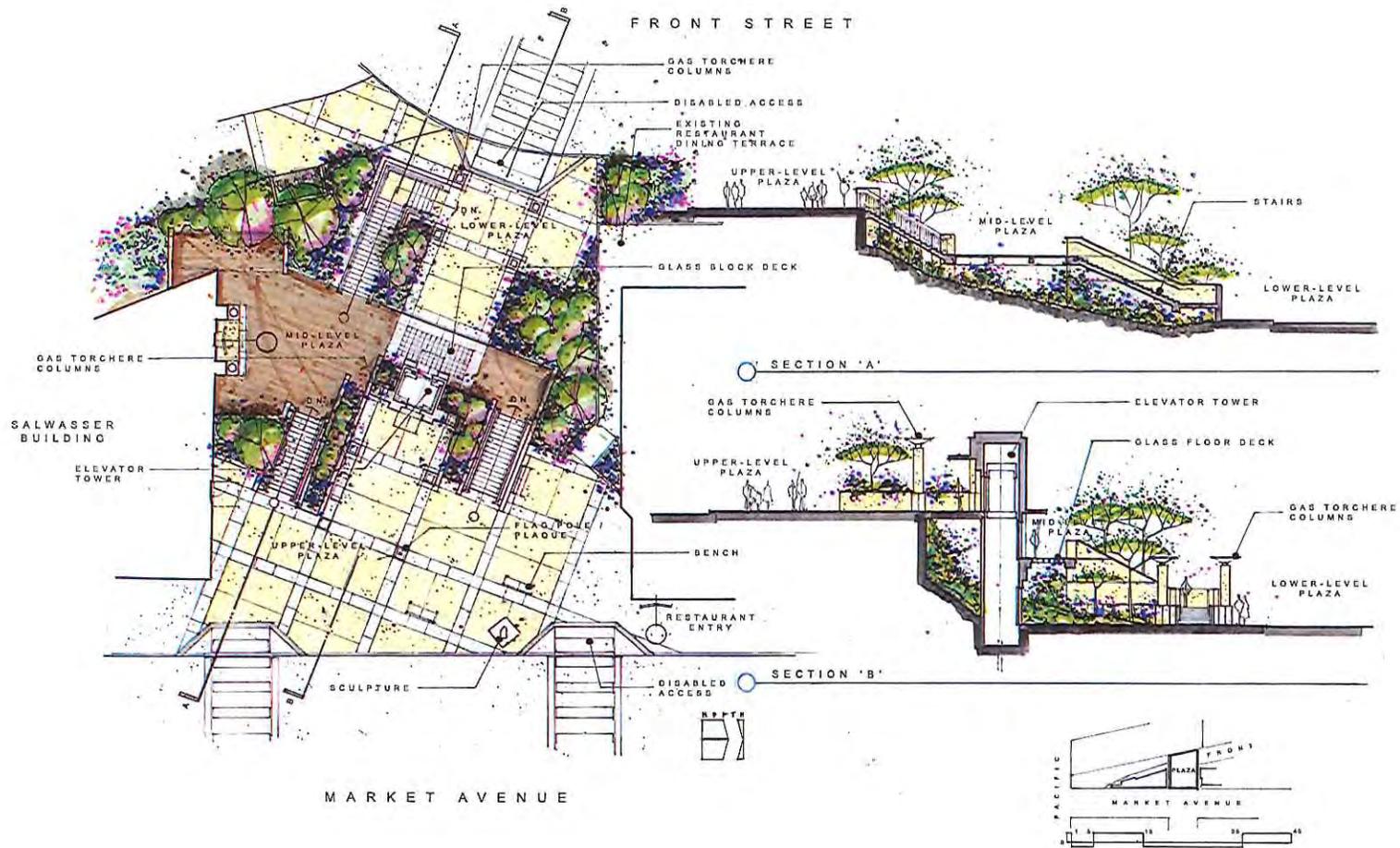
Mr. Salwasser has submitted three different designs for the installation of a lift station where the Centennial Staircase currently exists. The first design (Exhibit A) is for a funicular, which is a cable attached to tram-like vehicle on rails that moves people up and down a slope. The second design (Exhibit B) is for a more traditional elevator. The third design is also for a traditional elevator that would satisfy the requirements of the agreement. Both designs A and B greatly exceed the costs of Exhibit C. The City Council should review the plans and decide which design to move forward with, or decide to send it to various advisory bodies for their input.

### **CONCLUSION**

City Council should review and discuss the Concept Plan for Improvements to Centennial Staircase and direct Staff accordingly.

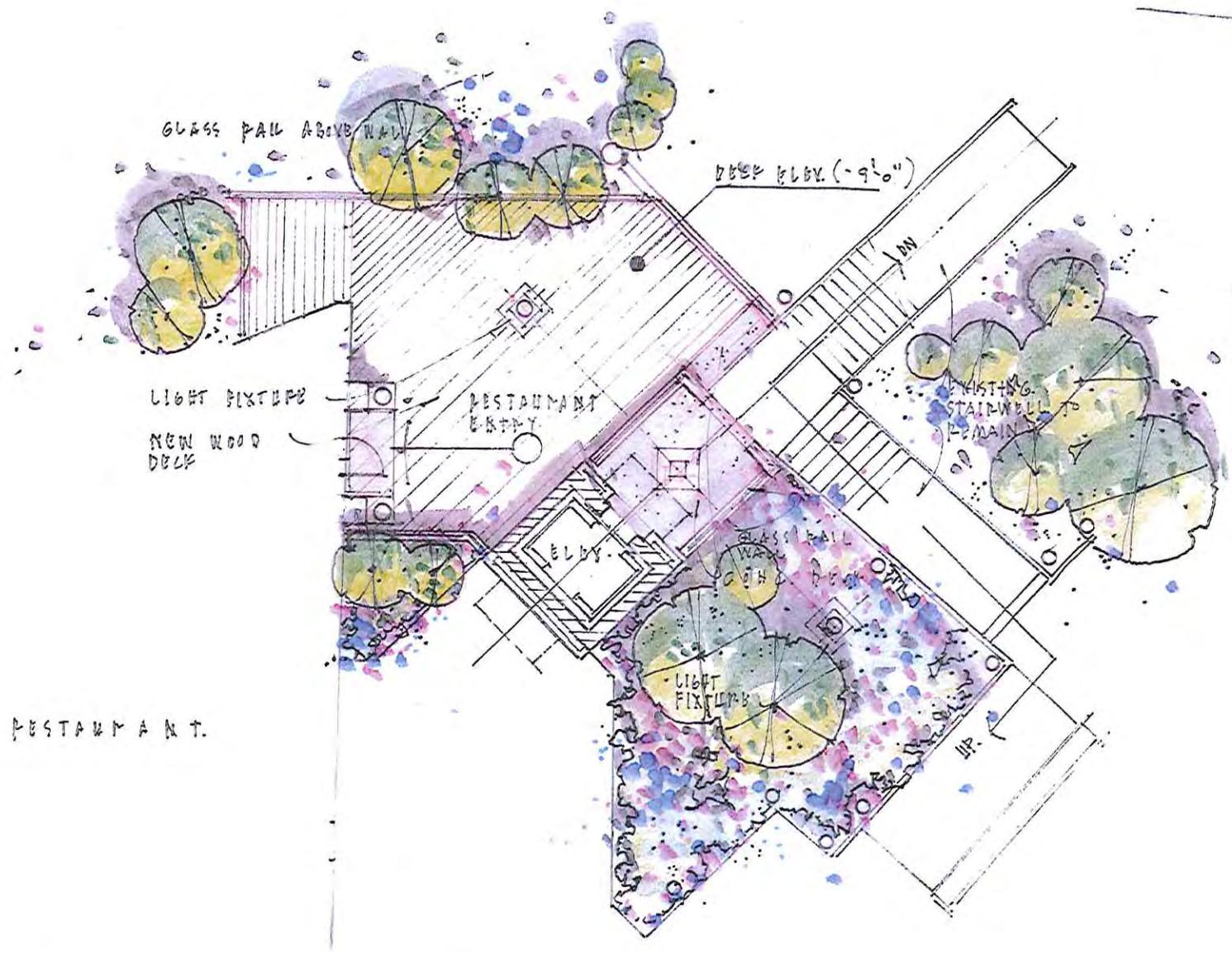


M O R R O B A Y P L A Z A  
 F U N I C U L A R P L A Z A C O N C E P T



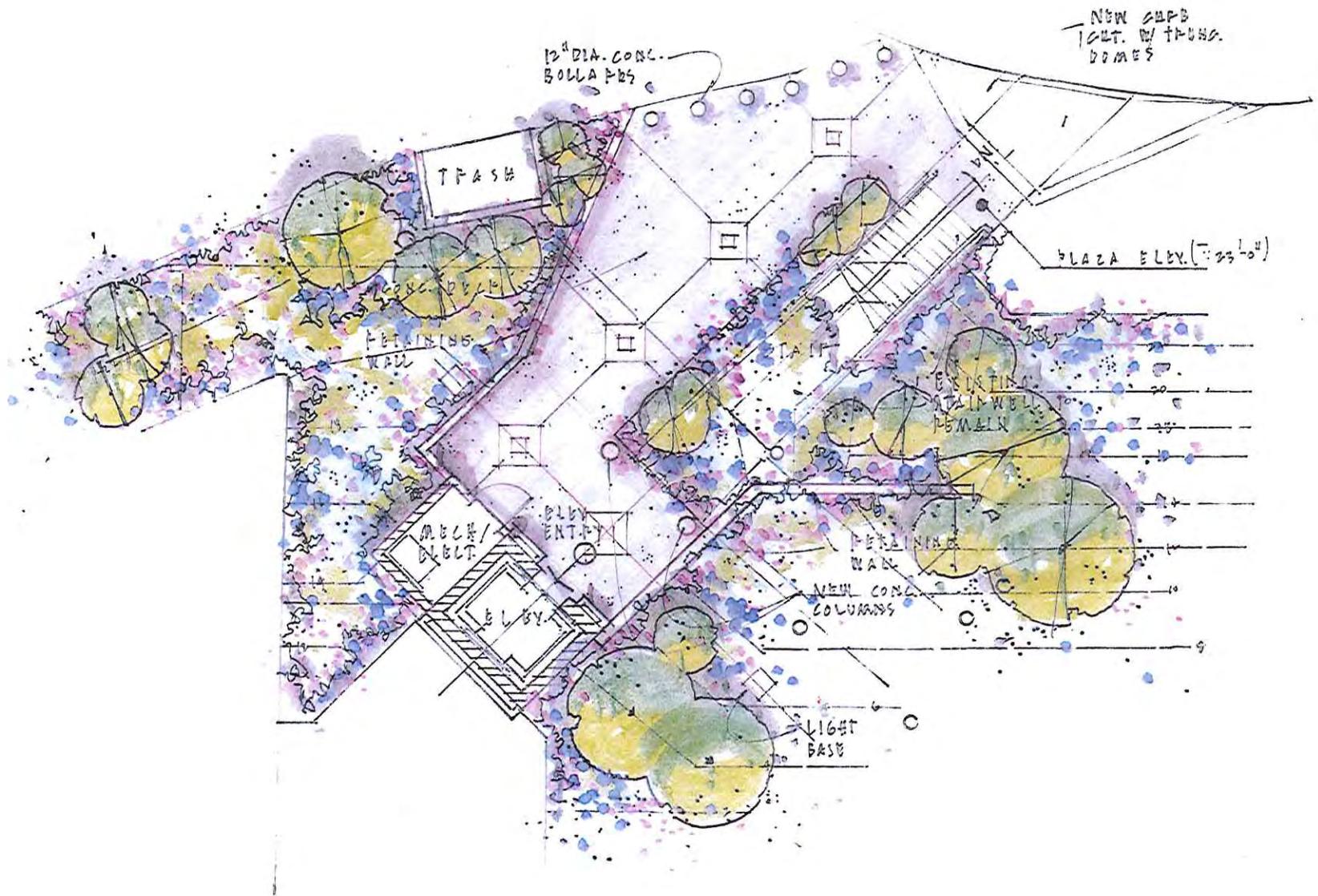
M O R R O B A Y P L A Z A  
 E L E V A T O R P L A Z A C O N C E P T





RESTAURANT

MID-LEVEL DECK  
 SCALE: 1/8" = 1'-0" MONDAY PLAZA



L P W E F G R O U N D L E V E L  
 S C A L E : 1/8" = 1'-0" M E T R O P O L I T A N P L A Z A

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in the program by the November 20<sup>th</sup> deadline. The program also requires the adoption of a resolution of participation by the City Council prior to January 18, 2010. The general advantage of the program is that the City can work through the overall State program and that the majority of the program administration would be covered by outside resources. The City already has an ambitious energy conservation component to its affordable housing rehabilitation program, but this is only available to households that income-qualify. Ms. Rogers recommended the City Council adopt Resolution No. 63-09 authorizing the City of Morro Bay to become a participating member agency in the CaliforniaFIRST Program and direct staff to continue the process to implement the CaliforniaFIRST Program within the City.

Mayor Peters opened the hearing for public comment.

Margaret Ambersavage, Central Coast Chapter of the United States Green Building Council, stated their organization fully supports AB811. She said this energy and efficiency program would implement solar and other renewable energy sources to reduce our carbon footprint.

Gerald Luhr stated this is an excellent program which the County requires an energy performance audit. He asked if that would also be included in the City's program. Mr. Luhr recommended the City Council approve participation in this program.

Mayor Peters closed the public comment hearing.

**MOTION:** Councilmember Smukler moved the City Council adopt Resolution No. 63-09 authorizing the City of Morro Bay to become a participating member agency in the CaliforniaFIRST Program and direct staff to continue the process to implement the CaliforniaFIRST Program within the City. The motion was seconded by Councilmember Grantham and carried unanimously. (5-0)

**B-3 ADOPTION OF RESOLUTION NO. 65-09 APPROVING THE REAL ESTATE AGREEMENT FOR THE SALE OF CITY-OWNED PROPERTY AT 781 MARKET AND THE CITY-OWNED PROPERTY AT THE CORNER OF PACIFIC AND MARKET IN MORRO BAY, CALIFORNIA; (CITY ATTORNEY)**

City Attorney Robert Schultz stated the City obtained ownership of the property located at the Northeast corner of Market Avenue and Pacific Street in 2001. The real property is a ±14,387 square foot parcel currently improved with an asphalt-paved 40-space automobile parking lot. The property was purchased for \$500,000 using parking in-lieu funds. The City will need to reimburse the parking in-lieu fund \$500,000 unless the funds

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REGULAR MEETING – DECEMBER 14, 2009

are reallocated to another project. The City obtained ownership of the property located at 781 Market Street in 2002. The real property is a ±6,769 square foot parcel and is currently improved with a vacant masonry building previously used as a restaurant. General Fund monies were used for the purchase of the property. The purchase of the property at 781 Market Street was part of a purchase that also included the property at 714 Embarcadero. Since 2002, the City has unsuccessfully issued a series of RFP's to develop the properties into a hotel/conference center. The buyer, George Salwasser, has accepted the terms and conditions of the Real Estate Agreement and will purchase the property at 781 Market Street and at the corner of Pacific and Market for \$1,500,000.00. Mr. Schultz recommended the City Council approve the Real Estate Agreement and adopt Resolution No. 65-09 approving the sale of City-owned property located at 781 Market Street and at the corner of Pacific and Market Street for \$1,500,000.00.

Mayor Peters opened the hearing for public comment.

John Mayers expressed support of the sale of this property; however, he does not agree with the structuring of the proposed transaction which seems to greatly favor the investor. He said the City should not get into the banking business and should move forward with a clean sale with another investor.

John Barta addressed the sale of the parking lot and noted the funds should be reimbursed to the in-lieu parking fund.

Mayor Peters closed the public comment hearing.

Councilmember Winholtz stated she is going to support the sale of this property because the City has had this property up for sale in both good and poor economic times and has not been able to sell it, and the City needs to cut its losses and move forward. Councilmember Winholtz stated she would like this money to be used to build a bathroom downtown.

Councilmember Grantham stated the City will benefit by the Lift Station purchased by the buyer of the property, and he supports moving forward with the sale of this property.

Councilmember Smukler stated he also supports the sale of this property since the buyer has liquid assets to be able to focus on rehabilitating the property. He said he is hoping to reinvest these funds in community development projects.

Councilmember Borchard expressed her support on the sale of the property. She noted a correction on Item 23 in Resolution No. 65-09 that the City will not be responsible for the proposed Lift Station.

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Mayor Peters stated she is ambivalent to selling this property because she would prefer to maintain it as lease property in order for the City to have constant income.

MOTION: Councilmember Borchard moved the City Council adopt Resolution No. 65-09 approving the Real Estate Agreement for the sale of City-Owned Property at 781 Market and the City-Owned Property at the Corner of Pacific and Market in Morro Bay, California, with the amendment to Item #23 in the contract stating that the City will not be responsible for any operation and maintenance of the Lift Station, and will negotiate the hours of operation only. The motion was seconded by Councilmember Grantham and carried with Mayor Peters voting no. (4-1)

**B-4 DISCUSSION AND DIRECTION REGARDING PLACING A MEASURE ON THE JUNE 2010 GENERAL ELECTION BALLOT APPROVING AN INCREASE OF THE CITY'S TRANSIENT OCCUPANCY TAX (TOT); (CITY ATTORNEY)**

City Attorney Robert Schultz stated at the June 23, 2009 meeting, City Council directed staff to draft enabling documents to submit a tax measure increasing the City's Transient Occupancy Tax (TOT) on the June 8, 2010 ballot for voter approval as part of the General Municipal Election. TOT at a rate of 10% per rental is currently collected by all entities renting lodging for 30 days or less. Those taxes are remitted monthly to the City, and that revenue stream accounts for approximately 18% of the General Fund's revenues before transfers in. TOT is the second largest revenue source to the City (property tax is the largest.) In order to increase TOT, the City must hold an election at the same time that an election is held where members of the City Council will be elected. In addition, pursuant to State law, any increase of the tax rate must first be approved by a 2/3 vote (4 members) of the City Council and then a majority vote of the City's voters who vote at a regular Municipal Election. Mr. Schultz recommended the City Council discuss and direct staff regarding placing a measure on the June 8, 2010 ballot increasing the Transient Occupancy Tax from 10% to 12%. The deadline for submittal of such a measure to the County is February 24, 2010.

Mayor Peters opened the hearing public comment.

The following people expressed opposition to placing a measure on the June 2010 General Election ballot approving an increase in the City's Transient Occupancy Tax: John Solu, Mike Casola, Chris Duff, Jonni Biaggini, Peter Candela, Joan Solu, John Barta, Peter Beaman, George Leage, John Gerber, and Ken Vesterfelt.

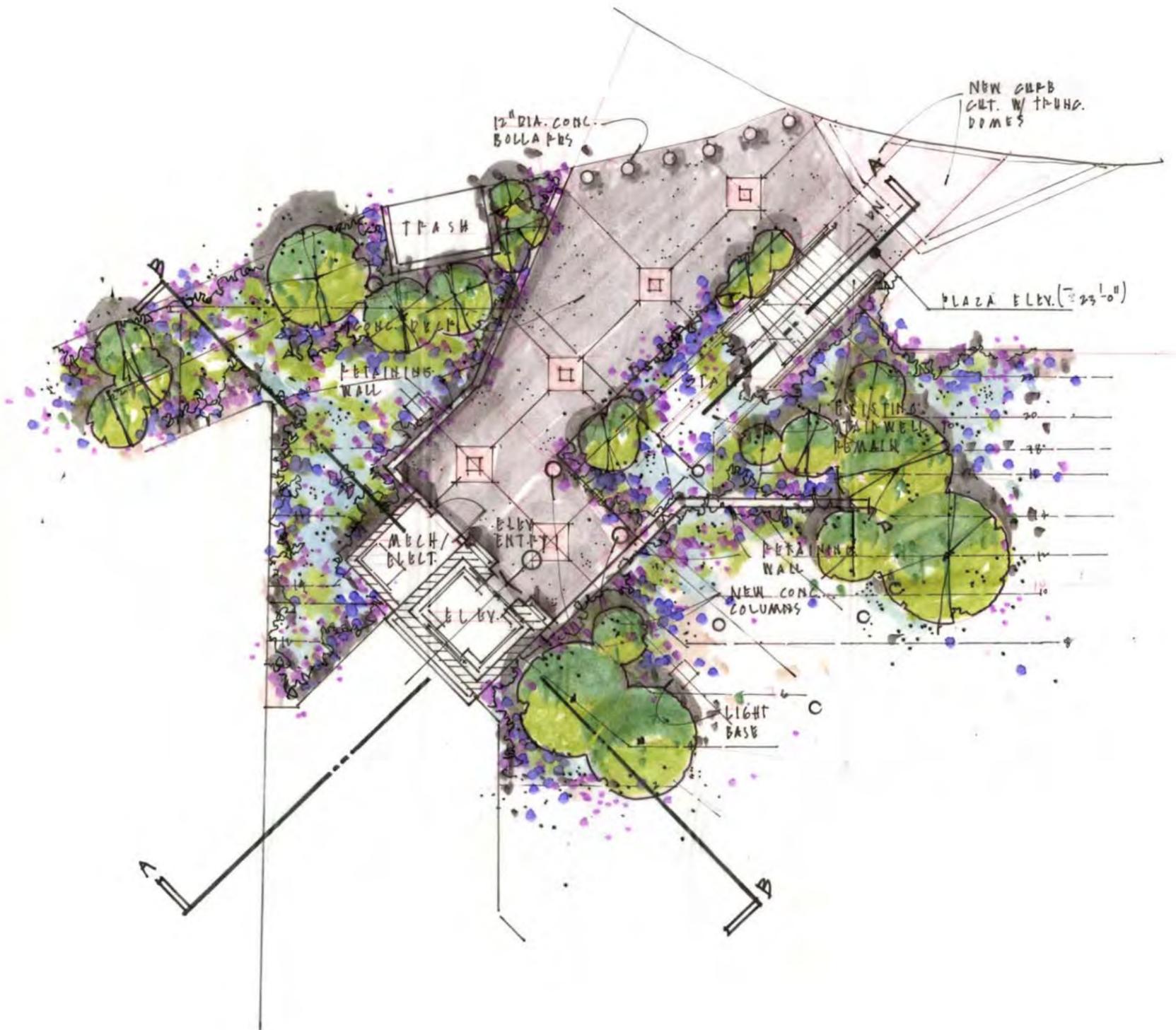
Mayor Peters closed the public comment hearing.



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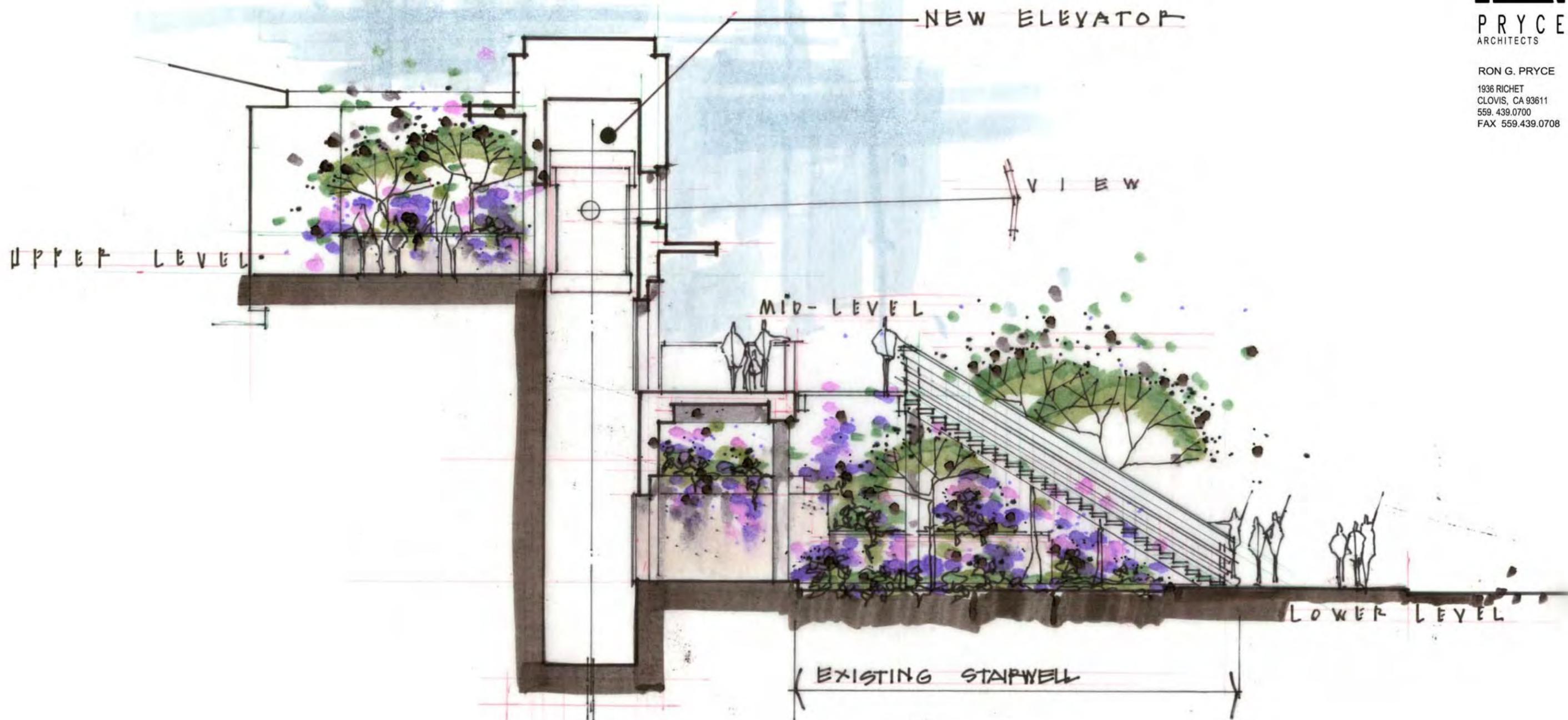
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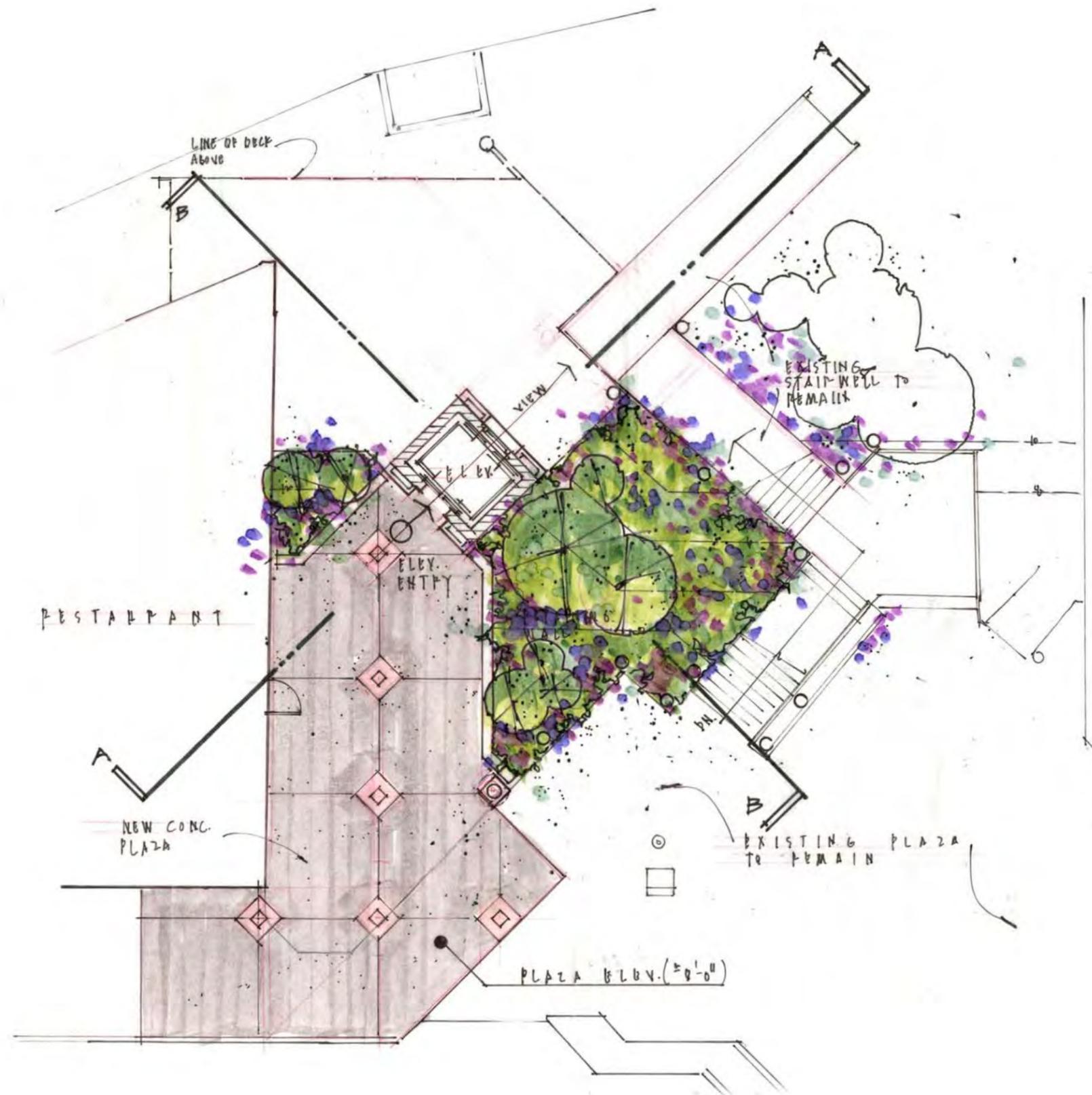


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AGENDA NO: I-B

MEETING DATE: August 29, 2013

## Staff Report

**TO:** Public Works Advisory Board                      **DATE:** August 26, 2013  
 Recreation and Parks Commission

**FROM:** Rob Livick, PE/PLS – Director/City Engineer

**SUBJECT:** Discussion and Recommendations for Three Proposed Concept Plans for  
 Improvements to Centennial Staircase

### RECOMMENDATION

The Public Works Advisory Board and the Recreation and Parks Commission review the three options and provide any recommendations to City Council.

### FISCAL IMPACT

No direct fiscal impact at this time as staff time only is being expended.

### DISCUSSION

As a condition of the sale and Lot Line Adjustment for the property located at 781 Market Avenue the Agreement stated, in part:

*In consideration of the lot-line adjustment and the approximate additional 3000 square footage that will added to the property at 781 Market Street, the Buyer agrees to design, engineer, and install, prior to May 1, 2011, a Lift Station to provide access to the Embarcadero and Market Street. The Lift Station design shall be approved by the City and shall be located on the west side of the building next to the centennial staircase. The Lift Station shall be open to the public to obtain access from and to the Embarcadero and Market Street and be capable of carrying a minimum of at least 6 individuals. Buyer and Seller agree to negotiate and execute an operations and maintenance agreement for the Lift Station.*

On June 11, 2013 this subject was discussed by City Council and was directed that the City's Recreation and Parks Commission along with the Public Works Advisory Board review the concepts presented and provide any recommendations to City Council.

The first design (Exhibit A from the June 11, 2013 staff report) is for a funicular or inclined elevator, which is a cable attached to tram-like vehicle on rails that moves people up and down a slope. The second design (Exhibit B) is for a more traditional elevator. The third design is also for a traditional

Prepared By: RLDept Review: RL

elevator that would satisfy the requirements of the agreement. Both designs A and B greatly exceed the costs of the concept shown in Exhibit C. Exhibits labeled “Alternate 3” (Attachment 2) are a further refinement of the concept shown in Exhibit C and utilizes the existing stairwell system and will provide the required vertical circulation and disabled access for the site and adjacent building.

In addition, the architect has prepared a concept elevation as an upgrade to the basic elevator tower, "Alternate Tower Elevation". The tower design was based on the concept of the elevator tower as a conceptual light house with a glass elevator allowing views to the rock. The additional architecture and glass elevator and glazing would run about an additional estimated \$100,000. That is a broad estimate that could be refined.

In addition to the conceptual plans for improvements to the Centennial Stairway, the architect for the property owner has prepared very preliminary (parametric level) cost estimates for the construction of the improvements. The construction only costs range from \$389,000 for Alternative C or 3 to \$1.2 million for a funicular or inclined elevator as shown in Exhibit A of the June 11, 2013 Staff Report. In addition to the construction cost there would be fees for design, survey, environmental review, and permitting and contract administration. These costs would likely add at least 25 to 30-percent to the cost of the project.

### **CONCLUSION**

The Recreation and Parks Commission along with the Public Works Advisory Board should review and discuss the Concept Plans for Improvements to Centennial Staircase and provide any recommendations to the City Council.

### **ATTACHMENTS**

1. June 11, 2013 Staff Report to City Council
2. Alternative 3 Exhibits

B. Discussion and Recommendations for Three Proposed Concept Plans for Improvements to Centennial Staircase (Livick)

Livick presented the staff report.

Commissioner Swain asked staff to compare maintenance costs for the elevator alternative versus the funicular alternative. Livick stated the funicular option would likely cost more to maintain because it has more moving parts.

Commissioner Swain asked staff about the possibility of charging the public to ride the funicular in order to recover some of the costs for construction and maintenance. Livick stated it may be a possibility.

Commissioner Bates expressed support for the tower alternative.

Commissioner Romero asked if the project site is owned by the City or by a private owner. Livick stated the right of way that extends from Morro Bay Boulevard is owned by the City, and that area is where the majority of the facility would be located. Livick stated the property at 781 Market is owned by a private property owner, but the City currently owns all of the property necessary to move forward with the project.

Commissioner Sidaris expressed concern that a funicular would be too expensive to install, and instead expressed support for the elevator alternative.

Boardmember Shively asked staff to confirm that ADA access will be provided to the lower level of the existing restaurant. Livick stated that in order to make effective use of the second floor, the City will require ADA access to that area. Shively also expressed concern about the maintenance issues associated with a glass elevator and a funicular, especially when the City is already short-staffed.

Boardmember Burkhart stated maintenance will be an issue for any feature selected, but the elevator would be the most financially feasible alternative. He stated the City needs to consider the sea air and its impacts when selecting an alternative.

Boardmember Goldman asked staff to clarify the owner's intention regarding whether the owner believes he should only bear the cost that is equal to the amount of property that he was given. Livick stated the City is obligated to afford the owner some proportionality to the value of the cost of the property in the agreement. He also stated the agreement did not indicate which device would be installed at the park. Goldman asked staff who would be responsible for any additional fees that would be incurred during the process. She expressed support for the elevator alternative.

Boardmember Owen stated the tower would be an unnecessary feature as the views from Market Street are already notable. She also stated the distance from the Embarcadero to Market Street is too short to install a funicular. Owen expressed support for the elevator alternative.

Chairperson Makowetski expressed support for the tower alternative as long as it could be incorporated with the elevator. He stated he would like to see stairs incorporated into the design as well.

Chairperson Makowetski opened Public Comment period, and seeing none, closed Public Comment period.

**PUBLIC WORKS ADVISORY BOARD MOTION:** Boardmember Burkhart moved to approve Alternate 3 with the elevator, staircase, and tower.

The motion was seconded by Boardmember Goldman and the motion passed (3-2), with Boardmembers Shively and Rutherford dissenting. According to Burkhart, Makowetski should not vote because the Chairperson is not allowed to create a tie – he is to remain neutral. Based on comments from Burkhart, Makowetski withdrew his vote.

**RECREATION AND PARKS COMMISSION MOTION:** Commissioner Sidaris moved to approve Alternate 2 with the elevator and no staircase.

The motion was seconded by Commissioner Romero.

Commissioner Swain expressed support for the alternative *with* a staircase so that people would still be able to access Market Street from the Embarcadero if the elevator is ever out of service. Commissioner Bates responded to Swain's comment and noted the project area is small and may not be able to accommodate both an elevator and a staircase.

Based on the comments from Swain, the Commission decided to amend the motion.

**RECREATION AND PARKS COMMISSION AMENDED MOTION:** Commissioner Sidaris moved to approve Alternate 3 with the elevator and staircase.

The motion was seconded by Commissioner Swain and the motion passed (2-1), with Commissioner Romero dissenting.

#### ADJOURNMENT

The meeting adjourned at 7:48 PM to the next scheduled meeting to be held at the Veteran's Memorial Hall on Thursday, September 5, 2013, at 6:00 PM.