

A. CONSENT CALENDAR

- A-1 Approval of minutes from the Planning Commission meeting of September 2, 2014
Staff Recommendation: Approve minutes as submitted.
- A-2 Approval of minutes from the Planning Commission meeting of September 16, 2014
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

- B-1 **Case No.:** UP0-388
Site Location: 938 Anchor Street, Morro Bay, CA
Conditional Use Permit: Request to allow an addition of more than 25% of the existing floor area to a nonconforming structure with a front setback of 19.42 feet where 20 feet is required. Project plans show a 675 square-foot two-story addition with a roof deck and balcony to an existing 1,898 square-foot single family dwelling.
CEQA Determination: Categorically Exempt, Section 15301, Class 1: Additions of less than 50 % of existing floor area.
Staff Recommendation: Approve the Conditional Use Permit
Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211
- B-2 **Case No.:** UP0-384 and AD0-092
Site Location: 990 Balboa, Morro Bay, CA
Conditional Use Permit and Parking Exception: Request to allow an addition exceeding 25% of existing floor area to a nonconforming single-family residence with 3 and 4 foot side-yard setbacks where 5 feet is required and a front setback of 19.5 feet where 20 feet is required. Project Plans show a 380 square-foot addition to an existing 969 square-foot single-family dwelling. This is also a request for a parking exception to allow a single-car garage with tandem parking in driveway to provide for the required second parking space.
CEQA Determination: Categorically Exempt, Section 15301, Class 1: Additions of less than 50 % of existing floor area.
Staff Recommendation: Approve the Conditional Use Permit and Parking Exception
Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

C. UNFINISHED BUSINESS

- C-1 Discussion of Neighborhood Compatibility and Design Guideline Options
Staff Recommendation: Review, comment, and provide direction.
- C-2 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

D. NEW BUSINESS - None

E. DECLARATION OF FUTURE AGENDA ITEMS

F. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on October 7, 2014, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

PUBLIC HEARINGS

B-1 **Case No.:** #CP0-419 & UP0-383 Coastal Development Permit & Conditional Use Permit
Site Location: 3420 Toro Lane, Morro Bay, CA

Project Description: The applicant proposes to construct a 2,065 square-foot dwelling, a 656 square-foot garage, and approximately 300 square feet of patio and deck area on a vacant beach front parcel. The project will require disturbance of approximately 9,000 square feet including approximately 360 cubic yards of grading, landscaping, and driveway improvements within the Public Right-of-Way. The project is located in the Single Family Residential zone with an S.2.A special treatment overlay zone. The height of the structure is limited to a maximum of 17 feet by the overlay zone. The site is also covered by an Environmental Sensitive Habitat overlay zone due the presence of a stream drainage and associated habitat. The project is in the City's ocean bluff review area and located within the Coastal Commission appeal jurisdiction.

CEQA Determination: A Mitigated Negative Declaration (MND) has been prepared for the project pursuant to the requirements of the California Environmental Quality Act. The document can be viewed at the Public Services Dept. and on the City's website <http://www.morro-bay.ca.us/index.aspx?nid=771>. The MND recommends mitigation measures to ensure environmental impacts are reduced to a less-than-significant level. Adoption of the MND will also be considered at the hearing.

Staff Recommendation: Hear public testimony on the project and continue review to a date uncertain.

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

McIlvaine presented the staff report.

Vice Chairperson Luhr and McIlvaine discussed the site boundaries.

Commissioner Lucas asked if the plans are available for public review. McIlvaine noted the file is available for the public to review and the mitigated negative declaration is on the City's website.

Chairperson Tefft opened Public Comment period.

Bill Martony, Morro Bay resident, stated his concern is the City owned land next to the site that would be used for additional overflow parking or a mini park might be impacted by encroachment from the project, and recommended requiring one driveway if there are two houses built on the site.

Betty Winholtz, Morro Bay resident, stated the owner has chalked the boundary of the property that provides a good visual and is concerned about prescriptive rights for the trail, noting State Parks has even acknowledged access of the trail with signage.

Dorothy Cutter, Morro Bay resident, requested Vice Chairperson Luhr to speak into the microphone and Commissioner Lucas to speak up as everyone wants to hear what they say.

Greg Frye, Applicant, stated he is working on a response to comments from the Coastal Commission and described the project, noting the chalk line set up shows the size of the house.

Chairperson Tefft closed Public Comment period.

Commissioner Sadowski stated the Coastal Commission has issues with the MND regarding the EHSA and sensitive habitat.

Commissioner Sadowski and Livick discussed the proposed abandonment of a portion of Torro Lane right-of-way.

MOTION: Commissioner Lucas moved to continue CP0-419 and UP0-383 to a date uncertain. Vice Chairperson Luhr seconded the motion and the motion passed unanimously. (4-0)

Vice Chairperson Luhr requested to hear New Business before Unfinished Business. There was consensus by the Commission to move Unfinished Business to the end of the agenda.

D. NEW BUSINESS

D-1 Interpretation of Site Development Standards for Accessory Structures and Buildings

McIlvaine presented the staff report.

Commissioner Lucas and McIlvaine discussed the proposed dimension standards for a structure in the side yard.

Commissioner Sadowski and staff discussed code enforcement aspects of the standard. Graham noted the Commission has the option to interpret the code to allow sheds or accessory structures 120 square feet or smaller in areas that would otherwise not be allowed.

Vice Chairperson Luhr stated support of the Resolution but indicated 12 feet might be a little tall for what the City is trying to achieve and would suggest a 10 foot maximum.

Chairperson Tefft and McIlvaine discussed the 12 feet height standard.

Chairperson Tefft, Vice Chairperson Luhr, and McIlvaine discussed the square footage calculation.

Chairperson Tefft opened Public Comment period.

Robert Krause, Morro Bay resident, requested the Commission dismiss the Warning of Administrative Citation he received even if the Commission does not adopt the proposed standards, and request the City adopt guidelines for temporary, non-habitable structures.

Reva Virginio, Morro Bay resident, asked if this would include a grandfather clause for existing structures that are 12 feet high.

Paul Rockenbach, Morro Bay resident, stated he supports the Krauses and requests the Commission reduce the setback to 1 foot.

Chairperson Tefft closed Public Comment period.

Vice Chairperson Luhr stated support for the Resolution and reducing the height to 10 feet, but not reducing the setback to 1 foot due to fire issues as the structure would not be required to obtain a permit.

Commissioner Sadowski concurred with Vice Chairperson Luhr regarding reducing the height standard, but would like to reduce the setback to 1 foot.

Commissioner Lucas stated he is against the proposed a height requirement and reducing the setback to 1 foot, noting smaller, shorter and farther from the fence is better. He stated support for the lot coverage requirement.

Chairperson Tefft stated that California Fire Code exempts sheds from fire regulations but does require a 6 foot separation, noting separation from the fence should be shared equally by the neighbors. He stated support for lowering the height to 8, 9 or 10 feet, keeping the setback at 3 feet, and having the lot coverage requirement.

Vice Chairperson Luhr suggested an 8 foot wall and a 10 foot maximum at the peak.

MOTION: Vice Chairperson Luhr moved to adopt PC Resolution No. 21-14 with the following change: structure to have 8 foot maximum for walls and 10 foot height maximum at the peak. Commissioner Lucas seconded the motion.

Commissioner Lucas, Vice Chairperson Luhr, Chairperson Tefft and Livick discussed fire issues in relation to setback distance and the City's insurance liability rating.

Chairperson Tefft called the question.

The motion passed. (3-1; Commissioner Sadowski voting no)

D-2 Discussion of Neighborhood Compatibility and Design Guideline Options

Graham presented the staff report.

Chairperson Tefft opened Public Comment period.

Dorothy Cutter, Morro Bay resident, stated she thinks the Commission needs more tools to keep the City nice and small, noting she encourages this process.

Casey Cauldwell, Morro Bay resident, requested that Public Comment be opened again after the specifics have been presented by staff. She stated there was a lot of people at the 1000 Ridgeway hearing discussing this issue and they are not here tonight, noting she hopes the Commission will not be adopting anything tonight.

Bill Martony, Morro Bay resident, suggested the guidelines should be by area as each neighborhood as a different character, noting that one size fits all would not work.

Chairperson Tefft closed Public Comment period.

Chairperson Tefft stated this is a first in a series of meetings on this encouraged anyone interested in this process to participate in the discussion.

Vice Chairperson Luhr stated the discussion tonight should be more of a general scope before getting into specific plans for specific neighborhoods.

Commissioner Sadowski stated in regard to the general scope it comes down to size, bulk and articulation, noting an issue to look at is second story overhangs.

Commissioner Lucas concurred with Vice Chairperson Luhr regarding defined neighborhoods that have defined characteristics. He suggested three areas for more detailed discussion: second floor massing and redefine to upper floor massing, radius for noticing a project, and façade articulation.

Commissioner Lucas and Graham discussed enforcement of upper floor setbacks without using FAR or percentage of upper level coverage.

Chairperson Tefft stated he did not like the idea of general guidelines, wanting more specific guidelines with regard to concepts that have to do with the neighborhood the house is in.

Vice Chairperson Luhr stated the crux is how to do this without stifling innovation. He stated the guidelines should be as viewed from the street, noting interior side yards are not as critical. He stated requiring step backs for the upper story would preclude using stair towers that would visually help to break up the bulk, roof planes should be such that would allow for solar panels and guidelines should include landscape plans.

Commissioner Sadowski stated Santa Cruz has a FAR program that is successful and should look at other coastal communities with successful programs.

Graham presented the specific design guideline for relationship to specific homes.

Commissioner Lucas stated it should be a burden on the architect to show compatibility.

Vice Chairperson Luhr and Graham discussed the general guidelines and if it would have enough teeth to tell an applicant they need another look at their project.

Chairperson Tefft stated his concern is the guidelines only look at one way to address an issue, rather than show people they have more options.

Vice Chairperson Luhr concurred and stated he would like to see encouragement for architectural expression.

Commissioner Sadowski stated scale and mass is the key that need to focus on.

Chairperson Tefft stated there needs to be privacy provisions and provisions to prohibit blocking solar access related to a neighbor's house.

Vice Chairperson Luhr stated there are concerns with privacy provisions related to views and decks for homes on a hill or are west facing.

Commissioner Lucas stated a square footage trigger point may be needed for the guidelines. Graham stated this would be something found in the zoning code.

Commissioner Sadowski stated staff should look at what was there compared to what is proposed as a trigger of what would come to the Commission.

Graham presented the specific design guideline for scale and mass.

Commissioner Lucas and Graham discussed the difference between items C and E. Commissioner Lucas stated item E was easier to understand.

Commissioner Sadowski stated he liked the numbers in item E, noting that would give people something to work with.

Vice Chairperson Luhr and Graham discussed the numbers in relation to small and sloped lots. Vice Chairperson Luhr stated he preferred 80% to what is proposed.

Commissioner Lucas stated a sliding scale is important for small lots.

Vice Chairperson Luhr and Chairperson Tefft discussed setting a square footage trigger, with Chairperson Tefft noting a review of lots sizes in the City should occur before setting a trigger amount.

Chairperson Tefft stated item 3 is too stringent and item 2 should be like item 3 giving options of what could be done. He stated he would like to discourage second stories over the garage and would like to see lowered eave lines.

Chairperson Tefft and Vice Chairperson Luhr discussed stepping down or excavating into the hill for hill properties with Vice Chairperson Luhr stating he would be against making stepping down a requirement, noting it should be an option.

Commission took at 10 minute break.

Graham presented the specific design guidelines for surface articulation.

Commissioner Sadowski stated surface articulation is a key aspect to visually reduce the bulk and scale of a second story.

Vice Chairperson Luhr stated the focus should be on street facades, not side and back yards.

Commissioner Lucas stated support for item C1 and did not know how C2 could be maintained.

Graham asked the Commission if there was consensus to Vice Chairperson Luhr's comment to focus on the front elevation.

Commissioners Lucas and Sadowski stated the front is more important.

Chairperson Tefft stated ideally would be talking about open space as well as the structure and is something that should be talked about in the General Plan.

Vice Chairperson Luhr agrees with Commissioner Lucas that colors and textures can change but building articulation is more important.

Graham presented specific design guidelines for building orientation.

Commissioner Lucas and Graham discussed secondary units related to the entry.

Graham presented specific design guidelines for garage placement.

Commissioner Sadowski and Graham discussed setbacks for a second story over a garage.

Commissioner Lucas stated he does not like the strategy proposed as the only option.

Chairperson Tefft stated City should encourage new development be consistent in the placement of the garage with what is in the existing neighborhood and encourage using two garage doors instead of one large door to soften it up. He also stated driveway placement should be done to avoid damage to street trees and encourage having a narrow entrance from the street.

Graham presented specific design guidelines for building materials.

Vice Chairperson Luhr stated he liked having the materials be consistent with the building.

Chairperson Tefft stated in areas that are visible we should avoid changes in material at the corners.

Graham presented specific design guidelines for architectural elements.

Commissioner Sadowski stated the key is proportion and balance.

Commissioner Lucas stated this guideline is not as important as the others, noting that more attention needs to be on the mass and articulation than the basics of the building.

Chairperson Tefft stated he wanted to eliminate number 2, noting he wants opportunity for more options. He also stated should include if a home is being built in an architecturally cohesive neighborhood, the building should be consistent with the style of the neighborhood.

Commissioner Lucas and Graham discussed historical preservation guidelines.

Graham presented specific design guidelines for additions to existing homes.

Vice Chairperson Luhr stated he generally agreed with the proposed guidelines, noting he did not want to close off innovative solutions.

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Commissioner Lucas agreed with Vice Chairperson Luhr’s comments.

Chairperson Tefft stated that for number 4 materials should be of equal quality.

Commissioner Sadowski stated the key is bulk and scale and how that fits in with the neighborhood.

Vice Chairperson Luhr and Graham discussed ways to encourage public participation.

E. DECLARATION OF FURTUE AGENDA ITEMS – None

C. UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and File

Graham reviewed the work program with the Commissioners.

F. ADJOURNMENT

The meeting adjourned at 9:20 p.m. to the next regularly scheduled Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on Tuesday, September 16, 2014 at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Rob Livick, Secretary

CEQA Determination: Categorically Exempt, Section 15303(a), Class 3
Staff Recommendation: Conditional Approval
Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

Chairperson Tefft announced he would need to recuse himself and turned the meeting over to Vice Chairperson Luhr.

McIlvaine presented the staff report.

Commissioner Lucas and McIlvaine discussed the retaining wall. McIlvaine noted the condition is suggested to be revised to say “or other treatment as deemed appropriate by the Planning Commission.”

Commissioner Lucas asked if the condition to plant 3 street trees is a requirement along Main Street or a general requirement to replace trees being lost around town or site specific to this lot. McIlvaine replied it is site specific.

Vice Chairperson Luhr stated the wording on condition 8 was not clear if there is a requirement of 3 trees total or if it is 3 trees in the front and 3 in the exterior side yard setbacks.

Vice Chairperson Luhr and McIlvaine discussed condition 2 under Building.

Vice Chairperson Luhr opened Public Comment period.

Mel Wammack, Applicant, thanked the Commission for its suggestions and has taken them to heart, noting his Architect is here to answer questions.

Betty DeRosa, stated concern for the property values of her home immediately to the north of the project site and the ability to rent it. She stated the project, while compatible with other homes in the area, it is not compatible with the homes directly next to it, noting the house is really large.

Dorothy Cutter, Morro Bay resident, stated the design is very improved but it makes it look more massive. She requested there be no on-street parking on Main Street between Cypress and Walnut as well as no trees in that area.

Alex Beattie, Morro Bay resident, stated the project is too big and bulky. He stated the project should comply with the scenic resource protection policies in the Local Coastal Plan.

Jeff Heller, Morro Bay resident, stated this is the wrong house in the wrong place and wanted to know why there is a public hearing for this project when his remodel project did not require one. He stated he has a problem with the second unit, noting there would be more cars.

Jacob Wilcough, Morro Bay resident, stated there were improvements architecturally, but the house seems out of scale for the lot. He stated concern with the additional parking for the secondary unit.

Jeff Schneidereit, Architect, stated there are no one story restrictions for the lot. He stated the second floor has been set back to give the feeling of less mass, the view from Main Street will not be blocked, and the parking standard has been met.

Mel Wammack, Applicant, clarified what the view of the house from Main Street would look like.

Kathy Kellit, Morro Bay resident, stated she wanted to know what the material would be for the split block retaining wall.

Vice Chairperson Luhr closed Public Comment period.

McIlvaine responded to a couple of questions from the public regarding why there was a public hearing for this item and the parking requirement for the secondary unit.

Commissioner Sadowski and staff discussed what is being done at the staff level to address bulk and scale on projects.

Vice Chairperson Luhr and McIlvaine discussed the zoning definitions regarding front yard and side yard setbacks.

Commissioner Sadowski and Livick discussed the history of the appeal to Coastal Commission of the project at 280 Main.

Commissioner Sadowski stated the Architect did a good job of translating Commission comments from the last meeting and noted the parking is within the parameters.

Commissioner Lucas stated the parking for the second unit does not have a garage and is open, relieving the building's mass and noted that views are protected from the public street.

Commissioner Lucas stated if a 3 dimensional view of the house were inserted onto the picture of the site on Main Street from Mr. Beattie's presentation, it would show that the house to the right would loom larger than the proposed house in terms of roof lines and roof peaks.

Commissioner Lucas stated he does not know where the street trees would be located without affecting views.

Vice Chairperson Luhr concurred with several points Commissioner Lucas made, noting the front porch helps to bring articulation and break down the scale. He stated concern with trees blocking the views and requested the following requirements be included:

- The landscaping plan state native and drought tolerant plants be predominately featured and include a water use schedule; and
- The retaining wall should be covered with a certain percentage of vegetation.

Vice Chairperson Luhr stated he is concerned about sight lines on Cypress and Walnut merging in with Main Street and requested the Engineering Division review the sight lines after the project is completed to determine if no parking zones should be required.

Vice Chairperson Luhr, Commissioner Lucas and Livick discussed the street tree requirement in relation to views and sight distance.

MOTION: Commissioner Lucas moved to approve Coastal Development Permit CP0-417 for the construction of a new two-story 2,935 square-foot single-family residence with a two-car garage, an attached secondary unit, and 272 square feet of porch and decking with a third open parking space at 505 Walnut Street including the modifications discussed relative to the retaining wall, landscape plan, and street trees. Commissioner Sadowski seconded the motion and the motion passed unanimously. (3-0)

Vice Chairperson Luhr turned the meeting back over to Chairperson Tefft.

C. UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and File

Graham reviewed the work program with the Commissioners.

D. NEW BUSINESS - None

E. DECLARATION OF FURTUE AGENDA ITEMS – None

F. ADJOURNMENT

The meeting adjourned at 7:40 p.m. to the next regularly scheduled Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on Tuesday, October 7, 2014 at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Rob Livick, Secretary



AGENDA NO: B-1

MEETING DATE: October 7, 2014

Staff Report

TO: Planning Commissioners

DATE: October 7, 2014

FROM: Whitney McIlvaine, Contract Planner

SUBJECT: **Conditional Use Permit (UP0-388)** Request to allow an addition exceeding 25% of existing floor area for a single-family residence with a nonconforming front setback at 938 Anchor Street.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission Resolution 23-14 (Exhibit A) which includes the Findings and Conditions of Approval for the project depicted on site development plans dated January 16, 2014.

APPLICANTS: Mike and Julie Sherrod

ARCHITECT: RRM Design Group

APN: 066-163-016

PROJECT DESCRIPTION:

The Applicants are requesting conditional use permit approval for a proposed second-story addition of 614 square feet plus a 130 square-foot second-story deck and a 271 square-foot roof deck to an existing 1,898 square-foot single-family dwelling with a nonconforming front setback of 19.42 feet where 20 feet is required. The project also proposes to add 62 square feet on the first floor to enable stairs to the second floor and roof deck. (See Exhibit B – reduced plans.)



PREVIOUS VARIANCE REVIEW:

On August 5, 2014, the Planning Commission reviewed the same proposed project in the context of a variance request for the rear-yard setback. Commissioners were supportive of the project and approved the variance (AD0-091) on a vote of 5-0. (See Exhibit C – August 5, 2014 meeting minutes.) At the meeting the nonconforming front setback was noted and there was a brief discussion of possible remedies, including a reduced setback requirement based on front yard averaging of lots on the same block, and conditional use

Prepared By: WM

Department Review: _____

<u>Zoning Ordinance Standards</u>		
	Standards	Proposed
Front-Yard Setback	20 feet	Existing 19.42'
Side-Yard Setback	10% of ave. width of lot with 5 ft. maximum and 3 ft. minimum In this case, 5 feet	6.06' and 12.42'
Rear-Yard Setback	10% of the ave. depth of lot with 10 ft. maximum and 6 ft. minimum In this case, 10 feet	Existing 7.56' Approved for the addition August 5, 2014
Lot Coverage	45% allowed	41.9%
Height	25 feet	24.5'
Parking	2 covered and enclosed spaces	2 covered and enclosed spaces

Additions to Nonconforming Structures: Additions to nonconforming structures may be permitted with approval of a conditional use permit, subject to certain findings (Morro Bay Municipal Code (MBMC) Section 17.56.160). Section 17.56.160 allows for additions to nonconforming structures, but only when the addition is conforming. In this case, the second-floor addition is considered conforming with regard to the required rear yard setback because a variance (AD0-091) was approved by the Planning Commission for a 7.56-foot rear setback for the addition on August 5, 2014. The addition also meets all other setback and zoning development standards, such as height, coverage and parking.

Approval of a use permit for additions of more than 25% of floor area to a nonconforming structure requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed remodel and additions are consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements

for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone. The surrounding neighborhood is developed with one- and two-story homes.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required front setback. The front of the house will not be affected by the proposed addition to the rear of the structure. Furthermore, requiring reconstruction of the front of the home to increase the setback by less than one foot is not reasonable.

CONCLUSION: The project is consistent with the General Plan and Coastal Land Use Plan designation of Low/Medium Density Residential and with policies regarding neighborhood compatibility (Coastal Land Use Plan p.208, General Plan p. IV-12). The project is also consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures (MBMC Section 17.56.160).

PUBLIC NOTICE: Notice of this item was published in the San Luis Obispo Tribune newspaper on September 26, 2014, and all property owners of record within 300 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION: Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301(e), Class 1, additions to existing structures.

EXHIBITS:

Exhibit A – Planning Commission Resolution 23-14

Exhibit B – Reduced Plans

Exhibit C – Minutes of the August 5, 2014 Planning Commission meeting

EXHIBIT A

RESOLUTION NO. PC 23-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING CONDITIONAL USE PERMIT (UP0-388) TO ALLOW ADDITIONS
EXCEEDING 25% OF THE EXISTING FLOOR AREA TO A NONCONFORMING
RESIDENTIAL STRUCTURE AT 938 ANCHOR STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on October 7, 2014, for the purpose of considering Conditional Use Permit UPO-388 for a proposed addition to a single-family home with a nonconforming front setback of 19.42 feet where 20 feet is required at 938 Anchor Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing; and

WHEREAS, the Planning Commission approved Variance AD0-091 on August 5, 2014, to allow a rear setback of 7.56 feet, where 10 feet would otherwise be required, for construction of a second-story addition at 938 Anchor Street.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Planning Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1 for additions to an existing structure not exceeding 50% of the existing floor area.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Coastal Land Use Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.

2. The proposed additions are in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with one- and two-story custom homes.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet required front setback. The front of the house will not be affected by the proposed addition to the rear of the structure. Furthermore, requiring reconstruction of the front of the home to increase the setback by less than one foot is not reasonable.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-388 for property located at 938 Anchor Street subject to the following conditions:

STANDARD CONDITIONS

1. Description of Project Approved: This permit is granted for the land described in the staff report dated October 7, 2014, for the project at 938 Anchor Street depicted on plans dated January 16, 2014, on file with the Public Services Department, showing a second-story addition of 614 square feet plus a 130 square-foot second-story deck and a 271 square-foot roof deck to the rear of an existing 1,898 square-foot single-family dwelling as modified by these conditions of approval. The project also includes an addition of 62 square feet on the first floor to enable stairs to the second floor and roof deck. Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction is commenced not later than two years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one additional year each. Any extension may be granted by the City’s Public Services Director (the “Director”), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the “MBMC”), General

Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

3. Changes: Minor changes to the project description or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance and a Certificate of Occupancy, as may be required. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be

- left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
 3. Dust Control: Prior to issuance of a grading permit, a method of control to prevent dust and wind blown earth problems shall be submitted for review and approval by the Building Official.
 4. Future Additions: Any future applications for second-story additions to the existing house at 938 Anchor Street shall require review and approval by the Planning Commission.
 5. Wet Bar: MBMC section 17.48.325 prohibits wetbars unless a deed restriction is recorded to run with the property, restricting the wet bar from being converted into a sink for a residential unit. Plans submitted for a building permit shall be revised to delete the wet bar or a deed restriction shall be recorded prior to issuance of a Building Permit.
 4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

PUBLIC WORKS CONDITIONS

1. Conduct a video inspection of the conditions of existing sewer lateral. Submit video to City collection system personnel. Construction Plans should reflect repair or replacement as required to prohibit inflow/infiltration.
2. Repair/replace the asphalt berm and driveway approach to meet the City's standards.

Add the following Notes to the Plans:

3. No work within nor any use of any public rights of way shall occur without an encroachment permit. Encroachment permits are available at the City's Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.
4. Any damage to any of the City's facilities (such as curb/berm, street, sewer line, water line, or any public improvements) resulting, directly or indirectly from construction operations related to this project shall be repaired at no cost to the City.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 7th day of OCTOBER, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson Robert Tefft

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 7th day of OCTOBER, 2014.

EXHIBIT B

SHERROD RESIDENCE ADDITION

938 Anchor Street
Morro Bay, California



THE INCLUDED DRAWINGS, SPECIFICATIONS, NOTES, ORDERS AND ADDENDUMS TO THESE DRAWINGS ARE THE PROPERTY OF RRM DESIGN GROUP. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP IS STRICTLY PROHIBITED. RRM DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. RRM DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES OF ANY ACTIONS TAKEN OR NOT TAKEN BY ANY PARTY BASED ON THESE DRAWINGS. RRM DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR ANY ACTIONS TAKEN OR NOT TAKEN BY ANY PARTY BASED ON THESE DRAWINGS. RRM IS A CALIFORNIA CORPORATION

ABBREVIATIONS

ABV	ABOVE	JST	JOIST
ACOUS	ACOUSTICAL	JT	JOINT
ACT	ACOUSTICAL CEILING TILE	LAM	LAMINATE
AD	AREA DRAIN	LAV	LAVATORY
ADJ	ADJUSTABLE	LB(S)	POUNDS
AFF	ABOVE FINISH FLOOR	LDG	LANDING
ALT	ALTERNATE	LT	LIGHT
ALUM	ALUMINUM	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECT	MEMB	MEMBRANE
B.O.	BOTTOM OF	MFR	MANUFACTURER
BALC	BALCONY	MIN	MINIMUM
BD	BOARD	MISC	MISCELLANEOUS
BET	BETWEEN	MO	MASONRY OPENING
BLOG	BULGING	MTD	MOUNTED
BLKG	BLOCKING	MTL	METAL
BLW	BELOW	N	NORTH
BM	BEAM	NIC	NOT IN CONTRACT
BOT	BOTTOM	NO	NUMBER
BRKT	BRACKET	NOM	NOMINAL
BULKHD	BULKHEAD	NTS	NOT TO SCALE
BUR	BUILT UP ROOF	O.P.	OVERFLOW PIPE
C.G.	CORNER GUARD	OA	OVERALL
CAB	CABINET	OC	ON CENTER
CAK	CAULKING	OD	OUTSIDE DIAMETER
CEM	CEMENT	OF	OFFICE
CER	CERAMIC	OH	OPPOSITE HAND
CJ	CONTROL JOINT	OPG	OPENING
CLG	CEILING	OPP	OPPOSITE
CLS	CLOSET	PART	PARTITION
CLR	CLEAR	PERM	PERIMETER
CO	CASED OPENING	PG	PAINT GRADE
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLAS	PLASTER
CONT	CONTINUOUS	PLYWD	PLYWOOD
CPT	CARPET	PR	PAIR
CT	CERAMIC TILE	PT	PAINT
CTR	CENTER	PTD	PAINTED
DBL	DOUBLE	R	RISER
DET	DETAIL	RAD	RADIUS
DIA	DIAMETER	RCP	REFLECTED CEILING PLAN
DM	DIMENSION	RD	ROOF DRAIN
DN	DOWN	RE	REFER
DR	DOOR	REF	REFRIGERATOR
DS	DOWN SPOUT	REINF	REINFORCED
DW	DISHWASHER	REQD	REQUIRED
DWG	DRAWING	RESIL	RESILIENT
E	EAST	RM	ROOM
EA	EACH	RO	ROUGH OPENING
EPS	EXTERIOR INSULATION & FINISH SYSTEM	RTU	ROOF TOP UNIT (MECH)
ELEC	ELECTRIC	S	SOUTH
ELEV	ELEVATION	SAFB	SOUND ATTENUATION FABRIC
EMER	EMERGENCY	SC	SCUPPER
ENCL	ENCLOSURE	SCHED	SCHEDULE
EOS	EDGE OF SLAB	SEAL	SEALANT
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FOOT
ETR	EXISTING TO REMAIN	SHT	SHEET
EW	EACH WAY	SIM	SIMILAR
EXP. JT.	EXPANSION JOINT	SPEC	SPECIFICATION
EXT	EXISTING	SQ	SQUARE
F.O.	FACE OF	SS	STAINLESS STEEL
FA	FIRE ALARM	STD	STANDARD
FAP	FIRE ANNUNCIATOR PANEL	STL	STEEL
FD	FLOOR DRAIN	STOR	STORAGE
FE	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
FEC	FIRE EXTINGUISHER PANEL	SUSP	SUSPENDED
FG	FINISH GROUP	SYM	SYMMETRICAL
FH	FIRE HYDRANT	T	TREAD
FHC	FIRE HOSE CABINET	T&G	TONGUE & GROOVE
FIN	FINISH	TEL	TELEPHONE
FLR	FLOOR	TER	TERRAZZO
FLUCR	FLOURESCENT	THK	THICK
FT	FOOT OR FEET	THR	THRESHOLD
FUR	FURRING	TO	TOP OF
GAL	GALLON	TYP	TYPICAL
GALV	GALVANIZED	UC	UNDERCUT
GB	GRAB BAR	UNFIN	UNFINISHED
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	UNO	UNLESS OTHERWISE NOTED
GND	GROUND	UTL	UTILITY
GWB	GYP SUM BOARD	VCT	VINYL COMPOSITION TILE
GYP	GYP SUM	VERT	VERTICAL
H.W.H.	HOT WATER HEATER	VF	VERIFY IN FIELD
HWWD	HARDWOOD	VTR	VENT TERMINATION PIPE
HWY	HARDWARE	VWC	VINYL WALL COVERING
HM	HOLLOW METAL	W	WEST
HORIZ	HORIZONTAL	W	WITH
HR	HOUR	W/O	WITHOUT
HT	HEIGHT	WC	WATERCLOSET
ID	INNER DIAMETER	WN	WINDOW
INCAN	INCANDESCENT	WP	WATERPROOF
INSUL	INSULATION	WSTACK	WETSTACK
INT	INTERIOR	WSCOT	WAINSCOT
JAN	JANITOR	WT	WEIGHT

PROJECT DIRECTORY

CLIENT/OWNER:
MIKE & JULIE SHERROD
ADDRESS:
938 ANCHOR STREET
MORRO BAY, CA
PHONE: (805)543-1794 **FAX:** (805)543-4609
CONTACT: DARIN CABRAL
EMAIL:

ARCHITECT:
RRM DESIGN GROUP
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CARSTAIRS ENERGY CALCULATIONS
ADDRESS:
P.O. BOX 4736
SAN LUIS OBISPO, CAL 93403
PHONE: (805)904-9048 **FAX:** (805)940-3774
CONTACT: TIMOTHY CARSTAIRS
EMAIL: TIMMYCARSTAIRS@YAHOO.COM

SOILS ENGINEER:
GEOSOLUTIONS, INC
ADDRESS:
220 HIGH STREET
SAN LUIS OBISPO, CA 93401
PHONE: (805) 543-8539 **FAX:** (805) 543-2171
CONTACT: PATRICK MCNEILL
EMAIL: patrick@geosolutions.net

GENERAL NOTES

- APPLICABLE CODES AND STANDARDS:
- 2010 CALIFORNIA RESIDENTIAL CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS.
 - 2010 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PRECEDING AT HIS/HER OWN RISK.
- OMISSIONS MADE IN THESE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE APPROPRIATE AUTHORITIES ARE TO BE NOTIFIED BY THE CONTRACTOR. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
- CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- FIRE SPRINKLER SHOP DRAWINGS & CALCULATIONS SHALL BE SUBMITTED TO BUILDING DEPT. & APPROVED BY FIRE DEPT. PRIOR TO INSTALLATION.
- SHOP WELDS MUST BE PERFORMED IN A LA CITY BLDG. DEPT. LICENSED FABRICATOR'S SHOP.
- CONTRACTOR TO REVIEW TITLE 24 DOCUMENTATION TO PROVIDE A BUILDING THAT MEETS AND EXCEEDS THE BUILDING ENERGY AND EFFICIENCY AND PERFORMANCE AS REQUIRED BY ASHRAES 90.1-1999 OR THE LOCAL ENERGY CODE, WHICHEVER IS MORE STRINGENT. THE BUILDING IS TO MEET THE ENERGY AND ATMOSPHERE, MINIMUM ENERGY PERFORMANCE PREREQUISITE POINT 2 PER THE USGBC LEED GREEN BUILDING RATING SYSTEM, VERSION 2.1.
- THE FOLLOWING ITEMS SHOWN ON THE DRAWINGS ARE OWNER PROVIDED, OWNER INSTALLED. UTILITIES PROVIDED FOR THESE ITEMS WILL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE INSTALLATION WITH OWNER.
- TV/DVD SYSTEMS
 - REFRIGERATOR
 - WASHER AND DRYER
 - MICROWAVE
 - OSHA PERMITS REQUIRED FOR VERTICAL CUTS 5' OR OVER.
 - CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS.
 - THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS, AND FOR BOTTOM INSPECTION, BEFORE FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR.

SERVICES DIRECTORY

WATER AND SEWER SERVICE: CITY OF MORRO BAY

ELECTRICAL SERVICE: PACIFIC GAS & ELECTRIC

GAS SERVICE: SOUTHERN CALIFORNIA GAS COMPANY

TELEPHONE SERVICE: AT&T

GARBAGE SERVICE: CITY OF MORRO BAY

CABLE SERVICE: CHARTER COMMUNICATIONS

SHEET INDEX

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T.2	GENERAL NOTES
T.3	GENERAL NOTES
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A1.1	FLOOR PLAN - EXISTING
A1.2	ELEVATIONS - EXISTING
A2.1	FLOOR PLAN - PROPOSED
A2.2	FLOOR PLAN & ROOF DECK/ROOF PLAN
A2.3	ELEVATIONS - PROPOSED
A2.4	ELEVATIONS - PROPOSED
A2.5	BUILDING SECTIONS
A2.6	DOOR & WINDOW SCHEDULES
D.1	ARCHITECTURAL DETAILS
D.2	ARCHITECTURAL DETAILS
E.01	ELECTRICAL PLAN
S.1	STRUCTURAL NOTES
S2.1	FOUNDATION PLAN
S2.2	ROOF AND FLOOR FRAMING PLANS
S.3	STRUCTURAL DETAILS
S.4	STRUCTURAL DETAILS
S.5	STRUCTURAL DETAILS
S.6	STRUCTURAL DETAILS

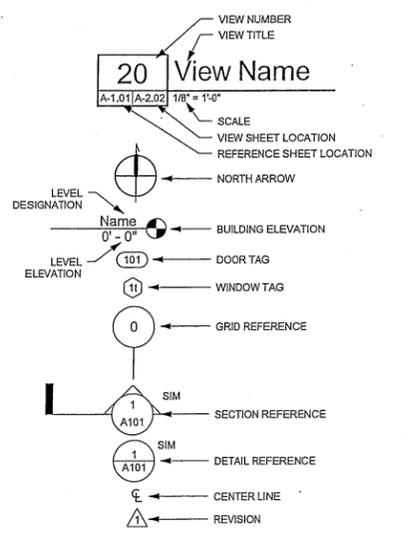
Grand total: 22

SUPPORTING DOCUMENTS

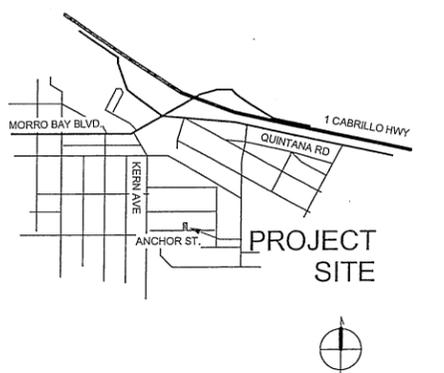
STRUCTURAL CALCULATIONS: PREPARED BY: DATE PREPARED: JOB NUMBER:	M2 STRUCTURAL ENGINEERS JANUARY 27, 2014 AE193024
ENERGY COMPLIANCE REPORT: PREPARED BY: DATE PREPARED: JOB NUMBER:	CARSTAIR ENERGY CALCS JULY 8, 2013 13-0705
SOILS ENGINEERING REPORT: PREPARED BY: DATE PREPARED: JOB NUMBER:	GEOSOLUTIONS, INC DECEMBER 12, 2013 SL06751-2
TRUSS CALCULATIONS: PREPARED BY: DATE PREPARED: JOB NUMBER:	TRUSSPRO, INC JUNE 28, 2013 D27010

rrm design group
creating environments people enjoy®
3765 South Higuera St., Ste. 102, San Luis Obispo, CA 93401
P: (805) 543-1794 F: (805) 543-4609 | www.rrmdesign.com
A California Corporation | Yearly Registration: Architect (C11020) | Exp. 12/31/14 | Jeff Fretsch, LA 80184

SYMBOLS



VICINITY MAP



PROJECT DATA

DESCRIPTION: A PROPOSED SECOND FLOOR ADDITION TO AN EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE WITH AN ATTACHED 2-CAR GARAGE.

SITE INFORMATION:
STREET ADDRESS: 938 ANCHOR STREET
MORRO BAY, CA
APN #: 066-163-016
ZONING DISTRICT: R-1
LOT SIZE: 5,000 SF

BUILDING INFORMATION:

EXISTING AREA CALCS:	
EXISTING FIRST FLOOR:	1370 SF
EXISTING GARAGE:	518 SF
PROPOSED AREA CALCS:	
EXISTING FIRST FLOOR:	1370 SF
PROPOSED FIRST FLOOR:	82 SF
PROPOSED SECOND FLOOR:	814 SF
TOTAL CONDITIONS AREA:	2,946 SF
EXISTING GARAGE:	518 SF
UNCOVERED DECK:	130 SF
ROOF DECK:	271 SF
NUMBER OF STORIES:	2
OCCUPANCY GROUP:	R-3U
CONSTRUCTION TYPE:	VB
SPRINKLERED:	NO
ROOF RATINGS:	CLASS B
MAXIMUM HEIGHT ALLOWED:	25 FEET
MAXIMUM HEIGHT PROPOSED:	24.50 FEET

PARKING INFORMATION:
COVERED SPACES REQUIRED: 2
COVERED SPACES PROPOSED: 2

ENERGY COMPLIANCE:
THIS BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, CHAPTERS 2-53 OF PART 2, FOR NEW RESIDENTIAL CONSTRUCTION.

LEONARD GRANT
C26973
LICENSE NUMBER

LOT COVERAGE

LOT COVERAGE:
EXISTING LOT COVERAGE:
1,625 SF / 5,000 SF = 32.5%
PROPOSED LOT COVERAGE:
2,094 SF / 5,000 SF = 41.9%

RECEIVED

JUL 10 2014

City of Morro Bay
Public Services Department

SHERROD RES ADDITION
938 ANCHOR ST., MORRO BAY, CALIFORNIA
TITLE SHEET

NO.	REVISION	DATE
1	Plan Check Corrections, City of Morro Bay	07/10/14

PROJECT MANAGER
DJC
DRAWN BY: Author
CHECKED BY: Checker
DATE: 01/16/2014
PROJECT NUMBER: 2012144
SHEET: T.1

KEYNOTES



THE INCLUDED DRAWINGS, SPECIFICATIONS, USUAL SECTIONS AND DIMENSIONS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR OTHERWISE UTILIZED WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP. SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCURACY OF THESE SPECIFICATIONS. ANY TYPICAL OR UNUSUAL OCCURRENCES FOR PUBLIC AGENCY REVIEW SHALL NOT BE CONSIDERED A VIOLATION OF ANY APPLICABLE CODES. RRM DESIGN GROUP COPYRIGHT 2011 RRM IS A CALIFORNIA CORPORATION

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 3765 South Figueroa St., Ste. 102, San Luis Obispo, CA 93401
 P: (805) 543-7394 | F: (805) 543-4609 | www.rrmdesign.com
 A California Corporation | Victor Hargreaves, Architect (IC 1109) | Jerry Miskand, PE (CE 2585, LS 8275) | Jeff Fisher, LA 2284

SHERROD RES ADDITION
 938 ANCHOR ST., MORRO BAY, CALIFORNIA
 FLOOR PLAN - EXISTING

NO.	REVISION	DATE
1	Plan Check Corrections, City of Morro Bay	7/20/13

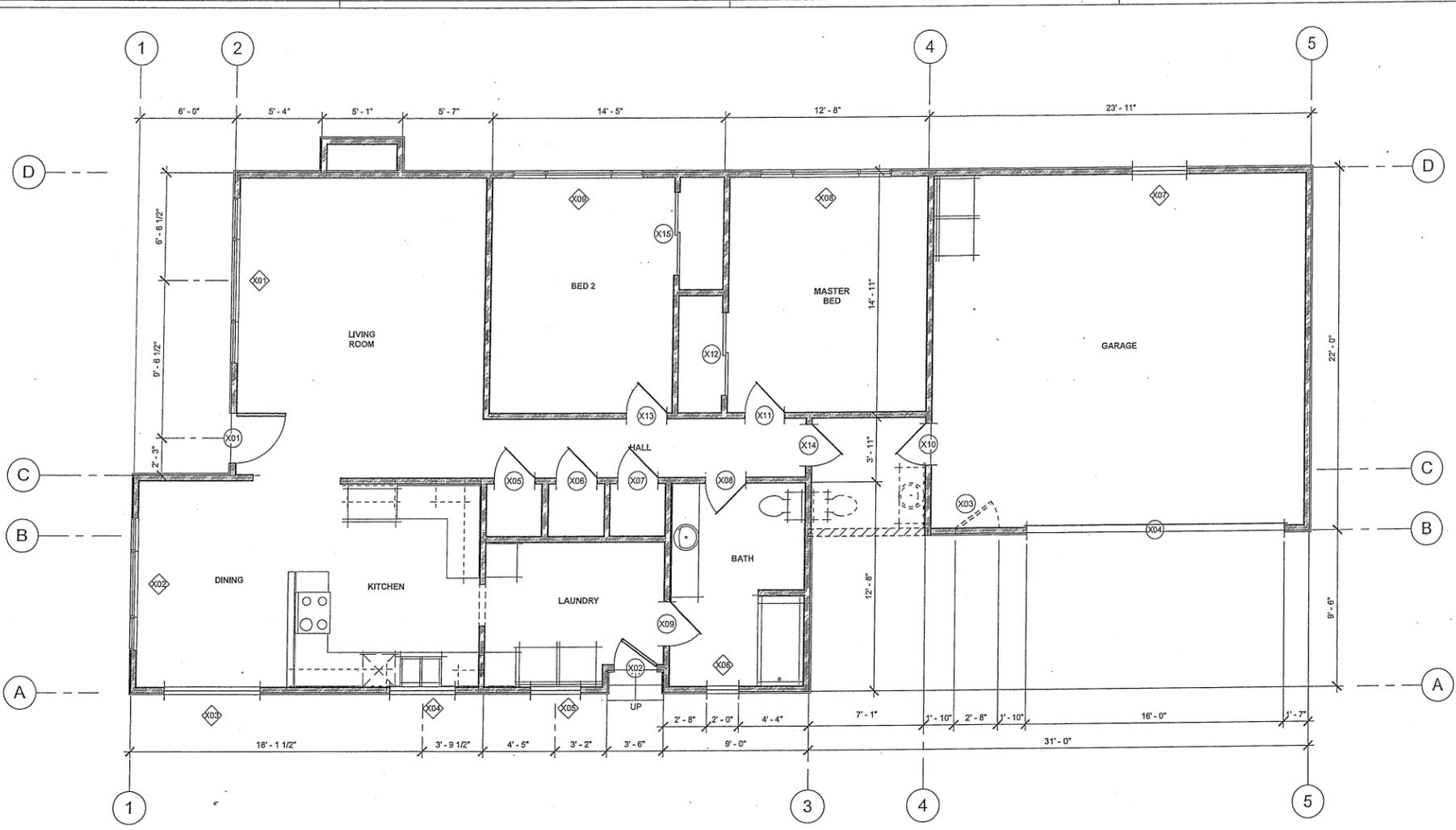
PROJECT MANAGER	
DJC	CHECKED BY
DRAWN BY	DC
SR/DCR/KW/KPS	
DATE	01/16/2014
PROJECT NUMBER	2012144
SHEET	A1.1

LEGEND

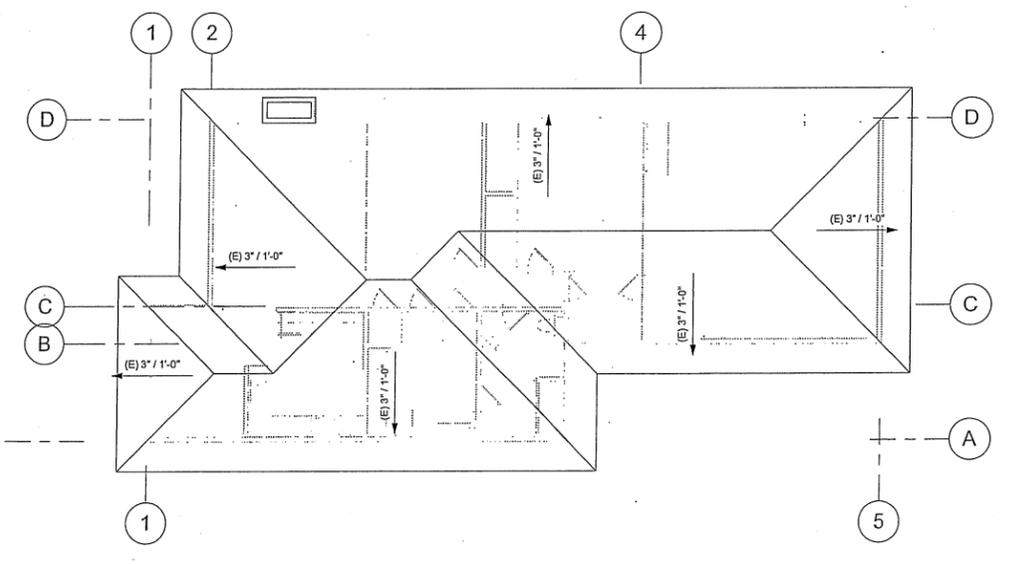
- EXTERIOR- 3 1/2" WOOD STUD W/ PLYWOOD SHEATHING OR FURRING STRIPS AND STUCCO, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR- 3 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.
- EXTERIOR- 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING OR FURRING STRIPS AND STUCCO, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR- 5 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.

INDOOR WATER USE

- A SCHEDULE OF PLUMBING FIXTURES AND FIXTURE FITTINGS THAT WILL REDUCE THE OVERALL USE OF POTABLE WATER WITHIN THE BUILDING BY AT LEAST 20 PERCENT SHALL BE PROVIDED. THE REDUCTION SHALL BE BASED ON THE MAXIMUM ALLOWABLE WATER USE PER PLUMBING FIXTURE AND FITTING AS REQUIRED BY THE CALIFORNIA BUILDING STANDARDS CODE. THE 20 PERCENT REDUCTION IN POTABLE WATER USE SHALL BE DEMONSTRATED BY THE PRESCRIPTIVE METHOD SPECIFIED IN TABLE 4.303.2. FIXTURE FLOW RATES AS SUMMARIZED BELOW. CALGREEN SEC. 4.303.
 - WATER CLOSET LESS THAN OR EQUAL TO 1.28 GALLONS PER FLUSH.
 - SHOWERHEADS LESS THAN OR EQUAL TO 2.0 GPM MAX. @ 80 P.S.I.
 - LAVATORY FAUCETS LESS THAN OR EQUAL TO 1.5 GPM MAX. @ 60 P.S.I.
 - KITCHEN FAUCETS LESS THAN OR EQUAL TO 1.8 GPM MAX. @ 60 P.S.I.
- * INCLUDES DUAL FLUSH TOILETS WITH AN EFFECTIVE FLUSH VOLUME OF 1.28 GALLONS OR LESS. THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
 ** WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES SPECIFIED IN THE 20 PERCENT REDUCTION COLUMN CONTAINED IN TABLE 4.303.2 AND SUMMARIZED ABOVE.
 PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CALGREEN TABLE 4.303.3.



1 FLOOR PLAN - EXISTING
 A1.2 | A1.1 | 1/4" = 1'-0"



2 ROOF PLAN - EXISTING
 A1.2 | A1.1 | 1/8" = 1'-0"

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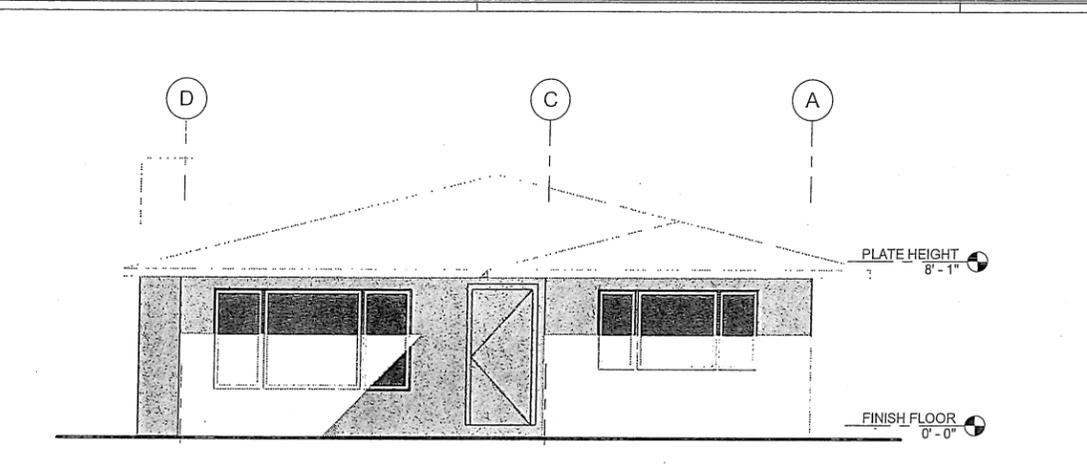
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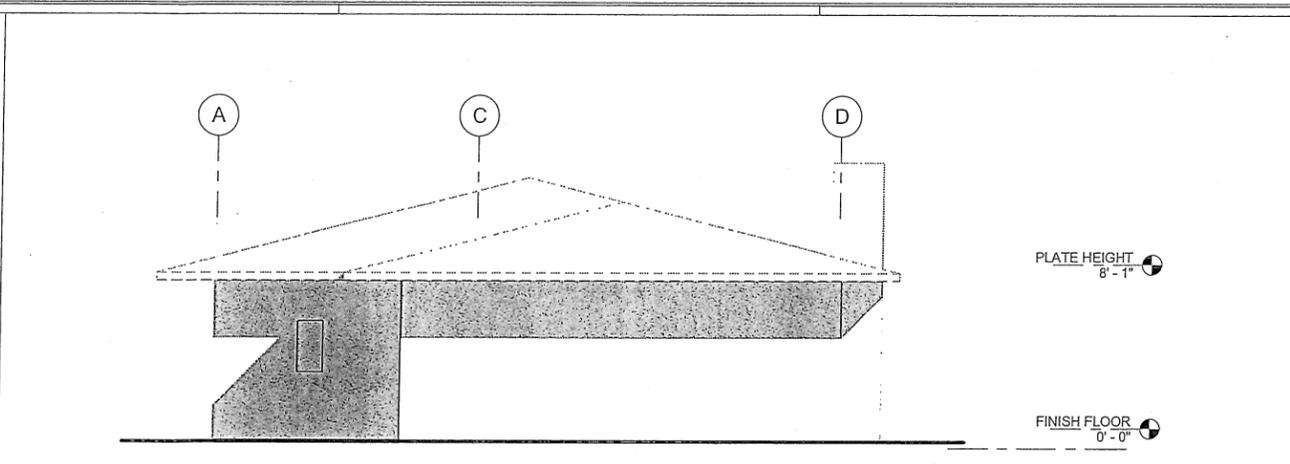
3766 South Highgate St., Ste. 102, San Luis Obispo, CA 93401
P: (805) 543-1794 | F: (805) 543-4009 | www.rrmdesign.com

A California Corporation | Meter Montgomery, Architect (C1100) | Jerry Michael, PE 60898, LB 80291, L&E 0244

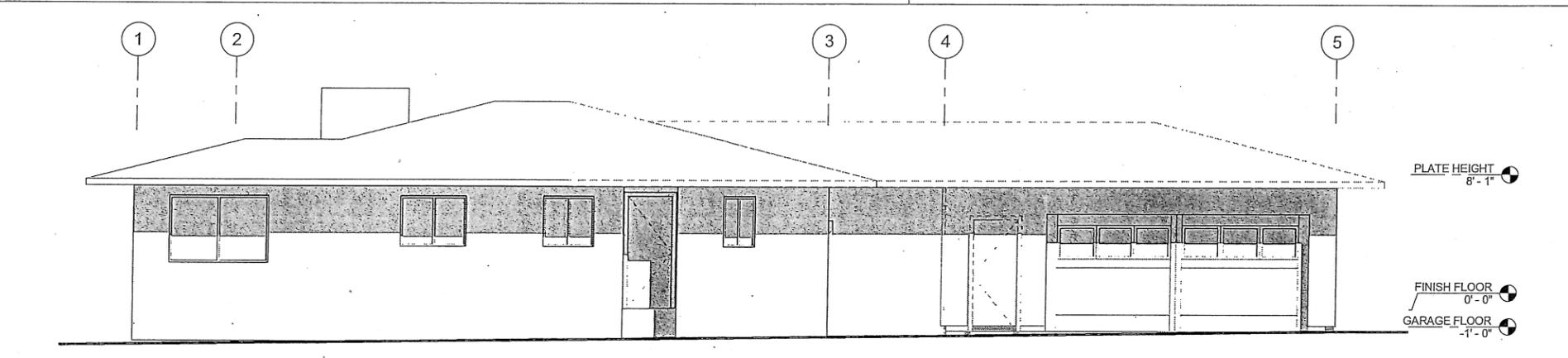
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938 ANCHOR ST., MORRO BAY, CALIFORNIA
ELEVATIONS - EXISTING



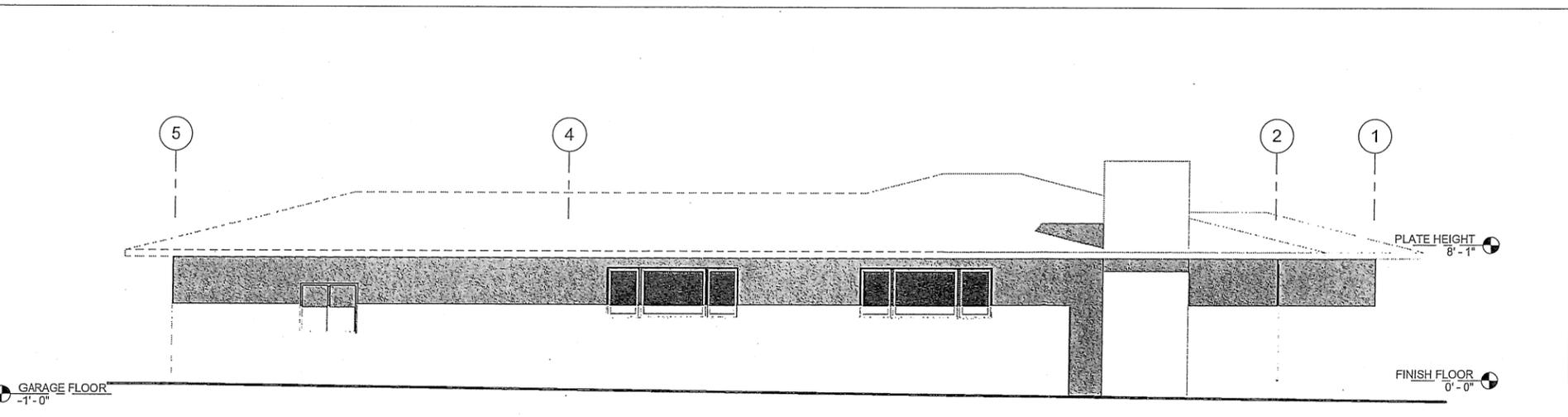
1 FRONT ELEVATION - EXISTING
A1.2 1/4" = 1'-0"



3 REAR ELEVATION - EXISTING
A1.2 1/4" = 1'-0"



2 RIGHT ELEVATION - EXISTING
A1.2 1/4" = 1'-0"



4 LEFT ELEVATION - EXISTING
A1.2 1/4" = 1'-0"

KEYNOTES

LEGEND

- EXTERIOR- 3 1/2" WOOD STUD W/ PLYWOOD SHEATHING OR FURRING STRIPS AND STUCCO, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR- 3 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.
- EXTERIOR- 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING OR FURRING STRIPS AND STUCCO, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR- 5 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.

INDOOR WATER USE

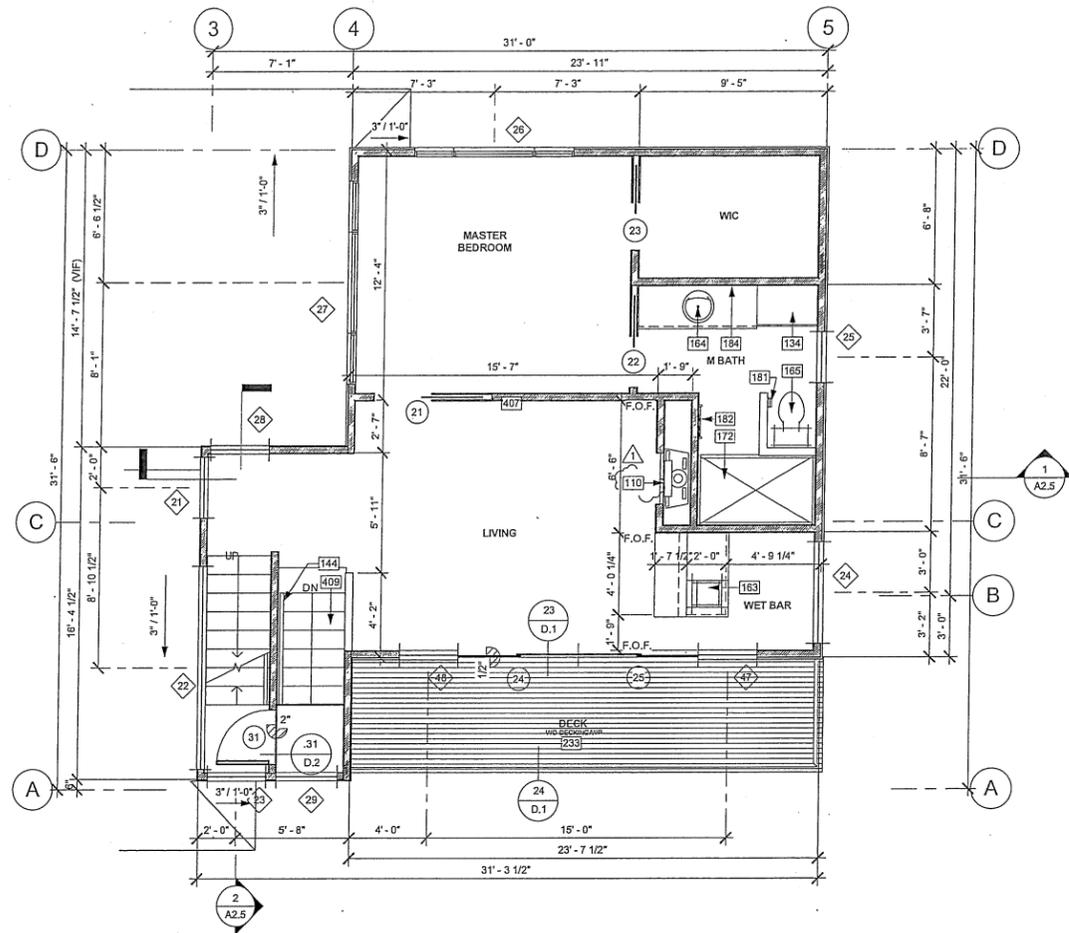
1. A SCHEDULE OF PLUMBING FIXTURES AND FIXTURE FITTINGS THAT WILL REDUCE THE OVERALL USE OF POTABLE WATER WITHIN THE BUILDING BY AT LEAST 20 PERCENT SHALL BE PROVIDED. THE REDUCTION SHALL BE BASED ON THE MAXIMUM ALLOWABLE WATER USE PER PLUMBING FIXTURE AND FITTING AS REQUIRED BY THE CALIFORNIA BUILDING STANDARDS CODE. THE 20 PERCENT REDUCTION IN POTABLE WATER USE SHALL BE DEMONSTRATED BY THE PRESCRIPTIVE METHOD SPECIFIED IN TABLE 4.303.2, FIXTURE FLOW RATES AS SUMMARIZED BELOW. CALGREEN SEC. 4.303.
1. WATER CLOSET LESS THAN OR EQUAL TO 1.28 GALLONS PER FLUSH.
2. SHOWERHEADS LESS THAN OR EQUAL TO 2.0 GPM MAX. @ 80 P.S.I.
3. LAVATORY FAUCETS LESS THAN OR EQUAL 1.5 GPM MAX. @ 80 P.S.I.
4. KITCHEN FAUCETS LESS THAN OR EQUAL 1.8 GPM MAX. @ 80 P.S.I.
- * INCLUDES DUAL FLUSH TOILETS WITH AN EFFECTIVE FLUSH VOLUME OF 1.28 GALLONS OR LESS. THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
- ** WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES SPECIFIED IN THE 20 PERCENT REDUCTION COLUMN CONTAINED IN TABLE 4.303.2 AND SUMMARIZED ABOVE. CALGREEN SEC. 4.303.2.
- PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CALGREEN TABLE 4.303.3.

NO.	REVISION	DATE

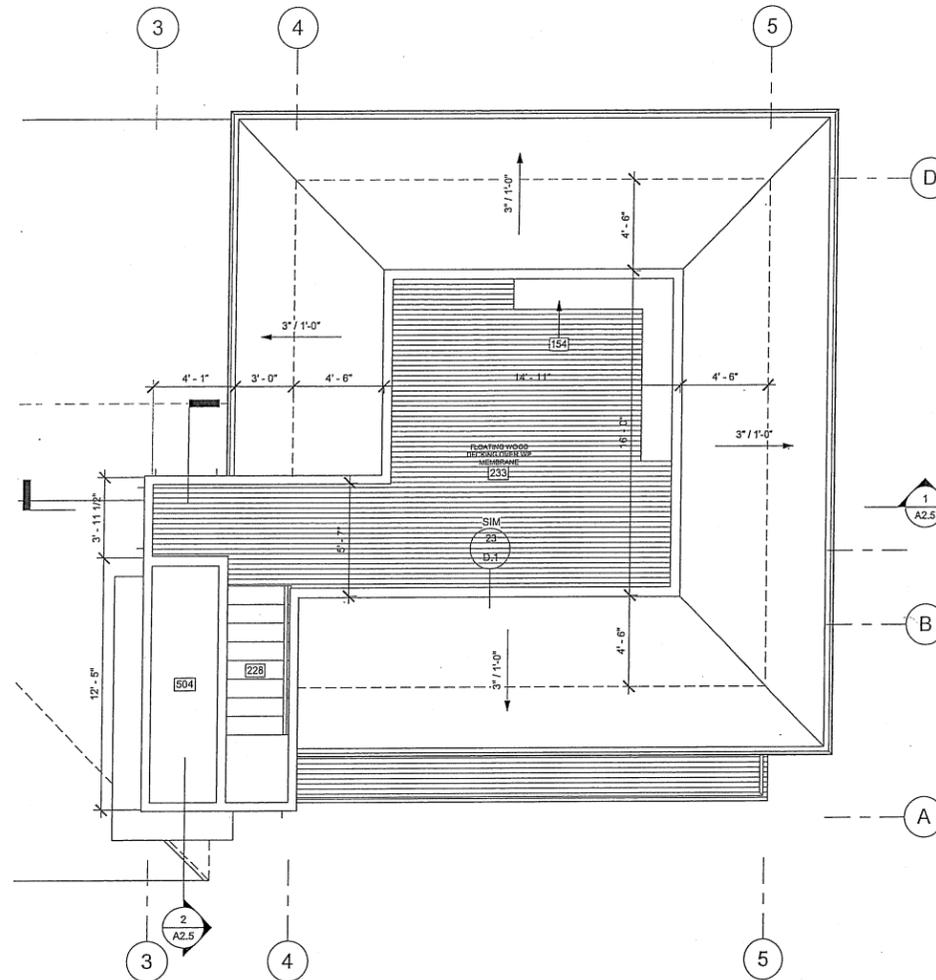
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1 SECOND FLOOR PLAN - PROPOSED
A2.3 | A2.2 | 1/4" = 1'-0"



2 ROOF DECK PLAN - PROPOSED
A2.3 | A2.2 | 1/4" = 1'-0"

KEYNOTES

- 110 FIREPLACE, DIRECT VENT. VERIFY INSTALLATION REQUIREMENTS WITH MANUFACTURE SPECIFICATIONS
- 130 WOOD SHELF AND POLE.
- 134 FULL HEIGHT CABINET, SOFFIT ABOVE +88" UNO
- 144 HANDRAIL, +34"-38" ABOVE NOSING, THE GRIP PORTION SHALL BE 1 1/4" MIN AND 2" 1 1/2" CLEARANCE TO WALL. HANDRAIL SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POST
- 154 BUILT IN BENCH, COORDINATE LAYOUT WITH FLOATING WOOD PANEL SYSTEM
- 163 SERVICE SINK, REFER TO PLUMBING PLAN
- 164 LAVATORY SINK, REFER TO PLUMBING PLAN
- 165 WATER CLOSET, REFER TO PLUMBING PLAN
- 172 TILE SHOWER AND TILE PAN WITH MASONARY DAM. TILE TO 96" AFS, ENCLOSURE DOOR 84" TALL
- 181 TOILET PAPER HOLDER, PER OWNER SPEC
- 182 TOWEL BAR, PER OWNER SPEC, +54 INCHES ABOVE FLOOR
- 184 MIRROR, THE LENGTH OF THE VANITY OR PEDESTAL X 80" AFS, UNO, PER OWNER SPEC
- 228 WATER PROOF MEMBRANE, NCS 6000 OR EQUAL
- 233 FLOATING WOOD PANELS OVER WATERPROOF MEMBRANE, VERIFY PRODUCT SPECIFICATION WITH OWNER, VERIFY INSTALLATION REQUIREMENTS WITH MANUFACTURE.
- 407 WOOD FLOOR, REFER TO STRUCTURAL
- 409 INTERIOR STAIRS, 17R @ 7.16" AND 16T @ 11". 36" MIN CLEAR WIDTH, REFER TO STRUCTURAL
- 504 VERSICO VERSIWELD REINFORCED TPO 60 MIL. MEMBRANE, SLOPE TO DRAIN, 1/4"FT MIN.

SHERROD RES ADDITION

938 ANCHOR ST., MORRO BAY, CALIFORNIA

FLOOR PLAN & ROOF DECK/ROOF PLAN

NO.	REVISION	DATE
1	Plus Check Correction City of Morro Bay	12/29/13

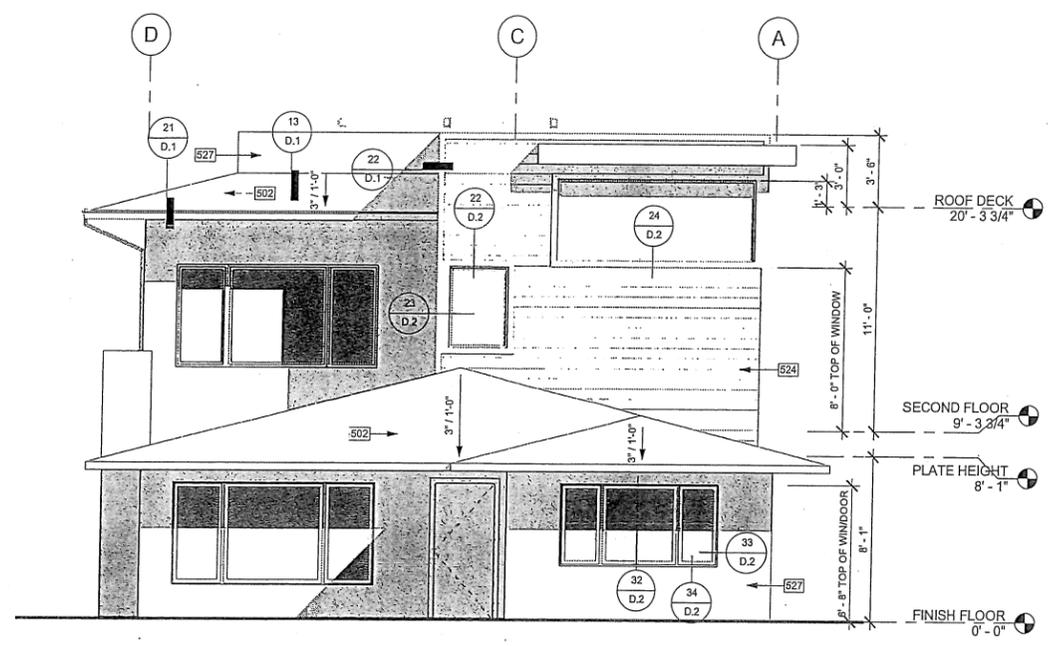
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GENERAL NOTES

- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- USE APPROVED FIRESTOPS IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.
- REFER TO ROOF PLAN FOR OVERHANG, FASCIA PER DETAILS, PROVIDE "U"-SHAPED ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- REFER TO OWNER TO COLORS
-

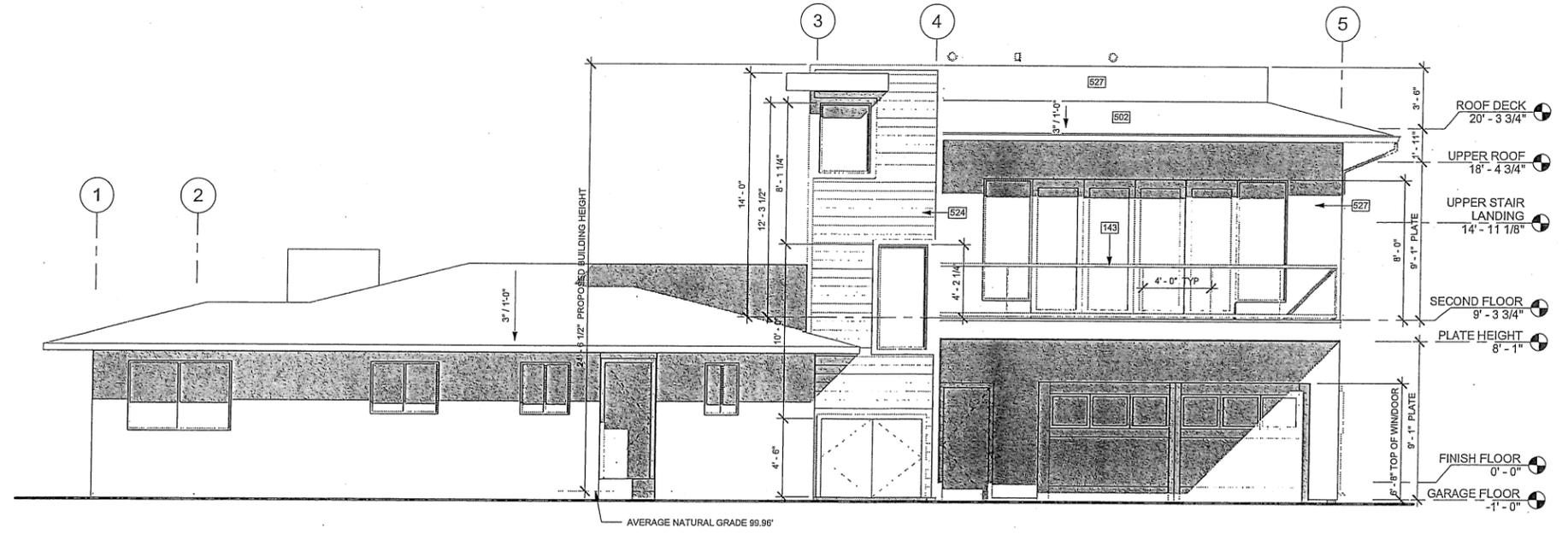
KEYNOTES

- 143 42" HIGH GLASS RAILING
 502 ASPHALTIC SINGLES ROOFING O/15 LB FELT TO MATCH EXISTING
 524 FIBER CEMENT SIDING O/ BUILDING PAPER, COLOR PER OWNER.
 527 3-COAT CEMENT PLASTER O/ LATH O/ 1-LAYER GRADE "D" BUILDING PAPER OVER 2 LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER SHEATHING), COLOR TO MATCH EXISTING.



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1 FRONT ELEVATION - PROPOSED
 A2.3 1/4" = 1'-0"



2 RIGHT ELEVATION - PROPOSED
 A2.3 1/4" = 1'-0"

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 A California Corporation | Victor Mangum, Architect DC 10209 | Jeffrey Mahan, PE #68862, LS #2778 | Jeff Fisher, LA #2844

SHERROD RES ADDITION
 938 ANCHOR ST., MORRO BAY, CALIFORNIA
ELEVATIONS - PROPOSED

NO.	REVISION	DATE
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EXHIBIT C

AGENDA ITEM: A-1

DATE: August 19, 2014

ACTION: APPROVED

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – AUGUST 5, 2014
VETERAN'S MEMORIAL BUILDING – 6:00 PM

PRESENT:	Robert Tefft	Chairperson
	Gerald Luhr	Vice Chairperson
	John Fennacy	Commissioner
	Michael Lucas	Commissioner
	Richard Sadowski	Commissioner
STAFF:	Scot Graham	Planning Manager
	Cindy Jacinth	Associate Planner
	Whitney McIlvaine	Contract Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

Chairperson Tefft introduced new Planning Manager Scot Graham.

Commissioner Lucas announced a workshop by SLO Green Build would be held on August 6 regarding the Title 24 changes..

PRESENTATIONS - None

PUBLIC COMMENT

Chairperson Tefft opened Public Comment period.

Robert Krause, Morro Bay resident, requested the Commission place a stay on issued citations regarding non-habitable accessory buildings until it can be reviewed and approves changes to setback regulations.

Chairperson Tefft closed Public Comment period.

CONSENT CALENDAR

- A-1 Approval of minutes from the Planning Commission meeting of June 17, 2014
Staff Recommendation: Approve minutes as submitted.
- A-2 Approval of minutes from the Planning Commission meeting of July 1, 2014
Staff Recommendation: Approve minutes as submitted.

MOTION: Commissioner Lucas moved to approve the consent calendar. Vice Chairperson Luhr Lucas seconded the motion and the motion passed unanimously. (5-0)

PUBLIC HEARINGS

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –AUGUST 5, 2014

B-1 **Case No.:** #AD0-091 Variance

Site Location: 938 Anchor Street, Morro Bay, CA

Variance: Request to allow a 7.56-foot rear setback in the R-1 zone where the Zoning Ordinance requires 10% of the lot depth which, in this case, is 10 feet.

CEQA Determination: Categorically Exempt, Section 15301, Class 1

Staff Recommendation: Deny the variance

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

McIlvaine presented the staff report.

Commissioner Lucas and McIlvaine discussed prior approved non-conforming second floor additions in the area and if that set a precedent for a current request to approve a second story addition of a non-conforming structure.

Commissioner Lucas and McIlvaine discussed the difference between when a project for a second floor addition on an existing non-conforming footprint would need only a building permit and when a variance would be needed.

Vice Chairperson Luhr asked if it is staff's interpretation of the zoning requirements that the ready to issue permit from 2008 was issued in error. McIlvaine replied yes.

Chairperson Tefft asked if the staff interpretation in 2008 was that the house was conforming so a conditional use permit was not required. McIlvaine stated the record is unclear, noting there was no conditional use permit ready to issue, only a building permit.

Chairperson Tefft and McIlvaine discussed when a conditional use permit would be needed for non-conforming structures, with McIlvaine confirming that additions of more than 25% would require a conditional use permit.

Commissioner Sadowski noted that he visited the site and spoke with the owner.

Chairperson Tefft opened Public Comment period.

Mike Sherrod, Applicant, stated a canvassing of the homes in the super block area shows half are two stories with non-conforming rear yard setbacks. Sherrod presented a history of the project, letters of support for the project, and requested the Commission approve the variance.

Vice Chairperson Luhr noted that if the variance is granted, someone in the future could request a variance to add a second story at the front of the house and asked the Applicant if they would be willing to place a deed restriction on the property. Sherrod replied yes.

Nancy Aaron, Morro Bay Anchor Street resident, spoke in support of granting the variance.

Matt Makowetski, Morro Bay resident, spoke in support of granting the variance.

Michael Caylen, Morro Bay Anchor Street resident, spoke in support of granting the variance.

Robert Nava, Morro Bay Anchor Street resident, spoke in support of granting the variance.

Chairperson Tefft closed Public Comment period.

Commissioner Fennacy spoke in support of the project and granting the variance noting there are special circumstances.

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –AUGUST 5, 2014

Commissioner Lucas stated he likes the design but is very concerned with the precedent it sets to approve the variance, noting unless there is a condition to address this, he cannot support a variance.

Vice Chairperson Luhr stated he would like to grant the variance, but condition it such that it specifies a previous planning staff member determined this was a valid project to limit the precedent for future variance requests of this nature, and restrict the air space over the existing front portion to a single story so a variance request would be needed for a future project.

Commissioner Sadowski stated he supports granting the variance and the conditions Vice Chairperson Luhr suggested.

Chairperson Tefft stated he visited the site and spoke with the Applicant, noting there are two issues before the Commission: how the zoning ordinance should be interpreted and whether or not grant this variance, noting that he supports McIlvaine's interpretation of the zoning ordinance. Chairperson Tefft stated he supports granting the variance as the Applicant proceeded based on representations by the City that we now believe to be incorrect and the project is well designed and not detrimental to the neighborhood.

Chairperson Tefft and staff discussed the status of the structure if the variance is granted, noting the rear yard setback would still be non-conforming but that the front yard setback may be deemed conforming if consistent with a provision in zoning code for street yard averaging.

Chairperson Tefft stated he supports granting the variance with the suggested conditions from Vice Chairperson Luhr.

Commissioner Fennacy stated he believes there are special circumstances to granting the variance that are stand alone to this project and is concerned with placing a condition that would restrict future development of the site.

Vice Chairperson Luhr stated the condition would be a trigger to bring it back and a future Commission could change that condition at its discretion.

Vice Chairperson Luhr and Graham discussed how the courts have interpreted a variance and whether the Commission condition the variance based on the process rather than special circumstances of the lot.

Chairperson Tefft re-opened Public Comment period.

Sherrod asked if there was a decision being made tonight. Graham replied yes but the Commission does not have a resolution before them to adopt granting the variance.

Sherrod, Vice Chairperson Luhr and Graham discussed differences between a deed restriction and a condition to restrict development of the property in the future.

Chairperson Tefft closed Public Comment period.

MOTION: Vice Chairperson Luhr moved to continue this item to the August 19 meeting with direction to staff to return with a resolution for approval of variance AD0-091 with conditions as noted. Commissioner Lucas seconded the motion.

Commissioners and staff discussed a continuance of the item versus approval of a variance and returning with a resolution and conditions on the Consent Calendar.

AMENDED MOTION: Vice Chairperson Luhr amended his motion and moved to approve variance AD0-091 with the conditions noted and direct staff to return at the August 19 meeting with a resolution approving variance AD0-091. Commissioner Lucas seconded the amended motion.

Commissioner Lucas and staff discussed bringing back an interpretation memo confirming that McIlvaine interpreted the code correctly. Graham stated that would be done for the next meeting.

The amended motion passed unanimously. (5-0)

UNFINISHED BUSINESS

C-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and File

Jacynth reviewed the work program with the Commissioners.

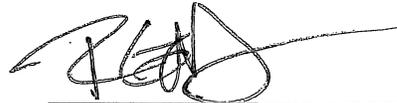
NEW BUSINESS - None

E. DECLARATION OF FURTUE AGENDA ITEMS

- Staff to review setback regulations for accessory structures in relation Mr. Krause's code enforcement issue and return to the Commission as necessary.

F. ADJOURNMENT

The meeting adjourned at 7:34 p.m. to the next regularly scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on Tuesday, August 19, 2014 at 6:00 p.m.



Robert Tefft, Chairperson

ATTEST:

Rob Livick, Secretary



AGENDA NO: B-2

MEETING DATE: October 7, 2014

Staff Report

TO: Planning Commissioners **DATE:** October 7, 2014

FROM: Joan Gargiulo, Contract Planner

SUBJECT: **Conditional Use Permit (#UP0-384) and Parking Exception (#AD0-092)** Request to allow additions exceeding 25% of existing floor area for a single-family residence with nonconforming setbacks at 990 Balboa Street, and to allow a single-car garage with tandem parking in the driveway to provide the second required parking space.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission Resolution 22-14 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated August 18, 2014.

APPLICANT: Patrick and Nicole Hibbard

ARCHITECT: J.A. Rinaldi

LEGAL DESCRIPTION/APN: 066-084-017

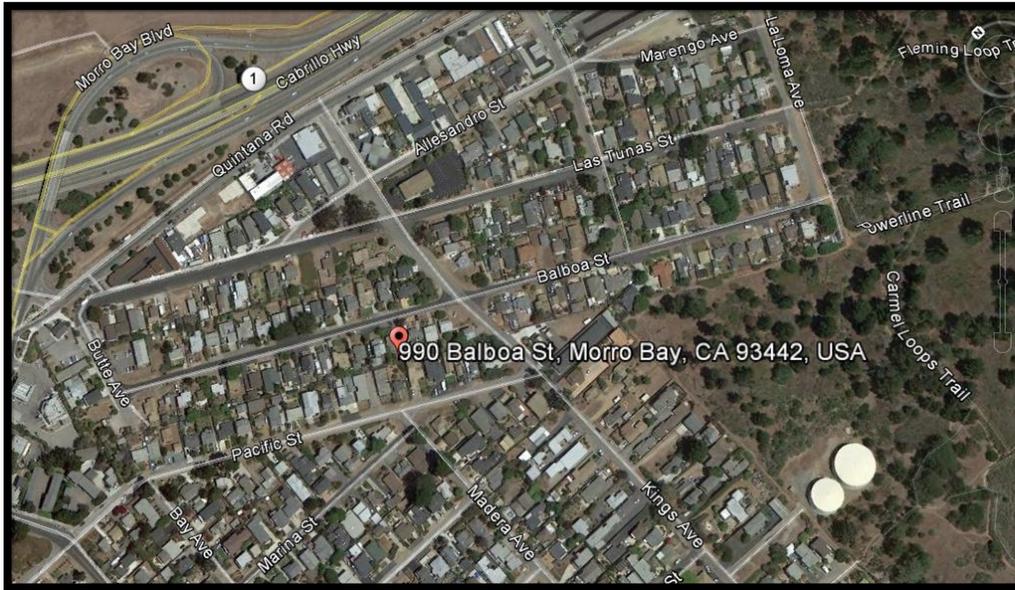
PROJECT DESCRIPTION: The Applicant is requesting Conditional Use Permit and Parking Exception approval for a single story addition totaling 380 square feet to an existing 969 square-foot nonconforming residence with an attached 297 square-foot garage. The residence is considered nonconforming because it has a one car garage where two covered spaces are required and it has inadequate side-yard and front setbacks, discussed below in the 'Project Analysis' section.

Plans show a proposed addition of a 380 square-foot master bedroom and bathroom at the rear of the house and interior remodeling to include improvements to the existing bedroom, hallway, and garage.

Prepared By: JG

Department Review: _____

PROJECT SETTING: The project is located in a residential neighborhood in central Morro Bay, west of Kings Avenue and north of Pacific Street. The mostly level, rectangular-shaped 4,700 square-foot lot is in the R-1 Single-Family Zone. Housing in the surrounding area includes mostly small, one-story older homes with one-car garages. The site is outside of the Coastal Commission Appeals Jurisdiction.



<u>Adjacent Zoning/Land Use</u>			
North:	R-1/Residential Use	South:	R-1/Residential Use
East:	R-1/Residential Use	West:	R-1/Residential Use

<u>Site Characteristics</u>	
Site Area	Approximately 4,700 square feet
Existing Use	Single family residential
Terrain	Virtually level and developed
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	n/a
Access	Balboa Street

<u>General Plan, Zoning Ordinance & Local Coastal Plan Designations</u>	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located outside the Coastal Appeals Jurisdiction

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing house was built in 1957 with a one-car garage, similar to other homes in the neighborhood. The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning designation.



Zoning Ordinance Consistency

Current requirements of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”) for setbacks and parking render the existing structure and the parking arrangement nonconforming. However, additions to nonconforming structures may be permitted with approval of a conditional use permit, subject to certain findings (Morro Bay Municipal Code (MBMC) section 17.56.160). Similarly, the Zoning Ordinance allows for exceptions to parking standards, subject to certain findings (section 17.44.050).

<u>Zoning Ordinance Standards</u>		
	Standards	Proposed
Front-Yard Setback	20 feet	Existing structure is 19'6". No change is proposed.
Side-Yard Setback	10% of average lot width with 5' maximum and 3' minimum In this case 10% = 5'	Varies – in areas less than the minimum, down to 3'
Rear-Yard Setback	10 feet	Minimum of 33'7" from the rear property line
Lot Coverage	45% allowed	29%
Height	25 feet	12'6"
Parking	2 covered and enclosed spaces	1 covered space 1 uncovered space in tandem

Setbacks

Portions of the existing structure are set back less than 5', which is 10% of the average lot width. Along the interior side-yard setbacks, the site has a 3' setback along the eastern property line and a 4' setback along the western property line where a minimum of 5' is required. Along the front of the site there is 19'6" setback where 20' is required. The proposed addition is in conformance with setback requirements.

Parking

The existing home and garage were built in an era when it was typical to provide covered parking for only one car. The Zoning Ordinance requires two covered and enclosed parking spaces for single-family dwellings. The applicant is proposing to provide one covered space in the existing garage and one space in tandem in the driveway. The driveway is approximately 20 feet long plus approximately 15 feet of public right of way from the edge of the hedge to the edge of the street paving. The driveway is adequate in length to accommodate a parked car. For individual residences one tandem parking space may be allowed subject to approval of a parking exception (MBMC section 17.44.050). Exceptions to parking standards require the following findings to be made:

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use.

Single-family dwellings are required to provide two parking spaces. If tandem parking is approved, then the project would meet that requirement. The length of the driveway (20+/- feet) is more than adequate to accommodate a parked car. Most dwellings in the surrounding neighborhood have one-car garages.

2. The exception will not adversely affect the health, safety, or general welfare of persons working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of the parking standard.

Tandem parking will not result in traffic safety problems at this location because the parking area will be outside the right-of-way; sight distance is adequate for vehicles maneuvering into and out of the driveway; and the project is subject to building code and engineering standards for driveway construction. The hedge located at the edge of the front yard is set back far enough from the roadway to ensure adequate visibility down the street when backing out of the driveway.

3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.

The applicant's parking proposal is reasonable given similar parking arrangements in the project vicinity and given the footprint and construction of the existing building on site.

Conditional Use Permit Requirement

The Zoning Ordinance, subsection 17.56.160B, requires approval of a conditional use permit for projects proposing additions in excess of 25% of the existing floor to a nonconforming structure. The project proposes to add 380 square feet to an existing 966 square-foot structure, an increase of approximately 39%. As noted above, the structure is nonconforming with regard to required front and side-yard setbacks and the garage does not meet minimum requirements for two parking spaces. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed remodel and additions are consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone. The surrounding neighborhood is developed with modest one- and two-story homes.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet required front and side-yard setbacks along the property lines and to accommodate a two-car garage.

PUBLIC NOTICE: Notice of this item was published in the San Luis Obispo Tribune newspaper on September 26, 2014, and all property owners of record within 300 feet and occupants within 100 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION: Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. The exemption applies to additions to existing structures of less than 50% of existing floor area and will have no potentially significant environmental impacts.

CONCLUSION: The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures and tandem parking upon approval of a conditional use permit (MBMC section 17.56.160) and a parking exception (MBMC section 17.44.050).

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-384 for the proposed addition to a nonconforming structure and approve Parking Exception #ADO-092 for the project at 990 Balboa Street, as shown on plans dated August 18, 2014, by adopting Planning Commission **Resolution 22-14** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 22-14

Exhibit B – Graphics/Plan Reductions dated August 18, 2014

EXHIBIT A

RESOLUTION NO. PC 22-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING CONDITIONAL USE PERMIT (UP0-384) TO ALLOW ADDITIONS
EXCEEDING 25% OF THE EXISTING FLOOR AREA TO A NONCONFORMING
RESIDENTIAL STRUCTURE AND APPROVING A PARKING EXCEPTION TO
ALLOW A TANDEM PARKING SPACE IN THE DRIVEWAY TO PROVIDE THE
SECOND REQUIRED PARKING SPACE (ADO-092)
AT 990 BALBOA STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on October 7, 2014, for the purpose of considering Conditional Use Permit UPO-384 and Parking Exception ADO-092 for a proposed addition to a nonconforming single-family home and tandem parking at 990 Balboa Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Planning Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1: Additions to an existing structure not exceeding 50% of the existing floor area.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.

2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with mostly one-story older homes with one-car garages.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet required side and front yard setbacks and to accommodate a two-car garage. The proposed addition meets all setback requirements.

Parking Exception Findings

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative design to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use. With approval of the exception, two required parking places will be provided on site consistent with the Zoning Ordinance requirements.
2. The exception to allow tandem parking will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of the parking standard because the parking area will not conflict with existing traffic patterns in the right-of-way and driveway construction will be subject to Building Code requirements and the City’s City Engineering standards.
3. The exception is reasonably necessary for the applicant’s full enjoyment of uses similar to those upon the adjoining real property, given the footprint and construction of the existing building on site.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-384 and Parking Exception ADO-092 for property located at 990 Balboa Street subject to the following conditions:

STANDARD CONDITIONS

1. Description of Project Approved: This permit is granted for the land described in the staff report dated October 7, 2014, for the project at 990 Balboa Street depicted on plans dated August 18, 2014, on file with the Public Services Department, showing a single-story addition totaling 380 square feet to an existing 969 square-foot single-family dwelling as modified by these conditions of approval. Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Public Services Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to

comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance and a Certificate of Occupancy, as may be required. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.

4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 7th day of October, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 7th day of October, 2014.

RECEIVED

EXHIBIT B

AUG 18 2014

City of Morro Bay
Public Services Department

ADDITION & REMODEL TO
990 BALBOA STREET
MORRO BAY CA 93442
FOR PATRICK & NICOLE HIBBARD

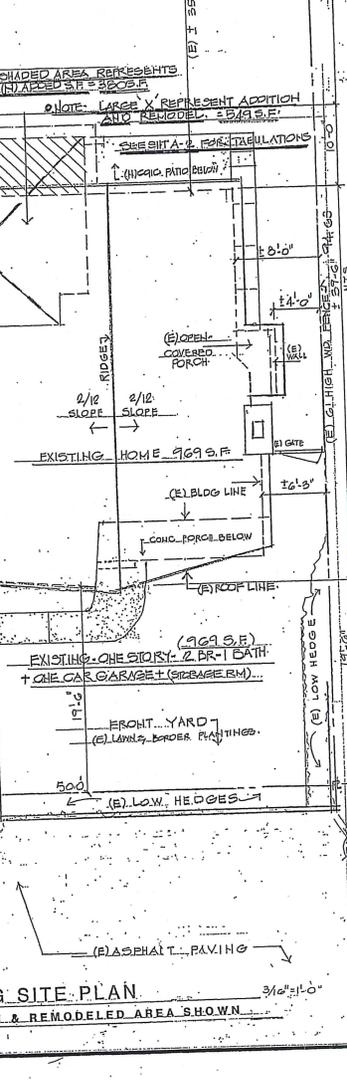
FOR CONSTRUCTION ONLY

GENERAL NOTES
1. THESE PLANS APPLY TO ALL PORTIONS, PHASES AND ADDITIONS OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MORRO BAY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MORRO BAY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MORRO BAY.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MORRO BAY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MORRO BAY.

2013 C.B.C. REQUIREMENTS
1. FOUNDATION: CONCRETE ON COMPACTED FILL TO SUPPORT ALL STRUCTURAL LOADS.
2. FOUNDATION: CONCRETE ON COMPACTED FILL TO SUPPORT ALL STRUCTURAL LOADS.
3. FOUNDATION: CONCRETE ON COMPACTED FILL TO SUPPORT ALL STRUCTURAL LOADS.
4. FOUNDATION: CONCRETE ON COMPACTED FILL TO SUPPORT ALL STRUCTURAL LOADS.
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8. FOUNDATION: CONCRETE ON COMPACTED FILL TO SUPPORT ALL STRUCTURAL LOADS.
9. FOUNDATION: CONCRETE ON COMPACTED FILL TO SUPPORT ALL STRUCTURAL LOADS.
10. FOUNDATION: CONCRETE ON COMPACTED FILL TO SUPPORT ALL STRUCTURAL LOADS.

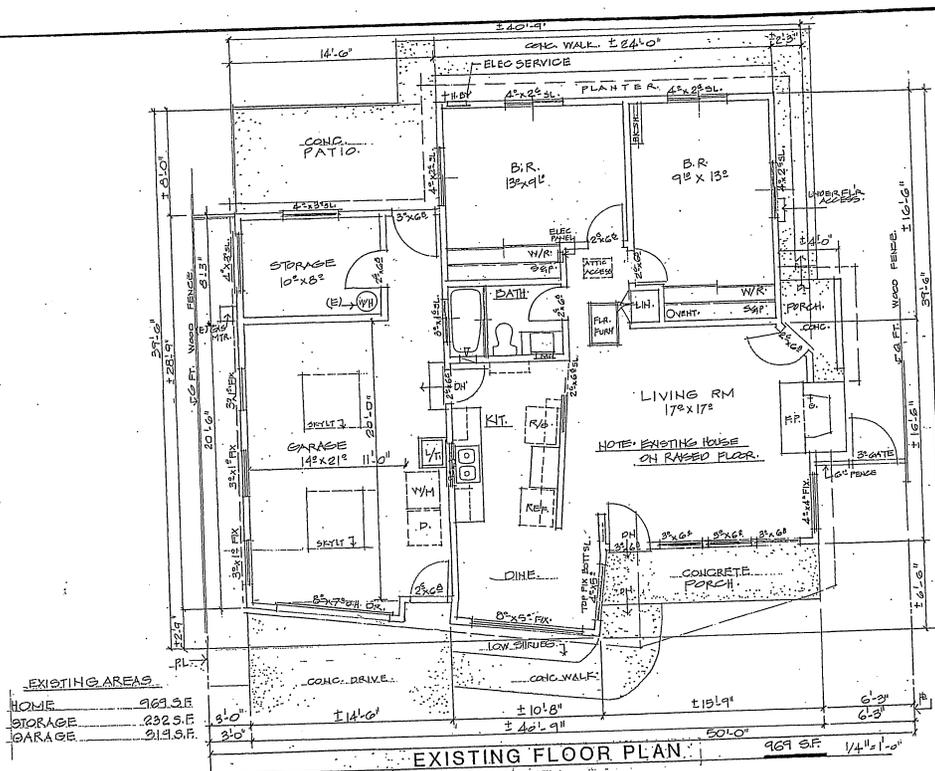
2013 C.B.C. REQUIREMENTS (continued)
1. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
2. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
3. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
4. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
5. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
6. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
7. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
8. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
9. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.
10. WALLS: CONCRETE OR BRICK WITH EXTERIOR FINISH.

2013 C.B.C. REQUIREMENTS (continued)
1. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
2. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
3. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
4. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
5. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
6. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
7. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
8. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
9. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.
10. ROOFING: ASPHALT/FLYSHALE OR EQUIVALENT.



PROJECT DATA
OCCUPANCY: RESIDENTIAL OCCUPANCY
EXISTING HOME: 969 SQ. FT.
PROPOSED ADDITION: 360 SQ. FT.
SQUARE FOOTAGE - EXISTING: 969 SQ. FT.
SQUARE FOOTAGE - PROPOSED: 360 SQ. FT.
TOTAL SQUARE FOOTAGE: 1329 SQ. FT.
GENERAL COMMENT: TOTAL PROJECTED STORAGE: 1329 SQ. FT. (EXISTING + PROPOSED)
LEGAL: LOT 18, BLOCK 5, MORRO VISTA TRACT, NO. 1 CITY OF MORRO BAY, A.P.N. 068-084-017, LOT AREA 4,700 SQ. FT. (COUNTY RECORDER)
CONSULTANTS: ARCHITECT: J. A. RINALDI, A.I.A. SURVEYOR: CARLOS LAND SURVEYING INC.
SHEET SCHEDULE:
A-1: TITLE SHEET - GENERAL NOTES, SITE PLAN, SHOWING EXTENT OF PROPOSED ADDITION.
A-2: EXISTING FLOOR PLAN - (S) EXTERIOR ELEVATIONS, EXISTING PLAN.
A-3: PROPOSED REVISED FLOOR PLAN, REVISED EXTERIOR ELEVATIONS, FLOOR PLAN, AREA TABULATIONS.
B: CERTIFIED SURVEY.
AGENCIES & UTILITIES: MORRO BAY CITY, CA. PLANNING, BUILDING, PUBLIC WORKS, FIRE DEPT. ETC.
CURRENT BUILDING CODES: FOR CONSTRUCTION ONLY. PLANS SPECIFICATIONS TO COMPLY WITH THE FOLLOWING CURRENT CODES: ADMINISTRATION CODE, RESIDENTIAL CALIFORNIA GREEN BUILDING CODE 2010 (TITLE 24) (HERS), MECHANICAL CODE, PLUMBING CODE, ELECTRICAL CODE, FIRE CODE, EXISTING BUILDING CODE, POSSIBLY HISTORICAL CODE AND LOCAL BUILDING DEPARTMENT REQUIREMENTS - AS THEY APPLY TO THE ENCLOSED CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
VICINITY MAP: Aerial map showing the project location at 990 Balboa Street, Morro Bay, CA. The map includes street names and a north arrow.

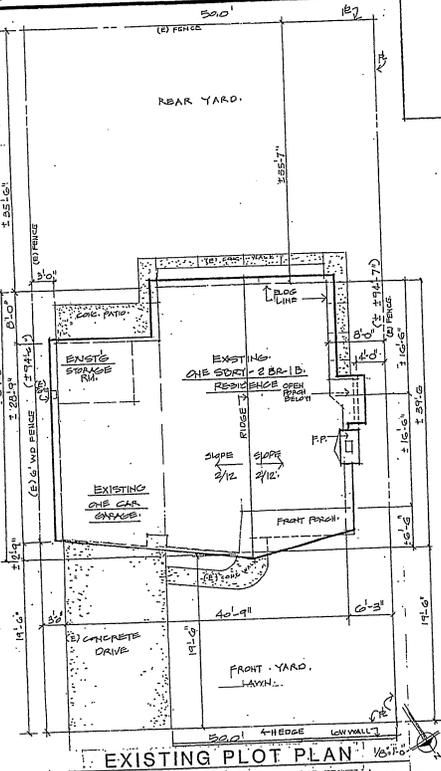
J. A. RINALDI, ARCHITECT, A.I.A.
1000 S. BALBOA STREET, MORRO BAY, CA 93442
PHONE: (805) 768-1111
FAX: (805) 768-1112
WWW.JARINALDI.COM
FOR: PATRICK & NICOLE HIBBARD
990 BALBOA STREET
MORRO BAY, CA 93442
DATE: 8/14/14
SHEET: 1 OF 1



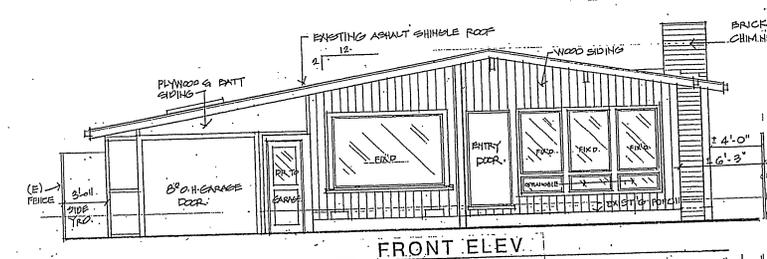
EXISTING AREAS

HOME	969 S.F.
STORAGE	232 S.F.
GARAGE	313 S.F.

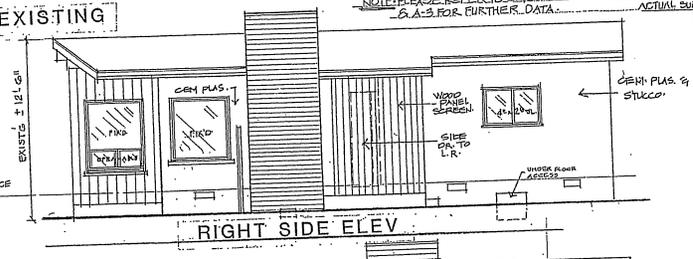
EXISTING FLOOR PLAN 969 SF 1/4" = 1'-0"



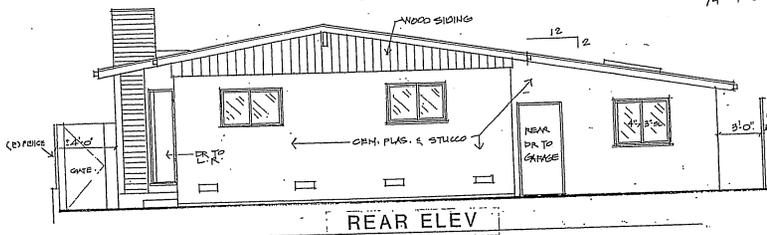
EXISTING PLOT PLAN 1/8" = 1'-0" ADDRESS: 4700 S.F. LOT ACTUAL SURVEY: 4725 S.F. LOT



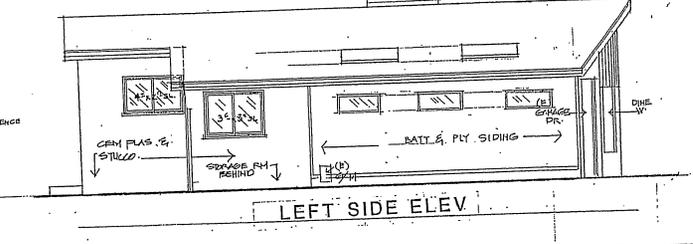
FRONT ELEV. 1/4" = 1'-0"



RIGHT SIDE ELEV



REAR ELEV



LEFT SIDE ELEV

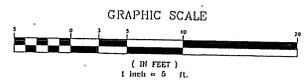
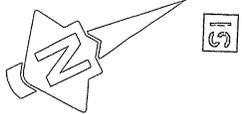
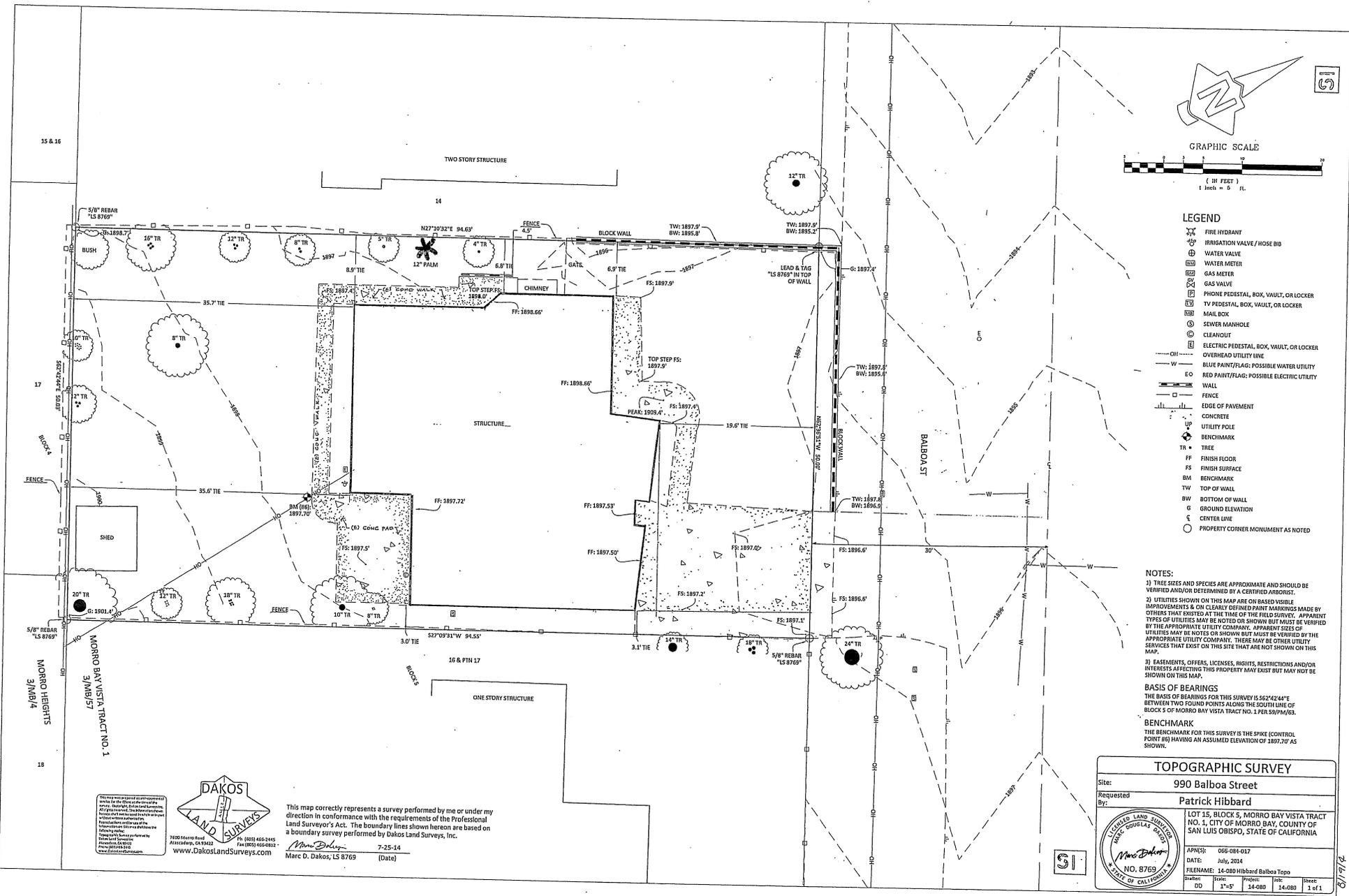
SHEET NUMBER
A-2
OF 4 SHEETS

J.A. RINALDI, ARCHITECT, A.I.A.
3305 EL CAMINO REAL, STANFORD, CALIFORNIA 94302 (415) 465-8896

FOR: PATRICK NICOLE HILFARO.
1940 BALBOA STREET.
LOS ANGELES, CALIFORNIA 90007
PH: (213) 815-0025

DATE: 06/20/00
DRAWN BY: J.A. RINALDI
CHECKED BY: J.A. RINALDI
DATE CHANGED: _____
PROJECT: _____

3/17/11



- LEGEND**
- FIRE HYDRANT
 - IRRIGATION VALVE / HOSE BIB
 - WATER VALVE
 - WATER METER
 - GAS METER
 - GAS VALVE
 - PHONE PEDESTAL, BOX, VAULT, OR LOCKER
 - TV PEDESTAL, BOX, VAULT, OR LOCKER
 - MAIL BOX
 - SEWER MANHOLE
 - CLEANOUT
 - ELECTRIC PEDESTAL, BOX, VAULT, OR LOCKER
 - OVERHEAD UTILITY LINE
 - BLUE PAINT/FLAG: POSSIBLE WATER UTILITY
 - RED PAINT/FLAG: POSSIBLE ELECTRIC UTILITY
 - WALL
 - FENCE
 - EDGE OF PAVEMENT
 - CONCRETE
 - UP UTILITY POLE
 - BENCHMARK
 - TREE
 - FF FINISH FLOOR
 - FS FINISH SURFACE
 - BM BENCHMARK
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - G GROUND ELEVATION
 - CL CENTER LINE
 - PROPERTY CORNER MONUMENT AS NOTED

NOTES:

- 1) TREE SIZES AND SPECIES ARE APPROXIMATE AND SHOULD BE VERIFIED AND/OR DETERMINED BY A CERTIFIED ARBORIST.
- 2) UTILITIES SHOWN ON THIS MAP ARE ON BASED VISIBLE IMPROVEMENTS & ON CLEARLY DEFINED PAINT MARKINGS MADE BY OTHERS THAT EXISTED AT THE TIME OF THE FIELD SURVEY. APPARENT TYPES OF UTILITIES MAY BE NOTED OR SHOWN BUT MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY. APPARENT SIZES OF UTILITIES MAY BE NOTED OR SHOWN BUT MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY. THERE MAY BE OTHER UTILITY SERVICES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS MAP.
- 3) EASEMENTS, OFFERS, LICENSES, RIGHTS, RESTRICTIONS AND/OR INTERESTS AFFECTING THIS PROPERTY MAY EXIST BUT MAY NOT BE SHOWN ON THIS MAP.

BASIS OF BEARINGS
 THE BASIS OF BEARINGS FOR THIS SURVEY IS S52°42'44"E BETWEEN TWO FOUND POINTS ALONG THE SOUTH LINE OF BLOCK 5 OF MORRO BAY VISTA TRACT NO. 1 PER 59/79/63.

BENCHMARK
 THE BENCHMARK FOR THIS SURVEY IS THE SPIKE (CONTROL POINT #8) HAVING AN ASSUMED ELEVATION OF 1897.70' AS SHOWN.

TOPOGRAPHIC SURVEY			
Site:	990 Balboa Street		
Requested By:	Patrick Hibbard		
	LOT 15, BLOCK 5, MORRO BAY VISTA TRACT NO. 1, CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA	APNS:	066-084-017
		DATE:	July, 2014
	FILENAME: 14-088 Hibbard Balboa Topo	DRAWN:	DD
		PROJECT:	14-088
		DATE:	14-088
		SHEET:	1 of 1

THIS MAP WAS PREPARED BY AN INSTRUMENTED SURVEYOR. THE SURVEYOR'S NAME AND LICENSE NUMBER ARE SHOWN ON THIS MAP. THE SURVEYOR'S NAME AND LICENSE NUMBER ARE SHOWN ON THIS MAP. THE SURVEYOR'S NAME AND LICENSE NUMBER ARE SHOWN ON THIS MAP.



This map correctly represents a survey performed by me or under my direction in conformance with the requirements of the Professional Land Surveyor's Act. The boundary lines shown herein are based on a boundary survey performed by Dakos Land Surveys, Inc.

Marc D. Dakos
 Marc D. Dakos, LS 8769 (Date) 7-25-14

7000 Morro Bay Rd
 Atascadero, CA 93422
 www.DakosLandSurveys.com

PH (805) 466-2405
 FAX (805) 466-0882



AGENDA NO: C-1

MEETING DATE: October 7, 2014

Staff Report

TO: Planning Commissioners

DATE: October 7, 2014

FROM: Scot Graham, Planning Manager

SUBJECT: Discussion of Neighborhood Compatibility and Design Guideline Options

RECOMMENDATION:

Staff recommends that the Planning Commission review the proposed design guidelines for single family homes and provide direction to staff.

DISCUSSION:

The Planning Commission, at the regularly scheduled meeting of August 19, 2014, reviewed proposed design guidelines for residential development and provided comment/direction to staff. Staff has reviewed notes from the August meeting, meeting minutes and video in support of the changes noted further along in the staff report. Language removed from the Design Guidelines section of the staff report is **STRICKEN** and language that has been added is identified by ***bold italics***.

The major changes requested by the Commission at the August 19th meeting are indicated below.

- Add pictures or figures in support of the design guideline language to better convey the intent of the individual policies.
- Add design guidelines addressing solar access and privacy.
- Provide clear policy language indicating that quality development or innovative design is not discouraged

The Design Guidelines now include generic pictures and figures supporting the individual policies. Given that some of the examples reference design elements, staff chose not to include examples from within the City. The Commission should however indicate whether they prefer examples from within the City.

Design Guideline policies I & J have been added to address solar access and privacy.

The introductory paragraph to the Design Guidelines titled "**Single Family Residential**

Prepared By: _____

Department Review: _____

Design Guidelines” now includes language clearly stating implementation of the policies is not meant to discourage innovative design. The paragraph also includes unambiguous language allowing approval of designs that vary from the guidelines when findings can be made that the project is otherwise better than would be possible if designed to adhere to the guidelines.

Neighborhood Compatibility

Neighborhood compatibility can be a somewhat nebulous concept, but in general, the idea is represented by how a neighborhood looks and feels. The basic features that help define a neighborhood include: landscaping, pedestrian routes, street improvements, building material, architectural style, home size, scale, bulk, proximity of homes to one another, building height, and setbacks.

A majority of the neighborhoods in Morro Bay contain a wide variety of architectural styles, which helps focus policy language on scale, height, bulk and consistency or integrity of the chosen architectural style. To that end staff has reviewed single family residential Architectural Design Guidelines from many sources in order to development the policies provided below.

The intent behind implementation of design guidelines is to conduct design review on all single family residential construction (additions included). The guidelines are meant to implement the neighborhood compatibility guidelines found in the General Plan and Local Coastal Plan and as such, serve as a basis to provide consistent design review by both City Staff and the Planning Commission.

By applying the Design Guideline as part of the project review process, The City of Morro Bay, has the opportunity to provide positive, constructive direction to the development within the City. The Design Guidelines can save time, facilitate a positive response to community concerns about development proposals, avoid divisive controversy, reduce unnecessary delays and expenses, and most importantly, achieve high quality designs and more livable neighborhoods.

Single Family Residential Design Guidelines

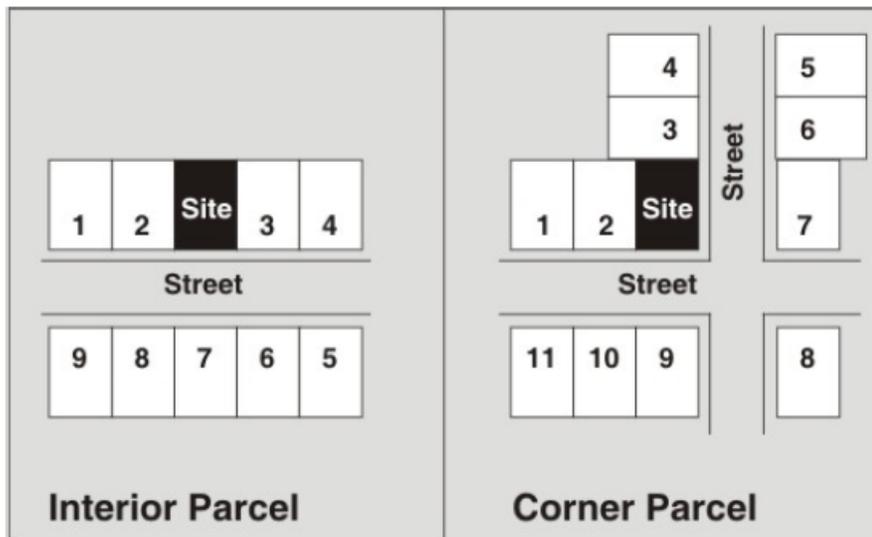
The following guidelines are not meant to encompass the entire range of design possibilities, but instead are meant to provide basic guidance as to what is expected when development is proposed. The policies are not meant to discourage innovative designs nor encourage any specific style or design concept. Variations from these guidelines should be considered when proposed project elements provide for a better project than would be possible adhering to the specific direction provided within the guidelines.

Design Guidelines

A. Relationship to Adjacent Homes

1. The overall design of the home should be visually compatible with the adjacent homes.
2. **Maintain architectural integrity with design and material consistency on all facades.**
3. When replacing or changing the exterior materials, use materials compatible with homes in the surrounding area.
4. Entryways or features, such as front doors and porches should be visible from the street. Use of tall walls or fences that block view of entry features should be avoided.

Utilize the diagram below when determining what constitutes the immediate neighborhood within a standard subdivision. There are factors where the diagram may not be applicable including, but not limited to, location and visibility of the building (e.g., terrain of the lot, lots with multiple frontages, small lot sizes).

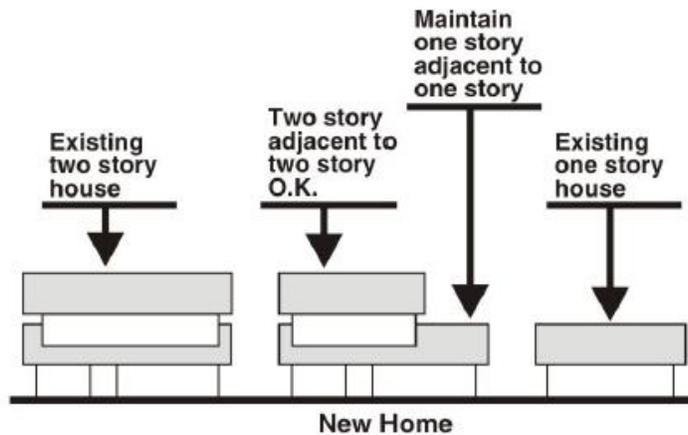


Immediate Neighborhood definition

B. Scale and Mass

Building scale refers to the proportional relationship of a structure to objects/structures next to it. Mass is basically the size of a structure.

1. The perceived scale and mass of the resulting a home should also be compatible with homes in the nearby area. Features that accentuate the size of the home should be minimized so that it does not appear significantly larger than adjacent homes.



2. The perceived scale and mass of a proposed addition to an existing residence should be of similar form and shape as those of the original home.
3. Blocks where single story houses or small two story house are the predominant block pattern, a second story may require special attention. Scale may be minimized by employing one or more of the following technique's:
 - a. Limit the house profile of the expanded or new home to an area generally consistent with the profiles of the existing homes.
 - b. Setting the second floor back from the front and sides of the first story a distance sufficient to reduce apparent overall scale of the building.
 - c. Significantly limit the size of the second story relative to the first story.
 - d. Significantly increasing the front and/or side setbacks for the entire structure
 - e. Place at least 60 to 70 percent of the second floor area over the back half of the first story.
 - f. Sloping the new roof away from the adjacent homes.
 - g. Accommodate the second story into the roof.



Second floor within roof form helps to relate larger home to smaller neighbors

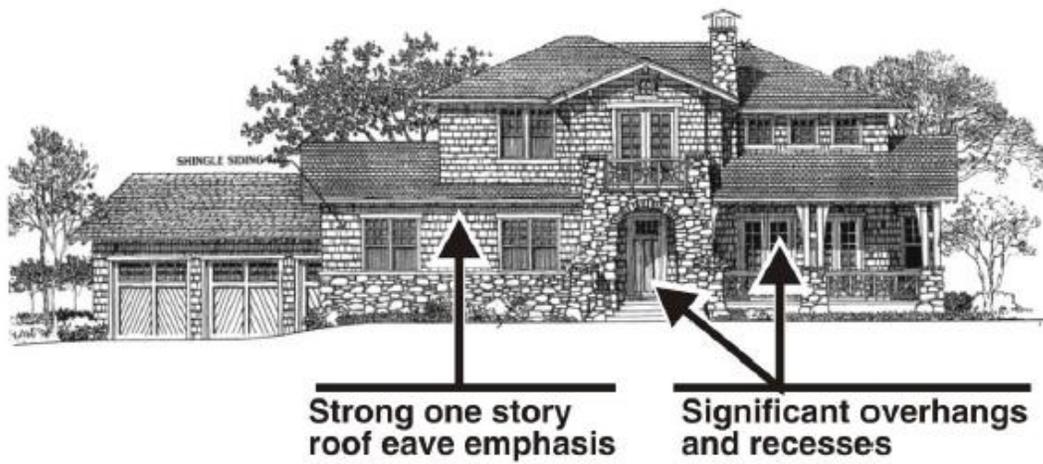


Second floor is pulled into the center of the roof providing a setback from the building edges helping to maintain adequate space, light and sense of openness to the adjacent residences.

C. Surface Articulation

Residences should be designed with relief in building facades. Long unarticulated wall and roof planes should be avoided, especially on two story elevations.

1. Changes within the wall and roof planes can be accomplished when one of the forms is setback several feet or when a gable end fronts the street and through the use of porches that run across the street facing elevation of the home.
2. Changes within the wall and roof planes can also be achieved through the use of various textures and materials. This can be seen in the use of horizontal wood lap siding, wood trim around windows and doors, shingle textures on the roof, ***deep recessed entries, use of roof segments separating the first and second floor facades.***



Design exhibits use of differing wall planes

D. Building Orientation

1. Residences should contain visible front entryways, in scale with neighboring properties and oriented toward the public street.



Avoid exaggerated tall entries like this



Avoid formal entries (above) in neighborhoods with informal homes and in Ranch Style neighborhoods where entries are located under roof eaves as in the example below.



2. ***Avoid structures with height and bulk at front and side setback lines which are significantly greater than those of the adjacent homes.***

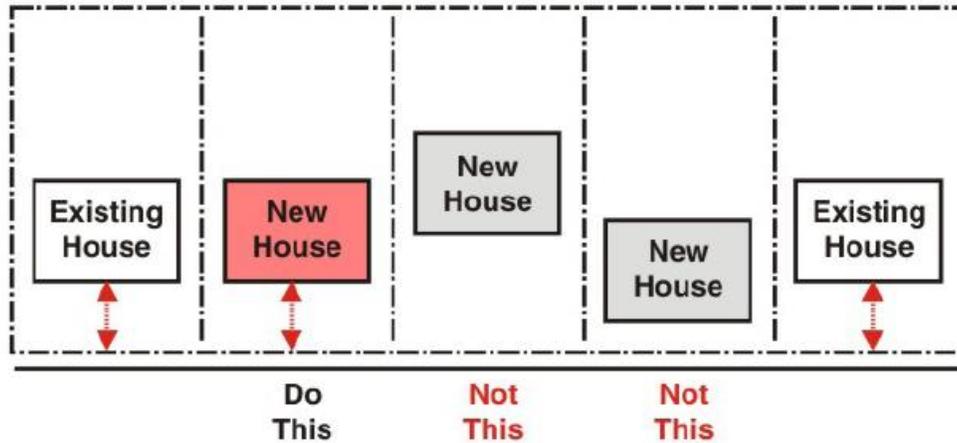


3. Homes should be located on the lot in a similar manner as adjacent homes and within the applicable setback requirements.



Similar front setbacks help define the street edges

4. *In cases where setback are varied in the neighborhood, new homes should match those of adjacent homes.*
5. *Where adjacent homes have differing setback, try placing the home such that it uses an average of the two.*



Exception: Where the adjacent lots have a nonconforming setback, the applicant may have the option of conforming to the required zoning setback. In some instances, a varied setback from the neighborhood pattern may be necessary or appropriate (Such lot constraints include topography, trees, creeks, lot size and Environmental Sensitive Habitat).

E. Garage Placement

The living area of a home should be the most prominent feature of the front façade. To reduce the prominence of garages, home designs should incorporate a least one of the measures below.

1. Garages placed along the front elevation of a home should not exceed 50% of the linear front elevation width **where possible**. The remainder of the front elevation should be devoted to living area or a porch.
2. Garages exceeding 50% of the linear front elevation should include one of the following design options:
 - a. Recess garage from the front wall of the house a minimum of 5'
 - b. Provide an entry porch trellis extending in front of the face of the garage.



Limiting the width of garages and setting them back from the front facade can minimize their visual impact

3. Orient garage entry away from the street where possible. ***This can be accomplished through placement of the garage at the rear of property or through use of a side loaded garage.***





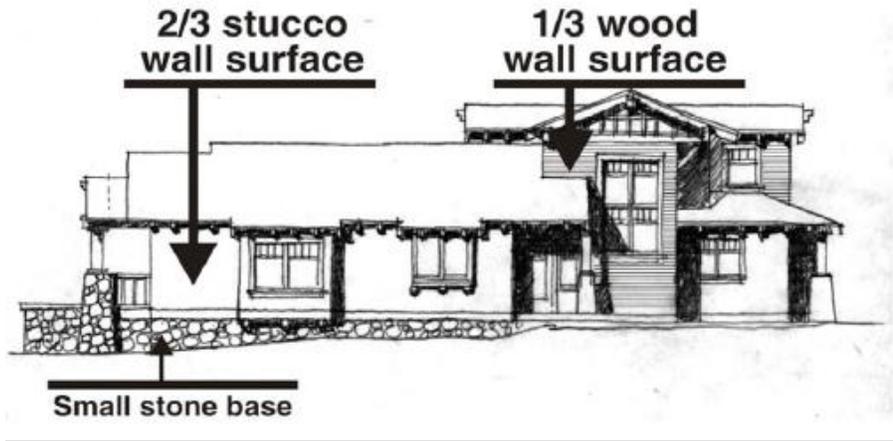
Side loaded garages are helpful in minimizing the visual impact of larger garages on the streetscape of a block

4. Other similar features as approved by the review authority.

F. Building Materials

Building materials should be consistently applied and shall be harmonious with adjacent materials. Changes in materials or colors should not occur on the same wall plane. Piecemeal and frequent changes in building materials should be avoided.

1. ***When using a mix of material, avoid using too many materials. Avoid using an even split of materials (i.e. 50/50) on facades. It is preferred to have one material as the dominant surface with the second material utilized in a lesser or accent role.***



Use of complimentary building materials and colors palette enhances building design

G. Architectural Elements

The architectural elements of a building include openings, doors, windows and architectural features such as roof elements, columns and dormers.

1. Architectural Elements within the design should be in proportion to the overall home design.
2. Architectural Elements should also be balanced on the building elevation. This can be accompanied by vertical and horizontal alignment of the elements.



Some architectural styles require simple shapes and formal symmetry of the doors and windows



Avoid too many building elements competing for attention

H. Additions to Existing Homes

1. The design of the addition should be consistent with the materials and architectural elements utilized in the existing home.
2. Second floor additions should integrate seamlessly into the overall design of the home. The addition should look like an original part of the home.



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood

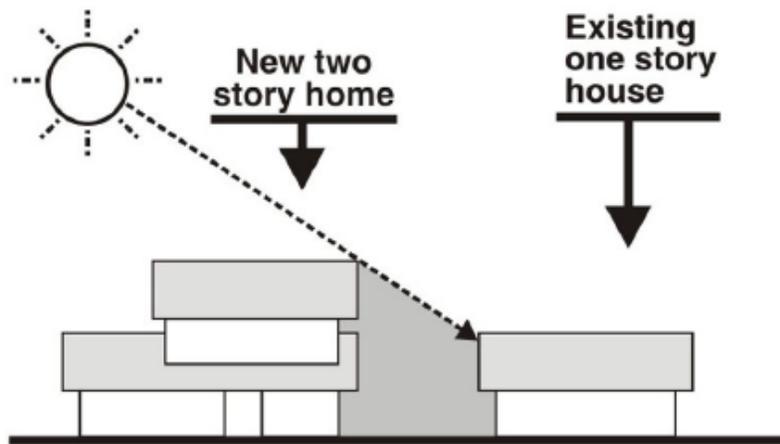
3. Rooflines of the addition should be compatible with the roof slope of the existing house.
4. Exterior materials of an addition should match or be harmonious with the materials

used on the remainder of the structure

5. New windows and other architectural elements should be compatible with the shape, pattern, style, color and materials of the original architectural elements. If all windows are replaced, the new windows should be compatible with the architectural style of the home.

I. Solar Access. Minimize shadow impacts to adjacent properties.

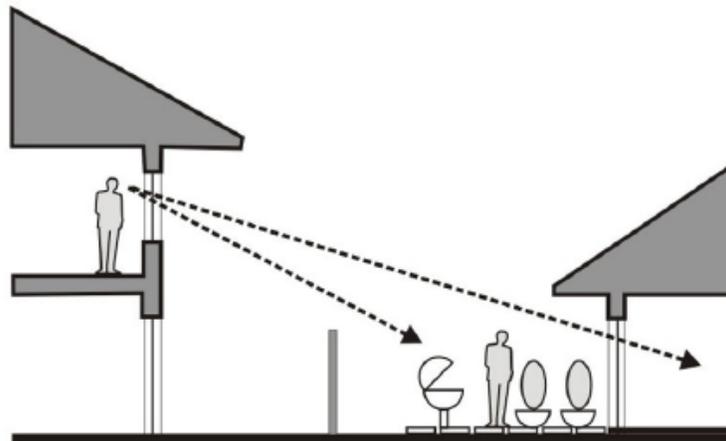
Locate structures to minimize blocking sun access to living spaces and actively used outdoor areas on adjacent homes.



Avoid second floor masses in locations that would block sun access to adjacent homes

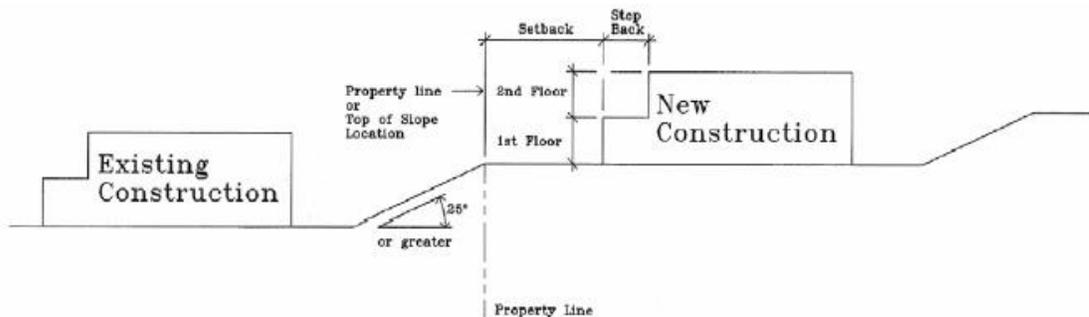
J. Privacy. Minimize privacy intrusions on adjacent residences.

1. ***Place windows to minimize views into the living spaces and yard spaces near neighboring homes.***
2. ***When placing windows in side building walls, they should be modest in size and not directly opposite windows on adjacent homes.***
3. ***Where possible, second floor windows that may intrude on adjacent property privacy should have sill height above eye level or have frosted or textured glass to reduce visual exposure.***
4. ***Second floor decks and balconies should be designed to minimize intrusion of privacy on adjacent neighbors.***



Avoid placing windows in locations that would look into adjacent neighbors' windows or active private yard spaces

- 5. On hillside properties, the walls and roof of the second floor should be setback from the walls and roof of the first floor to increase the space between buildings at the upper levels so as to minimize interference with privacy and views from adjacent properties as shown on the figure below.**



Staff Recommendation

The Commission should review the revised guidelines and provide comments and/or direction to staff. It is anticipated that with this next round of changes that staff will return to the Commission on November 4, 2014, with finalized guidelines and a resolution recommending approval of the guidelines to City Council.

The guidelines are intended to be interim in nature, lasting for a one year time period from adoption by the Council. At the end of the one year period, staff will report back to both the Planning Commission and Council on the effectiveness of the guidelines and to receive additional direction

related to continuation of their use. The hope is that the interim guidelines can help bridge the gap between today and when the City adopts permanent guidelines through the General Plan/Local Coastal Plan update process.



City of Morro Bay
Public Services/Planning Division
Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning Division

New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.

Approved projects are deleted on next version of log.

Agenda No: C-2

Meeting Date: October 7, 2014

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Hearing or Action Ready									
1	Hibbard	990 Balboa	7/28/14	UP0-384 & AD0-092	Conditional Use Permit and Parking Exception to allow addition to existing non conforming SFR	380 sf addition to 966sf non conforming SFR. Under review. Noticed for PC hearing date 10-7-2014. JG.	BC- conditionally approved.	ME - Began review 9/30/14	
2	Sherrrod	938 Anchor	9/8/14	UP0-388	Conditional Use Permit for Non conforming single family residence	Project received Variance for rear setback for purposes of addition to a non-conforming SFR. Front yard setback nonconforming. Conditional Use Permit to address front yard setback only. Planning Commission hearing date 10-7-14. WM.			
3	Najarian	471 Nevis	7/22/14	CP0-445	Administrative Coastal Development Permit for new 1,686 SFR with 507sf garage and 192sf of decking	Under Review. Correction letter sent 9-9-14. JG. Resubmittal received 9-14-14. Project noticed for pending permit 9-26-14. Comment period ends 10-6-14. JG.	BC- conditionally approved.	JSW- conditionally approved.	
4	Hauser	501 Zanzibar	5/23/14	UP0-380/ AD0-090	Conditional Use Permit & Parking Exception	Single Family Addition of more than 25% to a non-conforming SFR. Parking Exception. Correction letter sent 9-5-14. WM. Resubmitted 9/29/14. Tentative Planning Commission hearing date 10-21-14. WM.	BC- incomplete	RPS- Conditions established in Memo of 3/21/14 for B-30133	
5	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. Applicant has requested a meeting on August 9, 2012 to review environmental study request. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant is preparing Biological Report. Biological report received 3/13 and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ environmental consultant re completion of environmental 4/7 CJ. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Anticipated Public Hearing Date 11/4/14. CJ.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
30 -Day Review, Incomplete or Additional Submittal Review									
6	Theis	960 Balboa	9/26/14	CP0-453/AD0-094	Coastal Development Permit and Parking Exception to demolish carport and construct 1 car garage.	Parking Exception request to allow tandem parking in driveway to count for 2nd required parking space.		ME- Began review 9/30/14	
7		433 Oahu	9/19/14	CP0-452	Admin Coastal Development Permit of 1,663 sf SFR with 458 sf garage	New SFR on vacant lot.			
8	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story building (retail/restaurant use) & outdoor improvements	Under review. CJ.			
9	Jeffers	2740 Elm Street	9/3/14	CP0-450	Admin Coastal Development Permit	Demo/Reconstruct of SFR. Demolition of 830sq home and reconstruct 1523 sf home with 2 car garage. Under review. Correction letter sent 9-12-14. Resubmitted 9-26-14. JG.		JW- Approved 10/1	
10	Verizon / Knight	750 Radcliffe	8/13/14	CP0-449/ UP0-385	CDP and CUP for upgrades to telecommunications facility	Correction letter sent 9-17-14. CJ.			
11	Salin	845 Ridgeway	8/8/14	CP0-448	Admin Coastal Development Permit for new SFR	Correction letter sent 8-28-14. with follow-up direction emailed 9/10/14. Confirmed with Applicant's Representation 9-30-14. CJ		DH- Approved 8/28/14	
12	Wordeman	2900 Alder	7/28/14	CP0-447	Administrative Coastal Development Permit for new construction of duplex in R-4 zone.	Proposed Duplex unit A at 1965sf w/ 605 sf garage and unit B at 1,714sf w/ 605sf garage. Under Review. Correction letter sent 8-27-14. CJ.	BC- conditionally approved.		
13	Romeiro	219 Marina	7/22/14	CP0-446	Addition to Non conforming SFR in Coastal Appeals Jurisdiction	Addition that exceeds 10% in appeals area requires CDP. Incomplete letter sent 9-23-14. WM.	BC- conditionally approved.		
14	McCallister	176 Java St.	7/21/14	CP0-444	Coastal Development Permit for addition to existing SFR within coastal appeals jurisdiction.	Addition that exceeds 10% in appeals area requires CDP. Correction letter sent 8-25-14. JG			
15	Sotelo & Chanley	420 Island	7/17/14	CP0-443	CDP for construction of new 1,678sf SFR w/ 482sf garage adjacent to ESH	Under Review. Correction letter sent 8-15-14. SG. Resubmittal received 8/29/14. 2nd Incomplete letter sent 9-16-14. SG.	BC- conditionally approved.	BCR - conditionally approved. Needs Floodplain Dev. Permit	
16	Johnson	301 Little Morro Creek Rd	6/26/14	CP0-442 & UP0-081	CDP and Special/Interim Use Permit for new BMX Bike Park	Under Review. Correction letter sent 8-26-14. Meeting held 9-9 w/ Applicant to discuss outstanding issues. CJ.		BCR- Conditionally improved with stormwater exemption. Needs floodplain dev. Permit	
17	Dennis	290 Piney Ln	6/26/14	CP0-440	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review. Correction letter sent 9-08-14. JG.	BC- conditionally approved.	BCR/DH drainage plan under review	
18	Dennis	270 Piney Ln	6/26/14	CP0-439	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review. Correction letter sent 9-08-14. JG.	BC- conditionally approved.	BCR/DH drainage plan under review	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
19	Dennis	280 Piney Ln	6/26/14	CP0-438	Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony	Under Review. Correction letter sent 9-08-14. JG.	BC- conditionally approved.	BCR/DH drainage plan under review	
20	Frye	250 & 244 Shasta Street	6/17/14	CP0-213 Amendment	Amendment to CP0-213 & Variance Request (amendment to original 2006 CDP for 250 Shasta)	Amendment to Administrative Coastal Permit CP0-213 and Variance Request to allow a north side yard setback of less than the required 5 feet at 244 Shasta. Including encroachment of garage into required side yard setback and allow home at 0 ft. setback. Correction letter sent 8-28-14. 2nd letter sent 9-18-14 regarding administrative permit modification for a non-conforming structure.		BCR_ 7/8/13 cond appr. Complete frontage improvements required	
21	Strasburg/Oehler	371 Piney	3/20/14	CP0-427	New SFR - Admin CDP	Received 3/25/14. Under Initial review. CJ. Correction letter sent 4/25 NC. Resubmittal received 5/21. Corrections sent 6-3-14 and 7-10-14. WM	BC- conditionally approved.	JSW- conditionally approved.	
22	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	
23	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. CJ. Met with environmental consultant to review CEQA requirements 4-17-14. Seeking additional fee estimate for CEQA review. Met with consultant 7-2-14. Revised fee estimate provided to applicant 7-25-14. Draft environmental MND received from consultant and under review for completeness. Info hold letter sent 9-2-14. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP- Disapprove 11/19/13.	N/R	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
24	Goodwin	2920 Juniper	5/21/13	CP0-399	Coastal Development Permit for new 3,645sf SFR with 1,028sf garage on vacant lot	CJ- Application deemed incomplete. Requested corrections 6/10/13. Sent Intent to Deem Withdrawn letter on 8-28-14. JG. Spoke with applicant who requested to keep application active. JG. Resubmittal received 9/25/14.	BC-please route to building.	RS&DH-Plan revisions rqd per memo 5/29/13	
25	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing. Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	See above	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Continued projects									
26	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 CJ Met w/ Applicant 2-28-14 to review process - CJ. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7. Draft initial study under review and plans resubmitted 6/25/14. WM. Project subject to Bluff Development Standards. Mitigated Negative Declaration routed to State Clearinghouse with tentative PC hearing date for 9/2/14. Correspondence received from Coastal Commission and Ca Dept of Fish and Wildlife regarding environmental. Applicant addressing concerns. PC hearing date continued to date uncertain. Met with Applicant 9-30-14. WM	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RS/DH 7/22/14 under review	
27	Gonzalez	481 Java	12/30/13	UP0-374	Conditional Use Permit for Non conforming single family residence	KM - Under intial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC. Continued to a date uncertain by Planning Commission at the 6/3 meeting to address parking non-conformities. WM. Resubmitted 9/26/14.	BC- conditionally approved.	BCR - Began resubmittal review 9/30/14	
28	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips.Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	
Projects in Process									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
29	Frye	244 Shasta	3/6/13	CP0-396 and AD0-081	Secondary Unit and Parking Exception.	Proposed creation of secondary unit from garage. Parking exception. First Noticed 5-16-13. Setbacks noted on plan incorrect, therefore project required to be re-noticed on 6/26/13. Applicant now required to comply with or amend existing permit #CP0-013 before proceeding with proposed project. Met with applicant's representative regarding previously approved permit. Waiting for applicant's resubmital. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned. Letter sent re permit amendment request on 3-31. CJ. Permit modification received 6-17-14. Correction letter sent re. permit modification 8-27-14. CJ.	No review performed.	N/R	
Environmental Review									
30	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. CJ	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Intial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17. 7/22/14 Resubmittal review underway	
31	Turner	356 Yerba Buena	10/30/13	CP0-412	Single Family Addition & Remodel to a total of 2,767sf with 599sf garage	Property located within ESH area. Wetlands delineation study received. Incomplete letter sent 11-26-13. CJ. Resubmittal received. Draft initial study under review. 2nd incomplete letter sent 8-29-14. CJ. Public Works comments sent 8/29 to Applicant necessary to complete MND. Draft MND received from consultant. Resubmittal received 9/5/14. CJ.	BC- conditionally approved.TP-Cond Approve 11/25/13.	JW-Disapproved; additional easement in question 10-1-2014.	
32	City of Morro Bay	N/A			MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	
Grants									
33	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A	

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
34	City of Morro Bay	City-wide				CDBG funding to CAPSLO for operation of the Prado Day Center & Homeless Shelter, & Senior Nutrition Program and ADA Pedestrian Accessibility project.	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Upon approval, agreement to be forwarded to County Board of Supervisors for 7/8/14 meeting. HUD monitoring visit conducted 7/17/14 for Fair Housing and Public Participation federal compliance. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm.	No review performed.	N/R	
Project requiring coordination with another jurisdiction										
35	City of Morro Bay	Outfall				Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
36	City of Morro Bay Desal Plant	170	Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.	
Preapplication projects - None currently										
Final Map Under Review										
37	Medina	3390	Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH boundary.	No review preformed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
38	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
39	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	Parcel Map. 3 parcels and an open space parcel. A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14. Sent Intent to Deem Withdrawn letter on 9-2-14. JG.	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
40	Lucky 7	1860 Main	3/12/13	CP0-394	Construct Fuel Island Canopy	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. Waiting on Applicant to sign mitigations. WM. Sent Intent to Deem Withdrawn letter 8-28-14. JG.	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	

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41	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	Upgrade of unmanned telecommunications facility	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM. Intent to Deem Withdrawn letter sent 8-28-14. JG. Spoke with applicant 9-16, intends to resubmit. JG.	BC- conditionally approved.	BCR- ADA ramp upgrade required	
42	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. JG.	Please route project to Building upon resubmittal.	N/A	
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing									
43	City of Morro Bay	Citywide	4/18/14	A00-021	2014-2019 Housing Element Update / Council Resolution 41-14	Sent to Department of Housing and Community Development for review and certification on 4/18/14. Initial Study/ Negative Declaration routed to State Clearinghouse 5/12/14. Final Housing Element to be agendized for 6/17/14 PC mtg and 6/24/14 Council meeting. Adopted by Council with amendments on 6/24/14. Resubmitted to HCD for final 90 day review period on 7/3/14.	No review performed.		
44	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
45	City of Morro Bay	Citywide		LCP-3-MRB-14-0409	Housing Element Implementation	Ordinance 584 sent as LCP Amendment to Coastal Commission. Coastal letter received 4-28-14. City response letter sent 5-21-14. CJ. Received Coastal response via consultant 7-30-14. LCP Amendment tentatively scheduled for August Coastal Commission hearing.	No review performed.		

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46	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review performed.	N/A	
47	City of Morro Bay	Citywide	6/12/12	Ordinance 578 / A00-014	North Main Commercial Parking. LCP Amendment to Zoning Ordinance. Title 17 Section 17.44.020 Parking Facilities.	LCP Amendment to Zoning Ordinance, 17.44.020 submitted to Coastal 9-2013. Amend ordinance to exempt the North Main Street Commercial Area from the provisions required by 17.44.02 A.1 which would allow businesses to change use intensity without providing additional parking. Comments received back from Coastal 11-2013., working on addressing outstanding items requested by Coastal.			
Projects Appealed or Forwarded to City Council									
48	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11 .-Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop to be held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R	

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Projects in Building Plan Check									
49	Shelton	181 Verdon	9/29/14	B-30284	Solar - 13 panels PV				
50	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom				
51	Smith, T	2580 Koa	9/25/14	B-30283	Solar -20Panels PV				
52	James	341 Vashon	9/18/14	B-30279	New SFR			JSW- Disapproved; comments forward to BLDG, 10-01-2014.	
53	Fraker	575 Acacia	7/2/14	B-30201	SFR Patio Cover	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN. Resubmitted and approved 7-15-14	BC- Issued 7/23/14.	N/A	
54	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	
55	Sherrod	938 Anchor	11/8/13	B-30053	SFR Add/ Remodel	KM -Under review. Corrections returned 12-9-13. Variance granted by PC for rear yard. Front yard setback non-conforming.	BC- on hold pending planning process.	DH-7/22/14 needs sewer video	
56	Hill	445 Arcadia	7/8/14	B-30204	SFR Carport/ Deck	CJ - Corrections sent 7-14-14. Left msg w/ applicant requesting site visit 9/25/14. CJ.	BC- out for corrections.	JW-Disapproved, Correction Memo filed 7/18/2014	
57	Cockrill	3031 Beachcomber	12/16/13	B-30068	SFR Add/ Remodel	Addition exceeds 10% in appeals area. CDP Approved. CJ	BC-Issued- 8/7/14.	JW- Approved	
58	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC.	
59	Granite Ranch	2720 Elm	4/30/14	B-30161	SFR Remodel	WM - Approved 5-5-14.	BC- Issued 7/23/14.	RS- Approved 07-17-2014	
60	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14. Pending CDP approval. CJ.	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed. JW- 9/9/14 2nd Submittal: Corrections and SWR Video needed.	
61	GAFCO	1185 Embarcadero	7/11/14	B-30186	Dock and Gangway	CJ - Approved 7-28-14	BC- returned for corrections 8/11/14.	Resubmittal approved 8/27/14. Return for correction per memo of 7/20/14	
62	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation or stabilization of excavated area	
63	Craig	561 Estero	5/6/14	B-30162	SFR Remodel	Approved 5-30-14. NC.	BC- under review.		
64	Buquet	647 Estero	3/14/14	B-30129	New SFR	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
65	Govers	404 Fairview	5/23/14	B-30177	SFR Remodel	CJ - Approved 5-27-14	BC- under review.		
66	Mendonca	2831 Fir	5/22/14	B-30093	SF Addition	NC - Correction letter sent 5/30/14. Approved 7-14-14. CJ.	BC-Returned for corrections 6/17/14.	ME-needs sewer video 6/12/2014	
67	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed	Correction sent 8-7-14. WM.	BC- under review.		
68	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car garage w/ storage	Corrections sent 8-11-14. WM.	BC- under review.	Assigned to ME/DH for review	

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69	Harbor/ Stilts	1196 Front	6/23/14	B-30187	Oil Recovery Building	Approved. WM	BC- returned for corrections 6/23/14.		
70	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
71	Meissner	1387 Hillcrest	7/31/14	B-30226	New SFR	Corrections sent 8-22-14. WM.	BC- under reiew		
72	Groom	3039 Ironwood	1/15/14	B-30084	New SFR	Needs CDP.	BC-Returned for corrections 3/17/14.	BCR-7/1/14 approved. SW O&M plan rec'd 7/10/14	
73	Sotello	420 Island	6/30/14	B-30192	New SFR	Needs CDP.	BC- under reiew		
74	McCallister	176 Java	6/3/14	B-30179	SFR Remodel	Project exceeds 10% in coastal appeals area. Will require a CDP prior to Building. CJ	BC-Returned for corrections 6/18/14.	BCR- under review	
75	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Return for resolution of Planning issues	
76	Ramsay/ Chivens	431 Kern	3/11/14	B-30078	SFR Demo/ Reconstruct	Needs CDP prior to Building Permit	BC-Resubmitted 6/4/14.	RS 3/24/14 Cond Appr. w/ frontage Improvements	
	Ramsey	330 Kings	8/13/14		SFR Addition	Approved 8/21/14. CJ.		BCR 9/9/14 Resubmittal approved	
77	Gannon	2571 Laurel	5/9/14	B-30168	SF Addition	NC-Correction memo sent 5/9/14. 2nd correction sent 7-14-14. CJ	BC- Returned for corrections 5/12/14.		
78	Gong	217 Main	2/27/14	B-30115	New SFR	Correction memo sent 4/24/14 GN. Approved 8/25/14. CJ.	BC- Returned for corrections 4/24/14.	BCR- 2nd review complete, several items from first review not addressed	
79	Senior Appartments	555 Main	6/30/14	B-30190	21 Unit Senior Apartments	Corrections sent 8-5-14. CJ.	BC-under review.	To BCR for review 7/17/14	
80	AT&T	788 Main	6/23/14	B-30194	Recycling Facility and Site Improvements	Correction sent 7-14-14. WM	BC-under review.		
81	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13.	BC-returned for corrections 12/16/13.	N/R	
82	MB Napa LLC.	501 Morro Bay Blvd.	7/14/14	B-30207	Fascade Improvements	Approved. 7-31-14. CJ			
83	Shine Café	525 Morro Bay Blvd	7/14/14	B-30208	Juice Bar Tenant Improvements	Approved 7-31-14. WM	BC-under review.	Original comments haven't been addresses. Revision required.	
84	T-Mobile	750 Radcliffe	7/25/14	B-30221	Fiber Utility Connection	Under review.	BC-under review.		
85	Adamson	1000 Ridgeway	9/11/13	B-30008	New SFR	CJ - on hold until CDP approval. CDP under appeal. CDP denied by Planning Commission 6/17. Council denied appeal 8-12-14 thus denying project.	BC- on hold pending planning process.	BCR: Revise plans per memo of 10/14/13	
86	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
87	Inn at MB	60 State Park	6/27/13	B-29884	Main Building Remodel	CJ- Corrections sent 7-17 including need to modify planning permit. Resubmittal received and response sent 12-18 to amend planning permit. Minor amendment necessary. Waiting on easement as of 6/24/14. Approved 7-30-14. CJ	BC- RTI 7/30/14.	RS - Referred to State Parks for comment on frontage imprvmts. See PS memo of 7/14 for unresolved issue. Resubmittal approved pending completion of State Park easement before	
88	Williams	320 Trinidad	7/24/14	B-30220	Convert Existing Storage Space to Guest House	Deed restriction required prior to issuance. CJ.	BC-under review.		
89	Wammack	505 Walnut	12/31/13	B-30076	New SFR	CJ - needs CDP	BC-under review.	BCR sidewalk deferral agreement	

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90	Najarian	325 Zanzibar	4/2/14	B-30142	New SFR	WM - Approved 8/1/14.	BC-Issued 8/4/14.	RPS- Corrections noted in memo of 3/17/14 and email of	
91	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition	NC - Corrections sent 4/25	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	
92	Prewitt	8 Zanzibar Terrace	7/15/14	B-30209	Interior remodel	Approved 7-31-14. WM		JSW-Approved. 2014-08-05	
93	Foor	537 Zanzibar	7/22/14	B-30217	Retaining Wall		BC-Returned for corrections 8/4/14.		
Projects & Permits with Final Action									
94	Fowler	1185-1215 Embarcadero	1/9/14	UP0-058	Floating Docks - Phase 2	Under review. Met with environmental consultant regarding CEQA requirements 4-17-14. CJ. Reviewing environmental proposal. Status update sent via email 5-23-14. Met with applicant 6/9/14. Received clarification request 6-12-14. Minor modification to request received 7-22-14. Comment letter emailed 8-29-14. Administrative Modification of Dock Configuration issued 9-30-14. CJ.	BC-under review.		Is-changed Leage to Fowler 8/7/14
95	Wammack	505 Walnut	12/31/13	CP0-417	Coastal Development Permit for new 3,236sf SFR including 489sf garage on vacant lot - concurrent permitting for Building Permit	GN - Incomplete letter sent 1/31/14. Resubmittal received 4-1-14. GN - 2nd incomplete letter sent 4/15/14. Waiting on plan changes to identify second unit and required parking. Resubmittal received. Planning Commission hearing project at 8/19 meeting and continued with direction for resubmittal. Planning Commission approval on 9-16-14. WM.	BC- conditionally approved.	BCR-approved with deferral of frontage improvements	