



# CITY OF MORRO BAY PLANNING COMMISSION AGENDA

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*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.  
The City shall be committed to this purpose and will provide a level of municipal service and safety  
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, December 16, 2014  
Veteran's Memorial Building – 6:00 P.M.  
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Vice-Chairperson Gerald Luhr  
Commissioner Richard Sadowski

Commissioner Michael Lucas  
Commissioner Katherine Sorenson

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS

## PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Public Services' Office Assistant at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

## PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Approval of minutes from the Planning Commission meeting of November 4, 2014  
**Staff Recommendation:** Approve minutes as submitted.

A-2 Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: UPO-000-008

**Site Location:** 470 Pico St.

**Conditional Use Permit and Parking Exception:** The applicant proposes to add a single story addition totaling 376 square-feet to an existing 887 square-foot nonconforming residence with an attached 275 square-foot garage. The parking exception is to allow a single car garage with a second parking space to be located in tandem in the driveway. The project is located within the R-1 residential zone and outside of the Coastal Commission Appeals Jurisdiction.

**CEQA Determination:** Categorically Exempt, Section 15301, Class 1

**Staff Recommendation:** Conditionally approve the Conditional Use Permit and Parking Exception.

**Staff Contact:** Joan Gargiulo, Contract Planner, (805) 772-6270

C. UNFINISHED BUSINESS

C-1 Discussion of Design Guidelines

**Staff Recommendation:** Review, comment and provide direction.

D. NEW BUSINESS

E. DIRECTOR AND PLANNING MANAGER COMMENTS

F. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on January 6, 2015, at 6:00 p.m.

**PLANNING COMMISSION MEETING PROCEDURES**

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: [www.morro-bay.ca.us/planningcommission](http://www.morro-bay.ca.us/planningcommission) or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to [www.morro-bay.ca.us/notifyme](http://www.morro-bay.ca.us/notifyme) and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

### **APPEALS**

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

AGENDA ITEM:   A-1  

DATE:   December 16, 2014  

ACTION: \_\_\_\_\_

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION  
REGULAR MEETING – NOVEMBER 04, 2014  
COMMUNITY CENTER MULTIPURPOSE ROOM – 6:00 PM

PRESENT:	Robert Tefft	Chairperson
	Gerald Luhr	Vice Chairperson
	Michael Lucas	Commissioner
	Richard Sadowski	Commissioner
	Katherine Sorenson	Commissioner
STAFF:	Rob Livick	Public Services Director
	Scot Graham	Planning Manager

ESTABLISH QUORUM AND CALL TO ORDER  
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE  
PLANNING COMMISSIONER ANNOUNCEMENTS

Commissioner Sadowski announced the WRFCAC meeting will be November 5<sup>th</sup> at 3 P.M. at the Morro Bay Community Center. Livick responded the Agenda for this meeting is on the City's website under the WRFCAC Agendas.

Commissioner Sadowski announced the Chumash Sanctuary Proposal for NOAA is on is on the Chumash website.

PUBLIC COMMENTS

Chairperson Tefft opened Public Comment period and seeing none, closed Public Comment period.

PRESENTATIONS - None

CONSENT CALENDAR

A-1 Approval of minutes from the Planning Commission meeting of October 7, 2014  
**Staff Recommendation:** Approve minutes as submitted.

Commissioner Sadowski asked Graham if the September 16 minutes have been approved. Graham responded the minutes were approved with changes at the last meeting.

**MOTION:** Commission Lucas moved approval of minutes from the Planning Commission meeting of October 7, 2014. Commissioner Sadowski seconded the motion and the motion passed unanimously. (4-0; Sorenson abstained)

A-2 Approval of minutes from the Planning Commission meeting of October 21, 2014  
**Staff Recommendation:** Approve minutes as submitted.

A-3 Current and Advanced Planning Processing List  
**Staff Recommendation:** Receive and file.

**MOTION:** Commissioner Lucas moved approval of minutes from the Planning Commission meeting of October 21, 2014 and Current and Advanced Planning Processing List. Commissioner Sorenson seconded the motion and the motion passed unanimously. (5-0)

## PUBLIC HEARINGS

### B-1 Case No.: AD0-075

**Site Location:** 1000 Ridgeway, Morro Bay, CA

**Staff denial of a Time Extension request for a Parking Exception:** The City of Morro Bay Planning Division has received an appeal of a staff decision denying a one year time extension request for a parking exception. The parking exception allows for an 11-foot garage setback where 20-foot would otherwise be required. The Parking exception was approved by the Planning Commission on October 17, 2012 and was due to expire on October 17, 2014. The Time extension request was filed on September 4, 2014 and subsequently denied by staff on September 5, 2014.

**Appellant:** Reed Adamson

**Staff Recommendation:** Deny the appeal

**Staff Contact:** Scot Graham, Planning Manager, (805) 772-6291

Scot Graham presented the staff report.

Chairperson Tefft asked if the request for an extension is denied would it affect the applicant if they re-applied. Graham responded the applicant didn't have an active development attached to the parking exception, noting the applicant could come back with another design and re-apply.

Vice-Chairperson Luhr and Graham discussed parking exceptions without an active development permit and refiling.

Cathy Novak, representative for Applicant, reviewed the reasons for the denial of the parking exception, time extension and the conflicting conclusion regarding the parking exception. She noted the extension was filed in a timely matter prior to the expiration and requested the Commission grant the extension request.

Roger Ewing, Morro Bay resident, stated he supports the staff denial and asked the Commission to support the staff recommendation.

Vice-Chairperson Luhr asked Novak if the owner will re-submit the project. Novak replied the owner hasn't come to any conclusion yet and is looking at other opportunities.

Vice-Chairperson Luhr agreed with staff the parking exemption should be tied with a project but noted the fee should be waived for the re-submittal.

Commissioner Sorenson concurred with Vice-Chairperson Luhr and supports forwarding to City Council a request for a fee waiver.

Commissioner Sadowski and Graham discussed the parking exception permit, while noting the parking exception was a stand-alone permit from the separate permits to construct the house.

Commissioner Sadowski stated the parking exception should always be tied to a project and supports staff's interpretation and recommendation..

Commissioner Luhr concurred and supports the staff recommendation, noting he is not opposed to requesting the City Council waive the fee.

Chairperson Tefft stated support for the staff recommendation. He stated the City should be careful on widening the right-of-way in this area due to a trail to the state park.

Commissioner Sadowski stated he doesn't agree in waiving the fee. Vice-Chairperson Luhr responded it would be a goodwill offer to waive the fee.

Chairperson Tefft opened Public Comment period again.

Novak clarified the applicant was not the one who applied for the separate permit, noting it was per the advice of a City staff.

Chairperson Tefft closed Public Comment period.

**MOTION:** Vice-Chairperson Luhr moved to adopt Planning Commission Resolution 26-14 and request the City Council waive the fee on the parking exception upon resubmittal. Commissioner Sorenson seconded the motion and the motion passed unanimously. (5-0)

### C. UNFINISHED BUSINESS

#### C-1 Discussion of Design Guidelines

Graham presented Section A changes.

Commissioner Sorenson stated the 300 foot radius is too large, noting she liked Option 2 better.

Vice-Chairperson Luhr stated he likes the larger area to tie into the noticing area, noting it would give designers more options.

Commissioners Sadowski and Lucas agreed with Vice-Chairperson Luhr regarding the larger area.

Chairperson Tefft stated Option 2 is too small. He stated the larger size might encompass areas which are clearly unlike the immediate vicinity of the house noting there should be language to allow the difference in the neighborhood.

Chairperson Tefft and Graham discussed the need for applicants to discuss their project with staff before submitting.

Chairperson Tefft stated since adjacent houses and houses in the immediate neighborhood do not mean the same thing now the guideline language needs to be cleaned up . Commissioners concurred.

Graham presented Section B1 and B3 changes.

Commissioner Lucas stated to be careful using "elevation" in the language, noting what is important is the three dimensional massing aspect. Vice-Chairperson Luhr, Commissioner Lucas and Graham discussed what the language should consist of.

Commissioner Sorenson and Graham discussed a two story home next to a single story home, with Graham noting people need to pay attention to what's around the property and neighborhood.

Vice-Chairperson Luhr stated he is happy with changes on B-3 and the stricken language. He wanted to reiterate these are guidelines and more innovative solutions are always welcomed.

Commissioner Sadowski stated he agreed with Commissioner Lucas' comments regarding elevations.

Chairperson Tefft stated the wording on the first sentence is ambiguous, noting there needs to be a shift in wording to indicate it will be compatible in the general pattern of scale and mass of the neighborhood. Commissioners concurred.

Graham presented changes to Policy C-2 and asked the Planning Commission if the small home exhibit language is acceptable. Commissioners agreed it was acceptable.

Graham presented the remaining changes to Section C.

Vice-Chairperson Luhr and Commissioner Sorenson stated they liked Option 1.

Commissioner Lucas stated the examples are good at showing massing but they are really busy, over designed and styled, noting he doesn't want it to seem like we're pushing Victorian and Spanish styled homes in our neighborhoods. Commissioners agreed on adding different options.

Graham presented Section E changes.

Commissioners Lucas, Vice-Chairperson Luhr and Graham discussed permeable and other paving.

Chairperson Tefft stated he wanted to be sure there is a distinction between "adjacent" and "in the neighborhood in the Building Orientation section.

Commissioner Lucas stated care should be given on the design and nature of the garage door by the owner. Chairperson Tefft agreed with Commissioner Lucas.

Commissioners and Graham discussed landscape plans.

D. NEW BUSINESS - None

#### E. DIRECTOR AND PLANNING MANAGER COMMENTS

Graham stated the language in section B of the Zoning Ordinance regarding burn letters is vague and asked the Commission what are the expectations for this.

Commissioners and staff discussed existing footprint of structure and language which would address the non-conforming issues and foundations.

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION  
REGULAR MEETING –NOVEMBER 4, 2014

Graham stated he will come back with an interpretation and resolution for adoption at the next Commission meeting.

Livick stated this will appear on the agenda for the next meeting so the public could provide input since this wasn't a noticed item.

F. ADJOURNMENT

The meeting adjourned at 7:46 p.m. to the next regularly scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on Tuesday, November 18, 2014 at 6:00 p.m.

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Robert Tefft, Chairperson

ATTEST:

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Rob Livick, Secretary



City of Morro Bay  
Public Services/Planning Division  
Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning Division

New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.

Approved projects are deleted on next version of log.

Agenda No: A-2

Meeting Date: December 16, 2014

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
<b>Hearing or Action Ready</b>									
1	Hooper	470 Pico	11/19/14	UP0-396 & AD0-096	<b>Conditional Use Permit and Parking Exception for SFR Addition of greater than 25% and second parking space tandem in the drive. 336sf addition.</b>	Under Review. JG. Noticed 12/5/14. Ready for Planning Commission 12/16. JG			
2	Sotelo & Chanley	420 Island	7/17/14	CP0-443	<b>Coastal Dev. Permit for construction of new 1,678sf SFR w/ 482sf garage adjacent to ESH</b>	Under Review. Correction letter sent 8-15-14. SG. Resubmittal received 8/29/14. 2nd Incomplete letter sent 9-16-14. MND completed 10-28-14. SG. Public review period ended 12/3/14. Anticipate Jan. 2015 PC hearing date.	BC- conditionally approved.	BCR - conditionally approved. Needs Floodplain Dev. Permit	
3	Turner	356 Yerba Buena	10/30/13	CP0-412	<b>Single Family Addition &amp; Remodel to a total of 2,767sf with 599sf garage</b>	Property located within ESH area. Wetlands delineation study received. Incomplete letter sent 11-26-13. CJ. Resubmittal received. Draft initial study under review. 2nd incomplete letter sent 8-29-14. CJ. Public Works comments sent 8/29 to Applicant necessary to complete MND. Draft MND received from consultant. Resubmittal received 9/5/14 and 10/29. MND completed 11/13/14 and routed to State Clearinghouse for 30 day public review . Anticipate 1/6/15 PC hearing date.	BC- conditionally approved.TP-Cond Approve 11/25/13.	JW-Disapproved; additional easement in question 10-1-2014. JW-Disapproved; additional easement in question 10-28-2014	
4	Nagy	371 Piney	3/20/14	CP0-427	<b>Admin Coastal Dev. Permit for new 3,022 square-foot SFR and garage, plus deck and balcony.</b>	Received 3/25/14. CJ.Correction letter sent 4/25 NC. Resubmittal received 5/21. Corrections sent 6-3-14 and 7-10-14. WM Resubmittal received 10-29. Noticed 11/14/14. Submittal of 2 Conflicting surveys being reviewed.	BC- conditionally approved.	JSW- conditionally approved.	
5	Dennis	290 Piney Ln	6/26/14	CP0-440	<b>Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony</b>	Under Review. Correction letter sent 9-08-14. Corrections resubmitted 10/15/14. JG. Correction letter sent 10/24. JG Resubmittal 11/12/14. Under review. Noticed 12/2	BC- conditionally approved.	BCR/DH drainage plan under review	
6	Dennis	270 Piney Ln	6/26/14	CP0-439	<b>Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony</b>	Under Review. Correction letter sent 9-08-14. Corrections resubmitted 10/15/14. JG. Correction letter sent 10/24. JG Resubmittal 11/12/14 Under review. Noticed 12/2	BC- conditionally approved.	BCR/DH drainage plan under review	
7	Dennis	280 Piney Ln	6/26/14	CP0-438	<b>Administrative Coastal Development Permit for new 3,108 SFR with 591sf garage and 316sf balcony</b>	Under Review. Correction letter sent 9-08-14. Corrections resubmitted 10/15/14. JG. Correction letter sent 10/24. JG Resubmittal 11/12/14 Under review. Noticed 12/2	BC- conditionally approved.	BCR/DH drainage plan under review	
8	Jeffers	2740 Elm Street	9/3/14	CP0-450	<b>Admin Coastal Dev. Permit for Demo/reconstruct of 830 sf unit and reconstruct 1523 sf home with 2 car garage. (Proposal includes existing secondary unit to remain)</b>	Under review. Correction letter sent 9-12-14. Resubmitted 9-26-14.Correction letter sent 10/15/14. JG. Resubmittal 11/7. Admin Permit denied 12/8/14. Applicant wants to appeal to Planning Commission.	BC- conditionally approved.	JW- Approved 10/1	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
<b>30 -Day Review, Incomplete or Additional Submittal Review</b>									
9	Garcia	430 Nassau	12/3/14	UP0-399	Addition to Non-conforming House		Fire- conditionally approved 12/10/14	BCR for rww 12/15/14	
10	Appleby	381 Fresno	11/26/14	UP0-398	Conditional Use Permit for construction of a 15' x 35' storage shed & 37' x 15'6" carport	Under review. JG.			
11	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG			
12	Verizon / Knight	1111 Main	11/19/14	UP0-395	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG			
13	Garcia	500 Kings	11/19/14	UP0-393/CP0-455	Conditional Use Permit and Coastal Development Permit. Initial Review: 6 dwelling units on two adjoining lots	Under Review. WM/JG			
14	Groom	3039 Ironwood		Modification to CP0-422	Modification to Coastal Permit for a change in exterior finish and creation of a secondary dwelling unit.	Under review for parking conformance. JG. Need copy of prelim. title report and easement report. 12/5. JG			
15	Lowe	510 Fresno	10/20/14	UP0-391	Conditional Use Permit for Addition to a Non conforming single family residence: add 508 sf 2-car garage, 383 sf storage room above, with 93 sf deck.	Addition of 2 car garage 508sf and 383 sf 2nd story storage room above w/ 93sf deck. Sent incomplete letter 11-13-14. Needs site survey and color and materials. WM		To JW for review 10/20	
16	Najarian	2295 Juniper	10/13/14	CP0-454	Administrative Coastal Development Permit for a new SFR on vacant land	New SFR on vacant lot. Very incomplete plans. Correction letter sent 10-21-14. WM	BC- incomplete	ME/DH - conditionally approved 10/23/2014. Comments in memo. Resubmitted 11/25/14	
17	Christensen	670 Shasta	10/9/14	UP0-390/ AD0-095	Conditional Use Permit and Parking Exception for SFR Addition of greater than 25%	Addition greater than 25% to a nonconforming structure plus parking exception to allow a single car garage where two spaces are required. Needs historical eval. Incomplete letter sent 10/23. JG	BC- conditionally approved.	RPS - Conditionally Approved per memo of 10/23/14	
18	Fowler	1185-1215 Embarcadero	10/6/14	UP0-058	Precise Plan submittal for landside improvements	Under review. Incomplete letter 11-5-14. CJ. Fire comments emailed to applicant 11-26-14. Waiting on resubmittal			
19	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story building (retail/restaurant use) & outdoor improvements	Under review. Deemed incompletd. Letter sent 10-13-14. CJ Waiting on resubmittal	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
20	Verizon / Knight	750 Radcliffe	8/13/14	CP0-449/ UP0-385	<b>CDP and CUP for upgrades to telecommunications facility</b>	Correction letter sent 9-17-14. CJ. Waiting on resubmittal	BC- conditionally approved.		
21	Salin	845 Ridgeway	8/8/14	CP0-448	<b>Admin Coastal Development Permit for new SFR</b>	Correction letter sent 8-28-14. with follow-up direction emailed 9/10/14. Confirmed with Applicant's Representation 9-30-14. Property older than 50 years requires historical evaluation per CEQA. Historical study in progress. Received opposition letter 11-26-14. CJ.	BC- conditionally approved.	DH/ME- Began resubmittal review 10/28	
22	Wordeman	2900 Alder	7/28/14	CP0-447	<b>Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.</b>	Under Review. Correction letter sent 8-27-14. CJ.	BC- conditionally approved.		
23	Romeiro	219 Marina	7/22/14	CP0-446	<b>CDP: Addition &gt; 10% to Non conforming SFR in Coastal Appeals Jurisdiction</b>	Addition that exceeds 10% in appeals area requires CDP. Incomplete letter sent 9-23-14. WM.	BC- conditionally approved.		
24	Johnson	301 Little Morro Creek Rd	6/26/14	CP0-442 & UP0-081	<b>Coastal Dev. Permit and Special/Interim Use Permit for new BMX Bike Park</b>	Under Review. Correction letter sent 8-26-14. Meeting held 9-9 w/ Applicant to discuss outstanding issues. CJ. Waiting on resubmittal	BC- incomplete	BCR- Conditionally improved with stormwater exemption. Needs floodplain dev. Permit	
25	Frye	250 & 244 Shasta Street	6/17/14	CP0-213 Amendment	<b>Amendment to CP0-213 (amendment to original 2006 CDP for 250 Shasta)</b>	Amendment to Administrative Coastal Permit CP0-213 to allow a north side yard setback of less than the required 5 feet at 244 Shasta. Including encroachment of garage into required side yard setback and allow home at 0 ft. setback where 2006 CDP included demolition in the project description. Correction letter sent 8-28-14. 2nd letter sent 9-18-14 regarding administrative permit modification for a non-conforming structure. Spoke with applicant 10-27. CJ	BC- incomplete	BCR_ 7/8/13 cond appr. Complete frontage improvements required	
26	Hough	289 Main	10/16/13	CP0-410 & UP0-369	<b>CDP and CUP to construct a 2,578sf single family home on vacant lot</b>	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ. Visited site to review project 10-24-14. Concurrent request sent re bluff to Coastal Commission 10-27-14. Discussed project with Coastal staff 11-18-14. CJ.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
27	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	<b>Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.</b>	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. CJ	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17. 7/22/14 Resubmittal review underway	
28	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	<b>Use Permit for seven boat slips and gangway</b>	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. CJ. Met with environmental consultant to review CEQA requirements 4-17-14. Seeking additional fee estimate for CEQA review. Met with consultant 7-2-14. Revised fee estimate provided to applicant 7-25-14. Draft environmental MND received from consultant and under review for completeness. Info hold letter sent 9-2-14. Resubmitted 10-28-14. Doing final review of Initial Study to be routed to State Clearinghouse. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	N/R	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
29	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	<b>Variance.</b> Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing.Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	See above	

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30	LaPlante	3093 Beachcomber	11/3/11	CP0-365	<b>Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.</b>	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant is preparing Biological Report. Biological report received 3/13 and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ environmental consultant re completion of environmental 4/7 CJ. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14. CJ.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date
<b>Planning Commission Continued projects</b>									
29	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	<b>Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.</b>	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 CJ Met w/ Applicant 2-28-14 to review process - CJ. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7. Draft initial study under review and plans resubmitted 6/25/14. WM. MND routed to State Clearinghouse with tentative PC hearing date for 9/2/14. Correspondence received from Coastal Commission and Ca Dept of Fish and Wildlife regarding environmental. Applicant addressing concerns. PC continued to date uncertain. Met with Applicant 9-30-14. Addendum to Bio report received 11/11. Need to revise and recirculate MND. Discussed project with Coastal staff in meeting 11-18-14. WM	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RS/DH 7/22/14 under review	

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30	Gonzalez	481 Java	12/30/13	UP0-374	<b>Conditional Use Permit for non-conforming single-family residence. Addition of 578 sf plus 112 sf of decking</b>	KM - Under initial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC. Continued to a date uncertain by Planning Commission at the 6/3 meeting to address parking non-conformities. WM. Resubmitted 9/26/14. Met with applicants regarding need to provide workable parking on site. WM	BC- conditionally approved.	BCR - Began resubmittal review 9/30/14	
31	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	<b>Environmental documents for Nutmeg Tanks.</b> Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW-Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	
<b>Environmental Review</b>									
35	City of Morro Bay	N/A			<b>MND for Chorro Creek Stream Gauges</b>	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	
<b>Grants</b>									
36	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			<b>\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.</b>	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A	

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37	City of Morro Bay	City-wide			<b>Community Development Block Grant/HOME Program - Urban County Consortium</b>	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14.	No review performed.	N/R	
<b>Project requiring coordination with another jurisdiction</b>									
38	City of Morro Bay	Outfall			<b>Original jurisdiction CDP for the outfall and for the associated wells</b>	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
39	City of Morro Bay Desal Plant	170 Atascadero			<b>Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.</b>	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.	
<b>Preapplication projects - None currently</b>									
<b>Final Map Under Review</b>									
40	Medina	3390 Main	10/7/11	Map	<b>Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12</b>	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
<b>Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive</b>									
41	McCallister	176 Java St.	7/21/14	CP0-444	<b>Coastal Dev. Permit for addition of &gt; 10% to existing SFR within ESH Overlay and Coastal Appeals Jurisdiction.</b>	Addition that exceeds 10% in appeals area requires CDP. Correction letter sent 8-25-14. corrections and bio report submitted 10/16/14. Under review. JG. Correction letter sent 10/24. JG. Met with applicant 11/10/14.	BC- conditionally approved.		

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42	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	<b>Embarcadero-Maritime Museum (Larry Newland).</b> Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
43	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	<b>Parcel Map. 3 parcels and an open space parcel.</b> A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14. Sent Intent to Deem Withdrawn letter on 9-2-14. JG. Request to keep project open 10/2014	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
44	Lucky 7	1860 Main	3/12/13	CP0-394	<b>Construct Fuel Island Canopy</b>	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. Waiting on Applicant to sign mitigations. WM. Sent Intent to Deem Withdrawn letter 8-28-14. JG.	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	

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45	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	<b>Upgrade of unmanned telecommunications facility</b>	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM. Intent to Deem Withdrawn letter sent 8-28-14. JG. Spoke with applicant 9-16, intends to resubmit. JG.	BC- conditionally approved.	BCR- ADA ramp upgrade required	
46	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	<b>Parcel Map.</b> CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. JG.	Please route project to Building upon resubmittal.	N/A	
<b>Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing</b>									
47	City of Morro Bay	Citywide	10/16/13	A00-013	<b>Zoning Text Amendment - Second Unit</b>	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
48	City of Morro Bay	Citywide		LCP-3-MRB-14-0409	<b>Housing Element Implementation</b>	Ordinance 584 sent as LCP Amendment to Coastal Commission. Coastal letter received 4-28-14. City response letter sent 5-21-14. C.J. Received Coastal response via consultant 7-30-14. LCP Amendment tentatively scheduled for August Coastal Commission hearing.	No review performed.		

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49	City of Morro Bay	Citywide	2/1/13	Ordinance 556	<b>Wireless Amendment - LCP Amendment</b> CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review preformed.	N/A	
<b>Projects Appealed or Forwarded to City Council</b>									
50	City of Morro Bay	Citywide	6/19/13	A00-015	<b>Sign Ordinance Update.</b> Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop to be held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R	
<b>Projects in Building Plan Check</b>									
51	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	
52	Sherrod	938 Anchor	11/8/13	B-30053	SFR Add/ Remodel: Add 676 sf feet to existing 1370 sf SFR. 614 sf second story with 130 sf of deck and 271 sf of roof deck.	KM -Under review. Corrections returned 12-9-13. Variance granted by PC for rear yard. Front yard setback non-conforming.	BC- on hold pending planning process.	DH-7/22/14 needs sewer video	
53	Hill	445 Arcadia	7/8/14	B-30204	SFR Carport/ Deck	CJ - Corrections sent 7-14-14. Left msg w/ applicant requesting site visit 9/25/14. CJ.	BC- Resubmitted 9/10/14.	JW-Disapproved, Correction Memo filed 7/18/2014; JW-Approved 10/28/2014	
54	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC.	
55	Beckett	175 Easter	8/19/14	B-30245	SFR Add: 735 sf living, 419 sf garage, 285 sf decking	Approved 8-21 CJ	BC- under review.	JW- 10/21/14 corrections needed.	

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56	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14. Pending CDP approval. CJ. Correction letter sent. JG	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed. JW- 9/9/14 2nd Submittal: Corrections and SWP Video	
57	Caldwell	801 Embarcadero	8/18/14	B-30250	Commercial Hood System		BC- returned for corrections 10/8/14.		
58	Fowler	1213 Embarcadero	9/11/14	B-30270	Phase 1-B Water Site Improvements	Requested correction 10-7-14 - CJ	BC-under review.	RPS - Disapproved per memo of 10/31/14	
59	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation or stablization of excavated area	
60	Buquet	647 Estero	3/14/14	B-30129	New SFR: 1662 sf living, 577 sf garage, 564 sf unfinished space, and 230 sf deck	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
61	Appleby	381 Fresno	7/31/14	B-30227	Carport & Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG	BC-on hold pending Planning process.	RPS - No PW comments if street access is not required for storage	
62	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car gargaie (508 sf) w/ storage (383 sf) above, and 93 sf deck	Corrections sent 8-11-14. WM.	BC- returned for corrections 8/22/14.	Assigned to ME/DH for review	
63	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit: 300 sf attached studio (27 new sf and convert 273 sf)	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
64	MB Friends of the Library	625 Harbor	10/6/14	B-30263	Disabled Access Site Improvements	approved. JG.	BC- under reievw		
65	MB Friends of the Library	625 Harbor	10/7/14	B-30290	Courtyard Improvements	approved. JG.	BC- under reievw		
66	Meissner	1387 Hillcrest	7/31/14	B-30226	New SFR: 2,073 sf with 570 sf garage, 108 sf deck, and 975 sf of unconditioned under floor area.	Corrections sent 8-22-14. WM.	BC- under reievw		
67	Wass	2910 Ironwood	9/30/14	B-30285	SFR Remodel/ Stuctural Modifications		BC- under reievw		
68	Groom	3039 Ironwood	1/15/14	B-30084	New SFR: 2205 sf living, 510 sf garage, and 290 sf decking	Needs CDP.	BC-Ready to Issue 7/10/14.	BCR-7/1/14 approved. SW O&M plan rec'd 7/10/14	
69	Sotello	420 Island	6/30/14	B-30192	New SFR: 1678 sf living, 482 sf garage, 106 sf decking	Needs CDP.	BC- Returned for correction 10/2/14.		
70	McCallister	176 Java	6/3/14	B-30179	SFR Remodel	Project exceeds 10% in coastal appeals area. Will require a CDP prior to Building. CJ	BC-Returned for corrections 6/18/14.	BCR- under review	
71	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Return for resolution of Planning issues	
72	Ramsay/ Chivens	431 Kern	3/11/14	B-30078	SFR Demo/ Reconstruct: demo 1800 sf living, reconst. 2274 sf living, 550 sf garage, and 408 sf decking	Needs CDP prior to Building Permit	BC-Issued 9/16/14.	RS 3/24/14 Cond Appr. w/ frontage Improvements	
73	Ramsey	330 Kings	8/13/14		SFR Addition	Approved 8/21/14. CJ.	BC-Issued 9/22/14.	BCR 9/9/14 Resubmittal approved	
74	Gong	217 Main	2/27/14	B-30115	New SFR	Correction memo sent 4/24/14 GN. Approved 8/25/14. CJ.	BC- Issued 8/28/14.	BCR- 2nd review complete, several items from first review not addressed	
75	Senior Appartments	555 Main	6/30/14	B-30190	21 Unit Senior Apartments	Corrections sent 8-5-14. CJ.	BC-Returned for corrections 9/2/14.	To BCR for resubmittal review 10/30/14	
76	AT&T	788 Main	6/23/14	B-30194	Recycling Facility and Site Improvements	Correction sent 7-14-14. WM	BC-under review.	RPS -Conditional Approval with modifications per memo of 10/14/14	
77	Dyson	1177 Main	8/18/14	B-30248	Covered Patio		BC-Returned for corrections 9/8/14.		
78	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13.	BC-returned for corrections 12/16/13.	N/R	
79	Domino's	2360 Main	9/16/14	B-30278	Commercial remodel		BC-RTI 10/8/14.		

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80	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved	BC-returned for corrections 10/2/14.		
81	Arriana's	525 Morro Bay Blvd	7/14/14	B-30208	Commercial Foodservice Facility	Approved. WM 7-31	BC-out for corrections.		
	Najarian	471 Nevis	11/14/14	B30324	New SFR			To JW for review 12/2/14	
		433 Oahu	11/10/14	B30280				ME Conditionally approved 12/2	
82	Valelley	460 Olive	9/12/14	B-30273	New SFR, previously constructed second unit, address changed to 468 Olive	approved 10/16/14. JG			
83	Nagy	371 Piney	8/11/14	B-30237	New SFR: 3,022 square-foot SFR and garage, plus deck and balcony.		BC-out for corrections.		
84	T-Mobile	750 Radcliffe	7/25/14	B-30221	Fiber Utility Connection	Under review.	BC-Returned for corrections 9/30/14.		
85	Adamson	1000 Ridgeway	9/11/13	B-30008	New SFR	CJ - on hold until CDP approval. CDP under appeal. CDP denied by Planning Commission 6/17. Council denied appeal 8-12-14 thus denying project.	BC- on hold pending planning process.	BCR: Revise plans per memo of 10/14/13	
86	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
87	Rodgers	445 Shasta	9/26/14	B-30243	New SFR: 2343 sf living, 1046 sf garage, and decking		BC- resubmitted 9/29/14. No WEU required, house previously demo'd on site 2003.	RPS - Approved with deferred submittal of frontage improvement plans per memo of 10/14/14	
		60 State Park Rd	11/3/14	B-30312	Public Area Remodel - Phase 2			RPS - Architectural remodel only. No utility or PW improvements warranted for this phase	
88	Riles	155 Tahiti	10/6/14	B-30289	Convert portion of storage room to bathroom and closet.		BC-under review.		
89	Williams	320 Trinidad	7/24/14	B-30220	Convert Existing Storage Space to Guest House	Deed restriction required prior to issuance. Approved. CJ	BC-RTI pending covenant.		
90	James	341 Vashon	9/18/14	B-30279	New SFR: 1486 sf living. 446 sf garage, and 176 sf decking	Approved. CJ.	BC-under review. 1 WEU required.	JSW- Corrections/Revisions Needed, Re-submittal required 10/29/2014	
90	Wammack	505 Walnut	12/31/13	B-30076	New SFR: 2611 sf living, 489 sf garage, 190 sf decks and covered porch	CJ - needs CDP. Appealed. Ready to be noticed.	BC-on hold pending Planning process.	BCR sidewalk deferral agreement	
91	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition: 594 sf living and 340 sf decking	NC - Corrections sent 4/25	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	
87	Nucci	529 Zanzibar	12/9/14	B-30337	SF Addition			To ME for rvw 12/10/14	
<b>Projects &amp; Permits with Final Action</b>									
92	Pacific Southwest Community Dev. Corp.	555 Main Street	11/5/14	UP0-392	<b>Minor Use Permit for Elevator Tower to Exceed Height Requirement</b>	21 unit affordable senior rental development. Elevator tower exceeds maximum height requirement by approx 4 feet. Minor Use Permit application pursuant to Zoning Ordinance section 17.48.070. Noticed 11/14/2014. Admin Action 11/24/2014. FLAN mailed 12/8			

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
93	Wammack	505 Walnut	12/31/13	CP0-417	Coastal Development Permit for new 3,236sf SFR including 489sf garage on vacant lot - concurrent permitting for Building Permit	GN - Incomplete letter sent 1/31/14. Resubmittal received 4-1-14. GN - 2nd incomplete letter sent 4/15/14. Waiting on plan changes to identify second unit and required parking. Resubmittal received. Planning Commission hearing project at 8/19 meeting and continued with direction for resubmittal. Planning Commission approval on 9-16-14. Appealed by 3 separate parties with Council to hear appeal at 11-12 meeting. WM. Appeal denied.	BC- conditionally approved.	BCR-approved with deferral of frontage improvements	



AGENDA NO: B-1

MEETING DATE: December 16, 2014

## Staff Report

**TO:** Planning Commissioners **DATE:** December 16, 2014

**FROM:** Joan Gargiulo, Contract Planner

**SUBJECT:** **Conditional Use Permit (#UP0-396) and Parking Exception (#AD0-096)** Request to allow additions exceeding 25% of existing floor area for a single-family residence with a nonconforming setback at 470 Pico Street, and to allow a single-car garage with tandem parking in the driveway to provide the second required parking space.

**RECOMMENDATION:**

*CONDITIONALLY APPROVE THE PROJECT* by approving Planning Commission **Resolution 28-14** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated December 8, 2014.

**APPLICANT:** Craig Hooper

**DESIGNER:** Bill Grinder

**LEGAL DESCRIPTION/APN:** 068-332-014

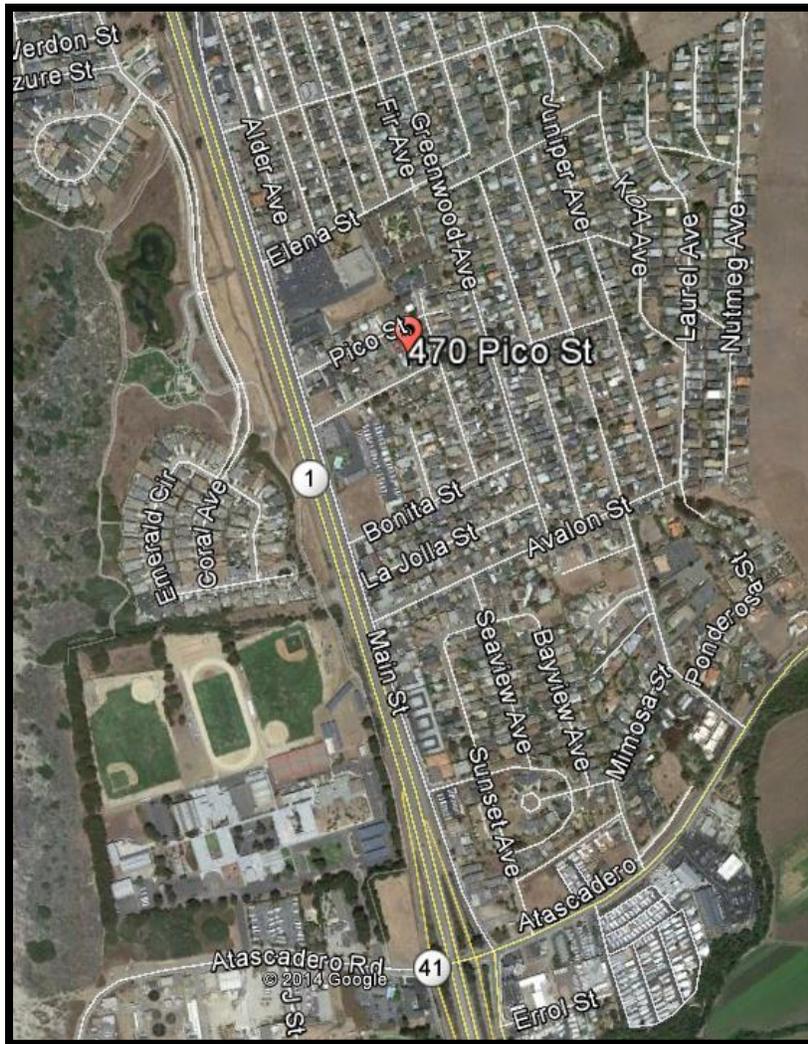
**PROJECT DESCRIPTION:** The Applicant is requesting Conditional Use Permit and Parking Exception approval for a single story addition totaling 376 square feet to an existing 887 square-foot nonconforming residence with an attached 275 square-foot garage. The residence is considered nonconforming because it has a one car garage where two covered spaces are required and it has an inadequate side-yard setback, discussed below in the 'Project Analysis' section.

Plans show a proposed addition of 376 square feet to include master bedroom, bathroom, closet and the resizing of an existing second bedroom as well as interior remodeling to include improvements to the hallway and existing bedroom.

Prepared By: JG

Department Review: \_\_\_\_\_

**PROJECT SETTING:** The project is located in a residential neighborhood in central Morro Bay, east of Highway 1, north of Highway 41 (Atascadero Road), and south of San Jacinto Street. The mostly level, rectangular-shaped 5,000 square-foot lot is in the R-1 Single-Family Zone. Housing in the surrounding area includes mostly small, one and two-story older homes with one-car garages. The site is located outside of the Coastal Commission Appeals Jurisdiction.



<b><u>Adjacent Zoning/Land Use</u></b>			
North:	R-1/Residential Use	South:	R-1/Residential Use
East:	R-1/Residential Use	West:	R-1/Residential Use

<b><u>Site Characteristics</u></b>	
Site Area	Approximately 5,000 square feet
Existing Use	Single family residential
Terrain	Virtually level and developed
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	n/a
Access	Pico Street

<b><u>General Plan, Zoning Ordinance &amp; Local Coastal Plan Designations</u></b>	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located outside the Coastal Appeals Jurisdiction

**PROJECT ANALYSIS:**

**Background**

County Assessor records indicate the existing house was built in 1953 with a one-car garage, similar to other homes in the neighborhood. The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning designation.



**Zoning Ordinance Consistency**

Current requirements of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”) for setbacks and parking render the existing structure and the parking arrangement nonconforming. However, additions to nonconforming structures may be permitted with approval of a conditional use permit, subject to certain findings (Morro Bay Municipal Code (MBMC) section 17.56.160). Similarly, the Zoning Ordinance allows for exceptions to parking standards, subject to certain findings (section 17.44.050).

<b><u>Zoning Ordinance Standards</u></b>		
	<b>Standards</b>	<b>Proposed</b>
<b>Front-Yard Setback</b>	20 feet	26 feet
<b>Side-Yard Setbacks</b>	10% of average lot width with 5’ maximum and 3’ minimum In this case 10% = 5’	Southwest side: 5 feet to addition Northeast Side: 3 feet to existing
<b>Rear-Yard Setback</b>	10 feet	19’6”
<b>Lot Coverage</b>	45% allowed	31%
<b>Height</b>	25 feet	Approximately 16’2”
<b>Parking</b>	2 covered and enclosed spaces	1 covered space 1 uncovered space in tandem

### **Setbacks**

The side-yard setback requirement for this lot is 10% of the average width. The lot is 50 feet wide therefore five feet of set-back is necessary. The northeastern side-yard setback, measured at three feet, does not meet the current Zoning Ordinance Standards. The proposed addition is in conformance with setback requirements.

### **Parking**

The existing home and garage were built in an era when it was typical to provide covered parking for only one car. The Zoning Ordinance requires two covered and enclosed parking spaces for single-family dwellings. The applicant is proposing to provide one covered space in the existing garage and one space in tandem in the driveway. The driveway is approximately 26 feet long plus approximately 13 feet of public right of way from the edge of the driveway to the edge of the street paving. The driveway is adequate in length to accommodate a parked car. For individual residences one tandem parking space may be allowed subject to approval of a parking exception (MBMC section 17.44.050). Exceptions to parking standards require the following findings to be made:

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use.

*Single-family dwellings are required to provide two parking spaces. If tandem parking is approved, then the project would meet that requirement. The length of the driveway (26 feet) is more than adequate to accommodate a parked car. Most dwellings in the surrounding neighborhood have one-car garages.*

2. The exception will not adversely affect the health, safety, or general welfare of persons working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of the parking standard.

*Tandem parking will not result in traffic safety problems at this location because the parking area will be outside the right-of-way; sight distance is adequate for vehicles maneuvering into and out of the driveway; and the project is subject to building code and engineering standards for driveway construction.*

3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.

*The applicant's parking proposal is reasonable given similar parking arrangements in the project vicinity and given the footprint and construction of the existing building on site.*

### **Conditional Use Permit Requirement**

The Zoning Ordinance, subsection 17.56.160B, requires approval of a conditional use permit for projects proposing additions in excess of 25% of the existing floor to a nonconforming structure. The project proposes to add 376 square feet to an existing 887 square-foot structure, an increase of approximately 42%. As noted above, the structure is nonconforming with regard to the side-yard setback and the garage does not meet minimum requirements for two parking spaces. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

*The proposed remodel and additions are consistent with Zoning Ordinance requirements.*

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

*The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.*

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

*The project proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone. The surrounding neighborhood is developed with modest one- and two-story homes.*

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

*Major reconstruction would be necessary to meet required side-yard setbacks along the property lines and to accommodate a two-car garage.*

**PUBLIC NOTICE:** Notice of this item was published in the San Luis Obispo Tribune newspaper on December 5, 2014, and all property owners of record within 300 feet and occupants within 100 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

**ENVIRONMENTAL DETERMINATION:** Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. The exemption applies to additions to existing structures of less than 50% of existing floor area and will have no potentially significant environmental impacts.

**CONCLUSION:** The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures and tandem parking upon approval of a conditional use permit (MBMC section 17.56.160) and a parking exception (MBMC section 17.44.050).

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-396 for the proposed addition to a nonconforming structure and approve Parking Exception #ADO-096 for the project at 470 Pico Street, as shown on plans dated December 8, 2014, by adopting Planning Commission **Resolution 28-14** which includes the Findings and Conditions of Approval for the project.

**EXHIBITS:**

Exhibit A – Planning Commission Resolution 28-14

Exhibit B – Graphics/Plan Reductions dated December 8, 2014

RESOLUTION NO. PC 28-14

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION  
APPROVING CONDITIONAL USE PERMIT (UP0-396) TO ALLOW AN ADDITION  
EXCEEDING 25% OF THE EXISTING FLOOR AREA TO A NONCONFORMING  
RESIDENTIAL STRUCTURE AND APPROVING A PARKING EXCEPTION (ADO-  
096) TO ALLOW A TANDEM PARKING SPACE IN THE DRIVEWAY TO  
PROVIDE THE SECOND REQUIRED PARKING SPACE  
AT 470 PICO STREET

**WHEREAS**, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on December 16, 2014, for the purpose of considering Conditional Use Permit UPO-396 and Parking Exception ADO-096 for a proposed addition to a nonconforming single-family home and tandem parking at 470 Pico Street; and

**WHEREAS**, notice of the public hearing was provided at the time and in the manner required by law; and

**WHEREAS**, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Morro Bay as follows:

**Section 1: Findings.** Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1 for additions to existing structures of less than 50% of existing floor area and will have no potentially significant environmental impacts.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed additions are in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.

3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with one- and two-story custom homes.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet required side-yard setbacks along the northeastern property line and to accommodate a two-car garage.

#### Parking Exception Findings

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative design to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use. With approval of the exception, two required parking places will be provided on site consistent with the Zoning Ordinance requirements.
2. The exception to allow tandem parking will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of the parking standard because the parking area will not conflict with existing traffic patterns in the right-of-way and driveway construction will be subject to Building Code requirements and the City's City Engineering standards.
3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property, given the footprint and construction of the existing building on site.

**Section 2. Action.** The Planning Commission does hereby approve Conditional Use Permit UPO-396 and Parking Exception ADO-096 for property located at 470 Pico Street subject to the following conditions:

#### STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated December 16, 2014, for the project at 470 Pico Street depicted on plans dated December 8, 2014, on file with the Public Services Department, as modified by these conditions of approval, and more specifically described as follows: Site

development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.

2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Public Services Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

### **PLANNING CONDITIONS**

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

### **BUILDING CONDITIONS**

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 16th day of December, 2014 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Chairperson

ATTEST

---

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 16th day of December, 2014.

**SCOPE:**

1. THE ADDITION OF A 1-STORY RESIDENTIAL ADDITION ONTO THE EXISTING RESIDENCE. MODIFICATIONS TO THE EXISTING STRUCTURE INCLUDE THE REMOVAL AND REPLACEMENT OF ONE WALL IN BED 2, THE ADDITION OF A WALL TO CREATE A HALLWAY IN THE FORMER BED 2 AREA, MODIFICATIONS TO PART OF THE EXISTING ROOF, AND MINOR MODIFICATIONS TO TIE INTO THE NEW STRUCTURE.

**PROJECT DATA:**

LEGAL DESCRIPTION:  
 APN: 068-332-014  
 LOT 14, BLOCK 2  
 TRACT 1  
 CITY OF MORRO BAY  
 SAN LUIS OBISPO COUNTY, CA

PLANNING AREA: ESTERO

TYPE OF CONSTRUCTION: V-N

OCCUPANCY GROUP/ZONING: R-1

ALL CONSTRUCTION SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, 2011 EDITION; THE CALIFORNIA PLUMBING CODE, 2011 EDITION; THE CALIFORNIA ELECTRICAL CODE, 2011 EDITION; THE CALIFORNIA MECHANICAL CODE, 2011 EDITION; THE CALIFORNIA FIRE CODE, 2007 EDITION; THE CALIFORNIA ENERGY CODE, 2011 EDITION; AND ALL CITY OF MORRO BAY AMENDMENTS

**PROJECT INFORMATION:**

OWNER:  
 CRAIG AND JANINE HOOPER  
 470 PICO  
 MORRO BAY, CA 93422  
 CRAIG CELL: 714-350-6696

PROJECT ADDRESS:  
 470 PICO  
 MORRO BAY, CA 93422

DESIGNER:  
 BILL GRIDER  
 1258 ATLANTIC CITY AVE,  
 GROVER BEACH, CA 93433  
 DESIGNBUILDGUY@YAHOO.COM  
 CELL: 805-704-9164

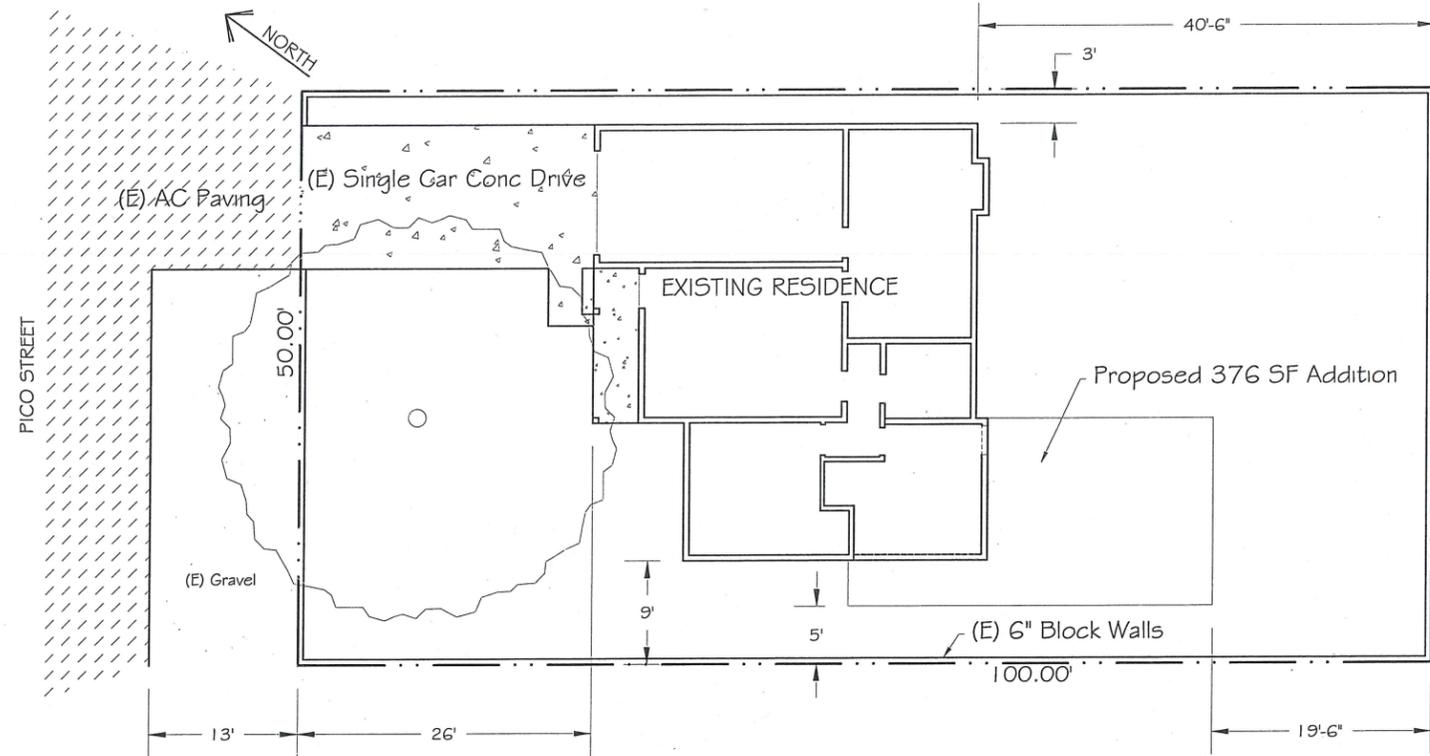
**CALCULATIONS:**

LOT AREA: 5000SF  
 BUILDING AREA:  
 EXISTING LIVING 887 SF  
 EXISTING GARAGE 275 SF  
 EXISTING TOTAL 1162 SF  
 PROPOSED ADDITION: 376 SF  
 PROPOSED TOTAL: 1538 SF

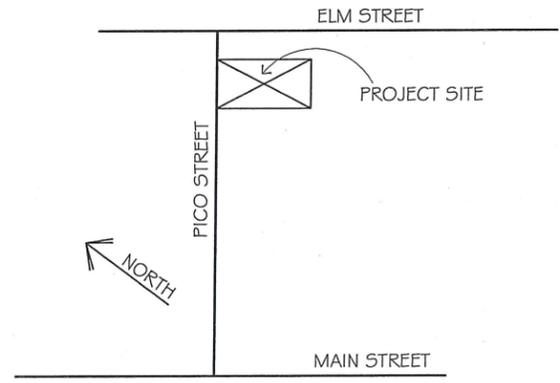
LOT COVERAGE:  
 1538 SF / 5000 SF = 30.76%

**SHEET INDEX:**

- A0.0 SITE PLAN
- A1.0 EXISTING PLAN
- A2.0 1ST FLOOR PLAN
- A3.0 ROOF PLAN
- A4.0 SECTIONS
- A4.1 SECTIONS
- A5.0 EXISTING & PROPOSED ELEVATIONS
- A5.1 EXISTING & PROPOSED ELEVATIONS
- A5.2 EXISTING & PROPOSED ELEVATIONS
- A5.3 EXISTING & PROPOSED ELEVATIONS



**SITE PLAN**  
 SCALE: 1/16" = 1'-0"



**VICINITY MAP**  
 SCALE: NTS

Exhibit B



DB CUBED  
 BILL GRIDER  
 805.704.9164

**RECEIVED**  
 DEC 08 2014  
 City of Morro Bay  
 Public Services Department

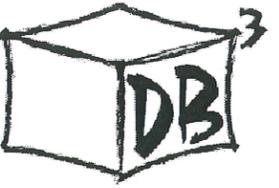
**HOOPER ADDITION**  
 470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
 CRAIG HOOPER  
 714.350.6696

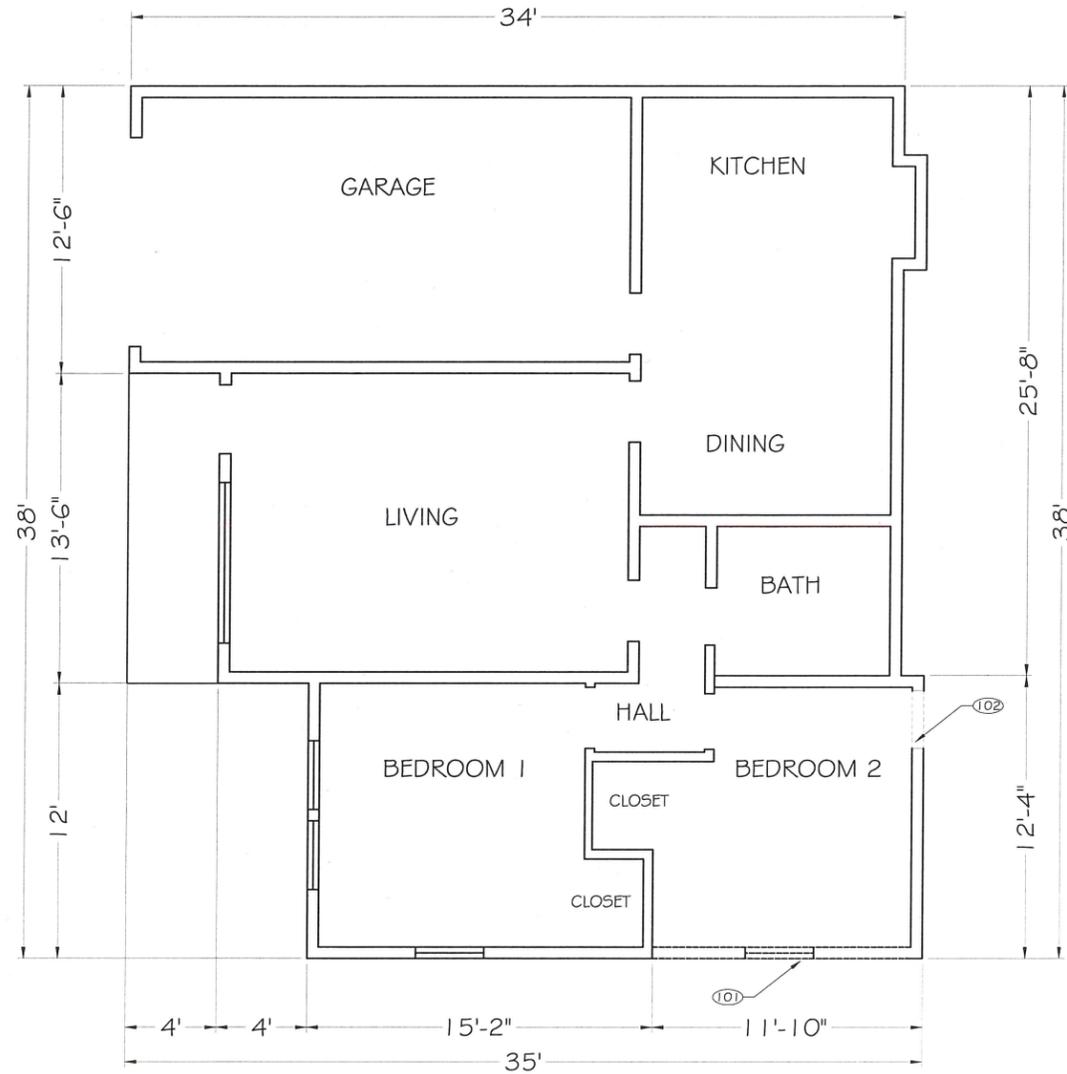
DATE:  
 NOV 19, 2014

SHEET TITLE:  
 SITE PLAN

A0.0



DB CUBED  
BILL GRIDER  
805.704.9164



NOTES:

- 101 PORTION OF WALL TO BE REMOVED TO EXPAND ROOM
- 102 PORTION OF WALL TO BE REMOVED FOR DOORWAY

 EXISTING FLOOR PLAN  
SCALE: 1/8" = 1'-0"

HOOOPER ADDITION  
470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
CRAIG HOOOPER  
714.350.6696

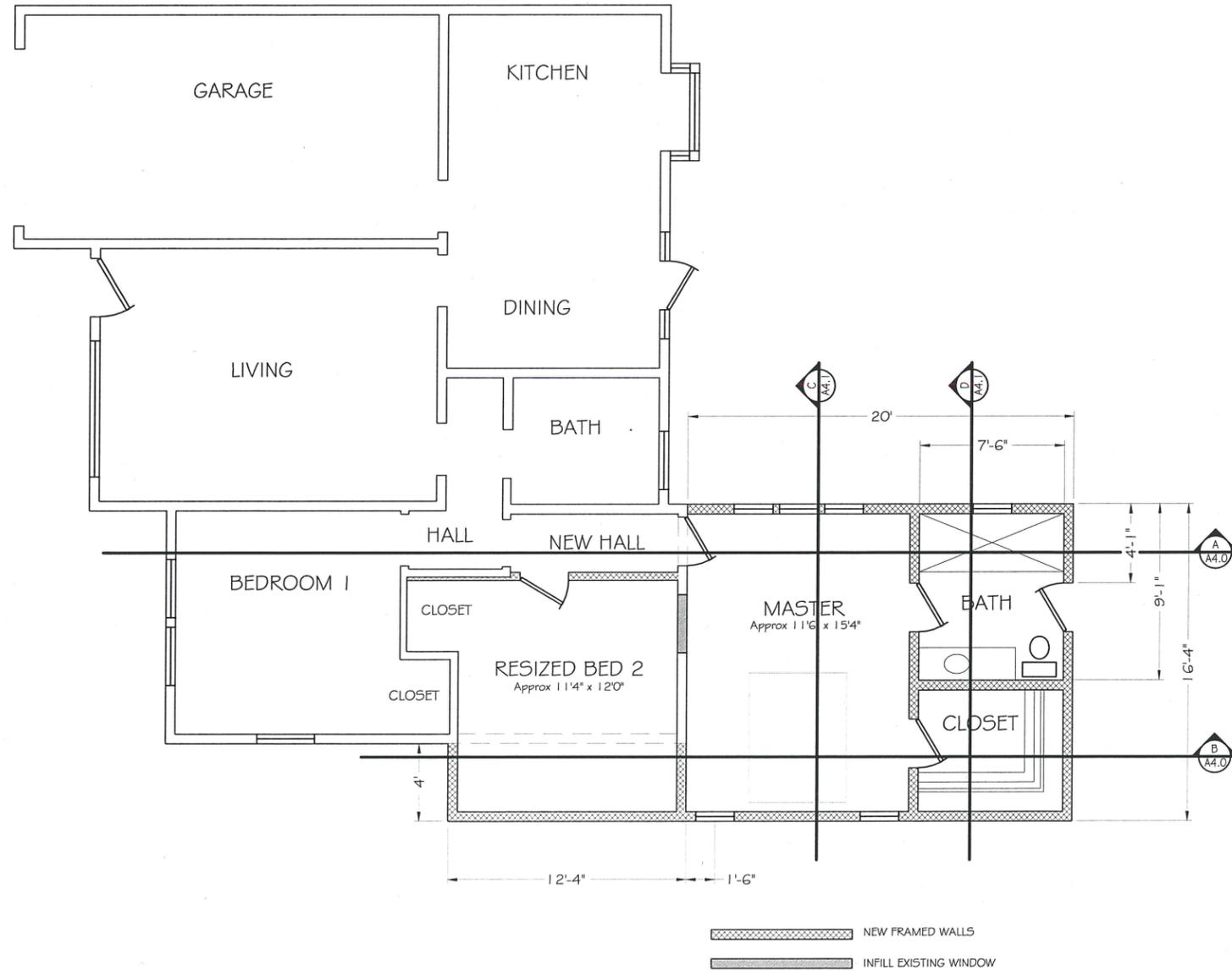
DATE:  
NOV 19, 2014

SHEET TITLE:  
EXISTING PLAN

A1.0



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BILL GRIDER  
805.704.9164



PROPOSED FLOOR PLAN  
SCALE: 1/8" = 1'-0"

# HOOOPER ADDITION

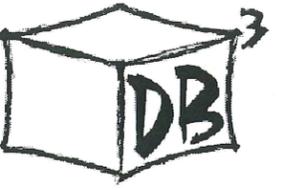
470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
CRAIG HOOOPER  
714.350.6696

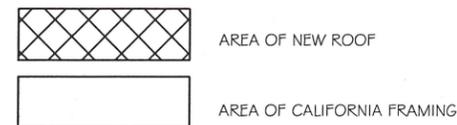
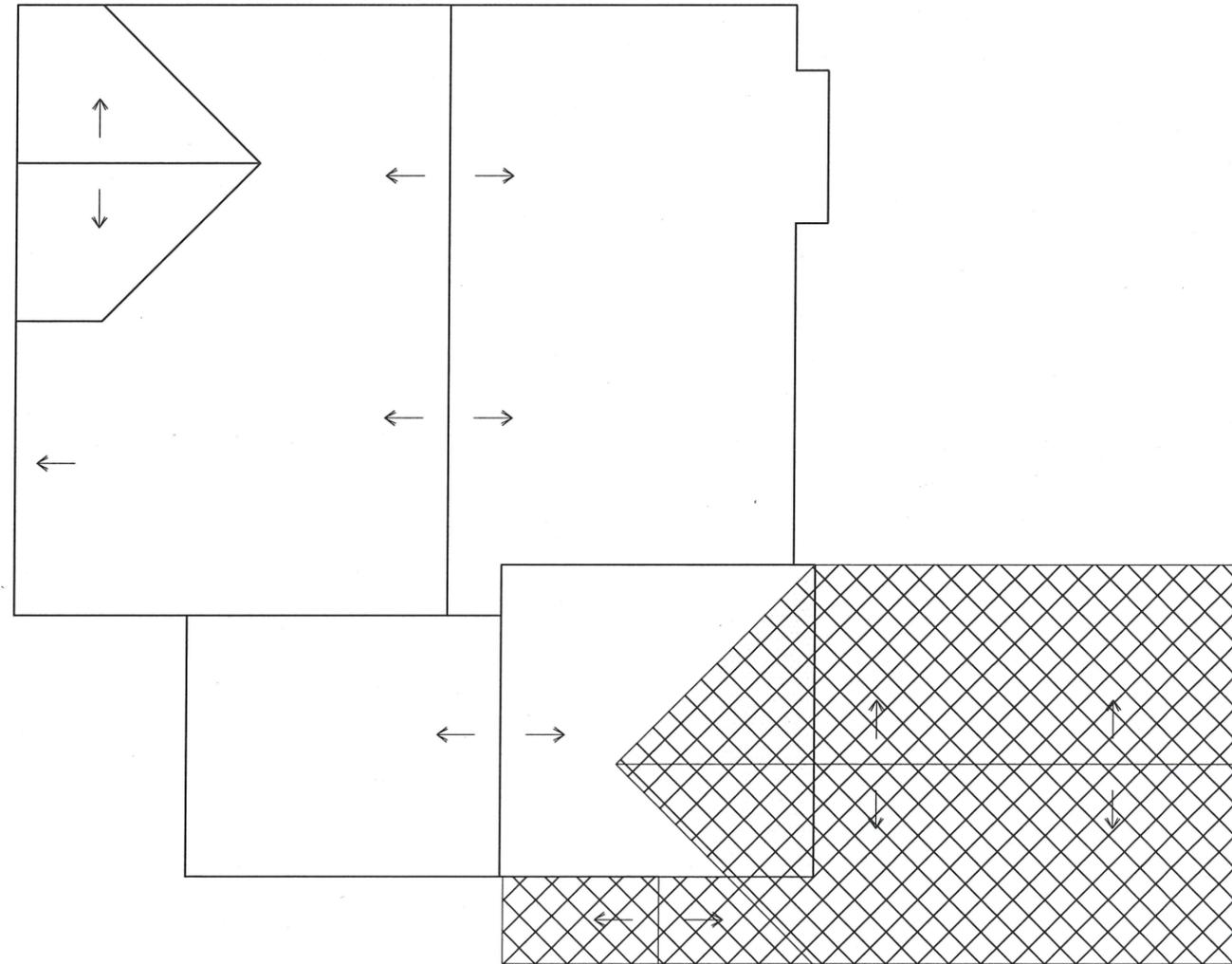
DATE:  
NOV 19, 2014

SHEET TITLE:  
1ST FLOOR PLAN

# A2.0



DB CUBED  
BILL GRIDER  
805.704.9164



ROOF PLAN  
SCALE: 1/8" = 1'-0"

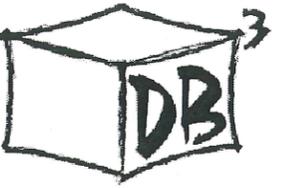
HOOOPER ADDITION  
470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
CRAIG HOOOPER  
714.350.6696

DATE:  
NOV 19, 2014

SHEET TITLE:  
ROOF PLAN

A3.0



DB CUBED  
BILL GRIDER  
805.704.9164

SECTION NOTES:

- 501 EXISTING BUILDING BEYOND
- 502 ENGINEERED ROOF TRUSSES (TYPE A)
- 503 AREA OF CALIFORNIA FRAMING (SHADED)
- 504 TRUSSES SHOWN FULL HEIGHT FOR CLARITY
- 505 NEW CONCRETE FOUNDATION
- 506 EXISTING CONCRETE PERIMETER FOOTING, VIF
- 507 NEW CONCRETE FOOTING ADJACENT TO EXISTING FOOTING, SEE STRUCTURAL.
- 508 EXISTING FLOOR JOISTS
- 509 EXISTING DOOR AND FRAMES
- 510 NEW DOOR AND FRAME
- 511 TILE SHOWER
- 512 ENGINEERED ROOF TRUSSES (TYPE B)
- 513 ROOFLINE IN FOREGROUND
- 514 LINE WHERE SLOPED ROOF MEETS WALL FINISH

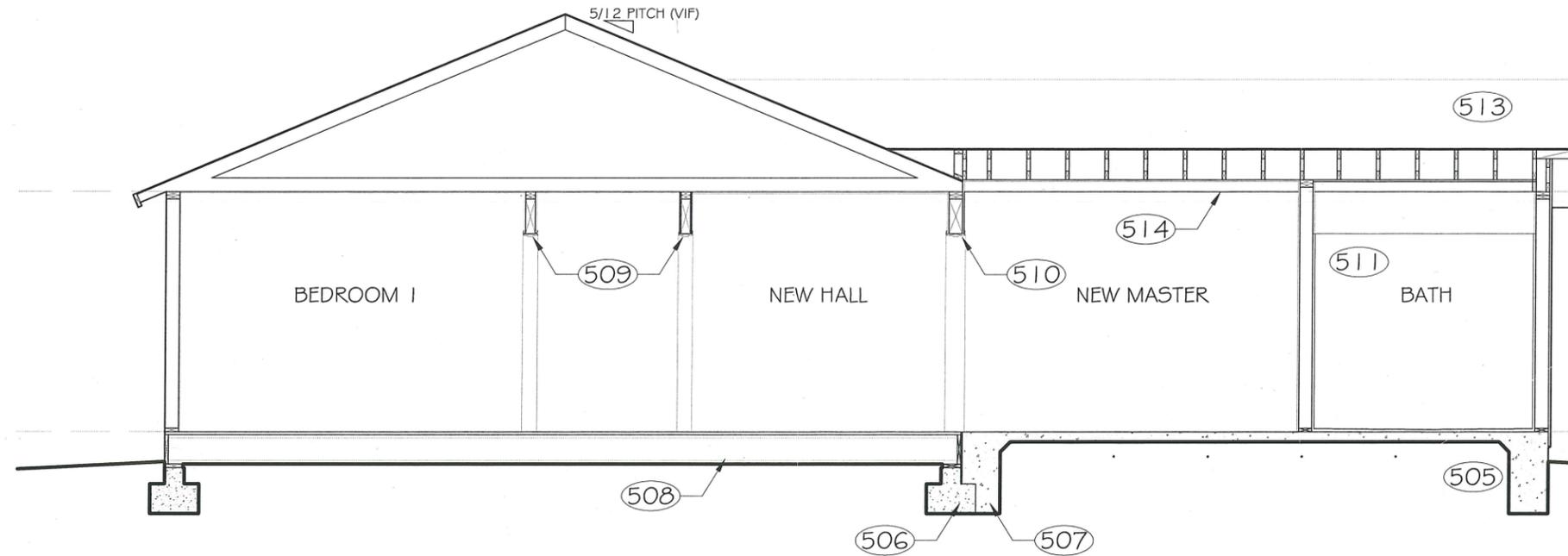
HOOOPER ADDITION  
470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
CRAIG HOOOPER  
714.350.6696

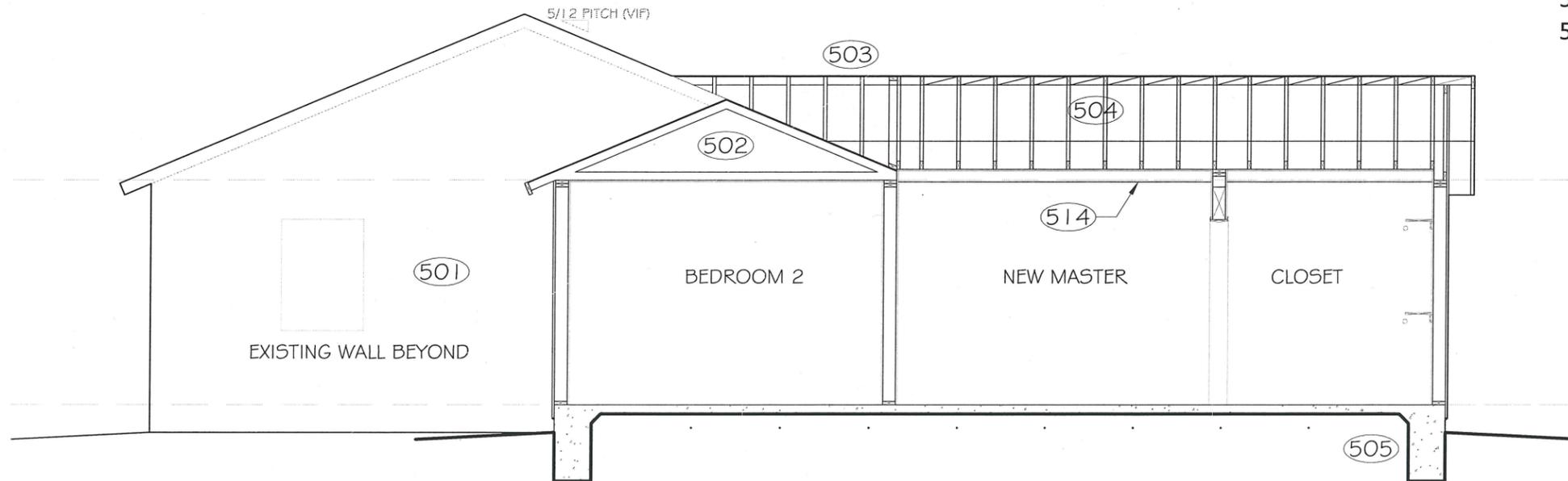
DATE:  
NOV 19, 2014

SHEET TITLE:  
SECTIONS

A4.0



A SECTION A  
SCALE: 3/16" = 1'-0"



B SECTION B  
SCALE: 3/16" = 1'-0"

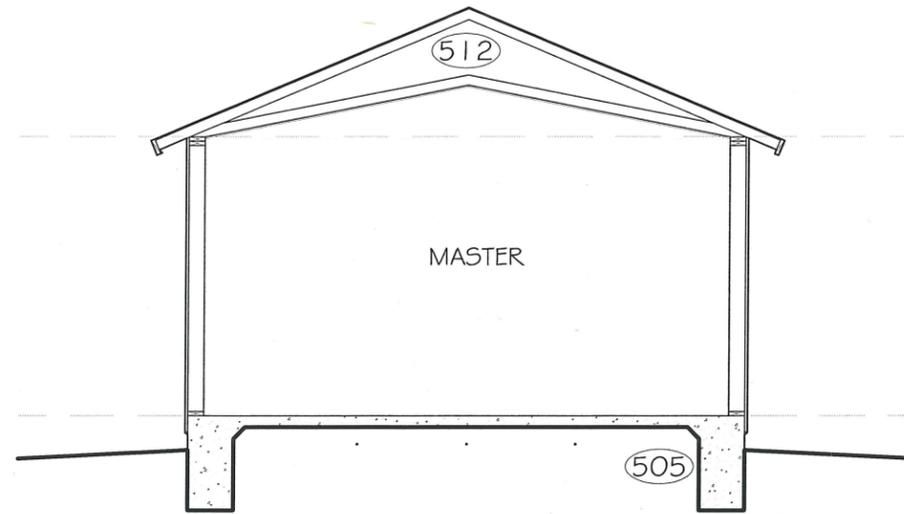


DB CUBED  
BILL GRIDER  
805.704.9164

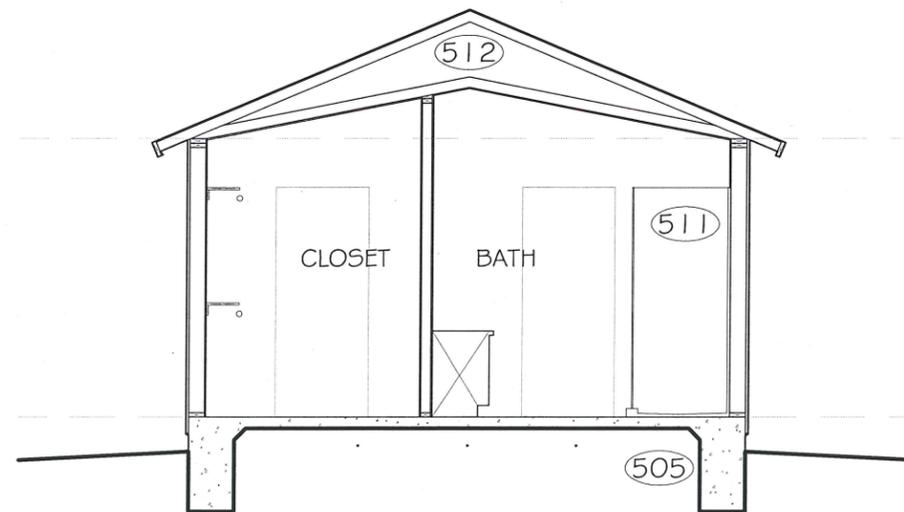
HOOOPER ADDITION  
470 PICO, MORRO BAY, CALIFORNIA

SECTION NOTES:

- 501 EXISTING BUILDING BEYOND
- 502 ENGINEERED ROOF TRUSSES (TYPE A)
- 503 AREA OF CALIFORNIA FRAMING (SHADED)
- 504 TRUSSES SHOWN FULL HEIGHT FOR CLARITY
- 505 NEW CONCRETE FOUNDATION
- 506 EXISTING CONCRETE PERIMETER FOOTING, VIF
- 507 NEW CONCRETE FOOTING ADJACENT TO EXISTING FOOTING, SEE STRUCTURAL.
- 508 EXISTING FLOOR JOISTS
- 509 EXISTING DOOR AND FRAMES
- 510 NEW DOOR AND FRAME
- 511 TILE SHOWER
- 512 ENGINEERED ROOF TRUSSES (TYPE B)
- 513 ROOFLINE IN FOREGROUND
- 514 LINE WHERE SLOPED ROOF MEETS WALL FINISH



C SECTION C  
SCALE: 3/16" = 1'-0"



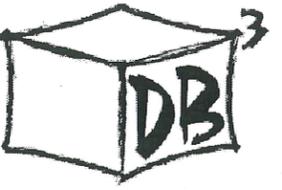
D SECTION D  
SCALE: 3/16" = 1'-0"

OWNER:  
CRAIG HOOOPER  
714.350.6696

DATE:  
NOV 19, 2014

SHEET TITLE:  
SECTIONS

A4.1



DB CUBED  
BILL GRIDER  
805.704.9164

ELEVATION NOTES:

- 401 EXISTING WINDOW
- 402 EXISTING DOOR
- 403 NEW WINDOW
- 404 NEW DOOR
- 405 EXISTING WINDOW TO BE RELOCATED
- 406 REUSE EXISTING WINDOW, SEE NOTE 405
- 407 NO OPENINGS THIS ELEVATION



EXISTING SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



PROPOSED SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

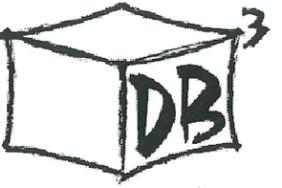
HOOOPER ADDITION  
470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
CRAIG HOOOPER  
714.350.6696

DATE:  
NOV 19, 2014

SHEET TITLE:  
ELEVATIONS

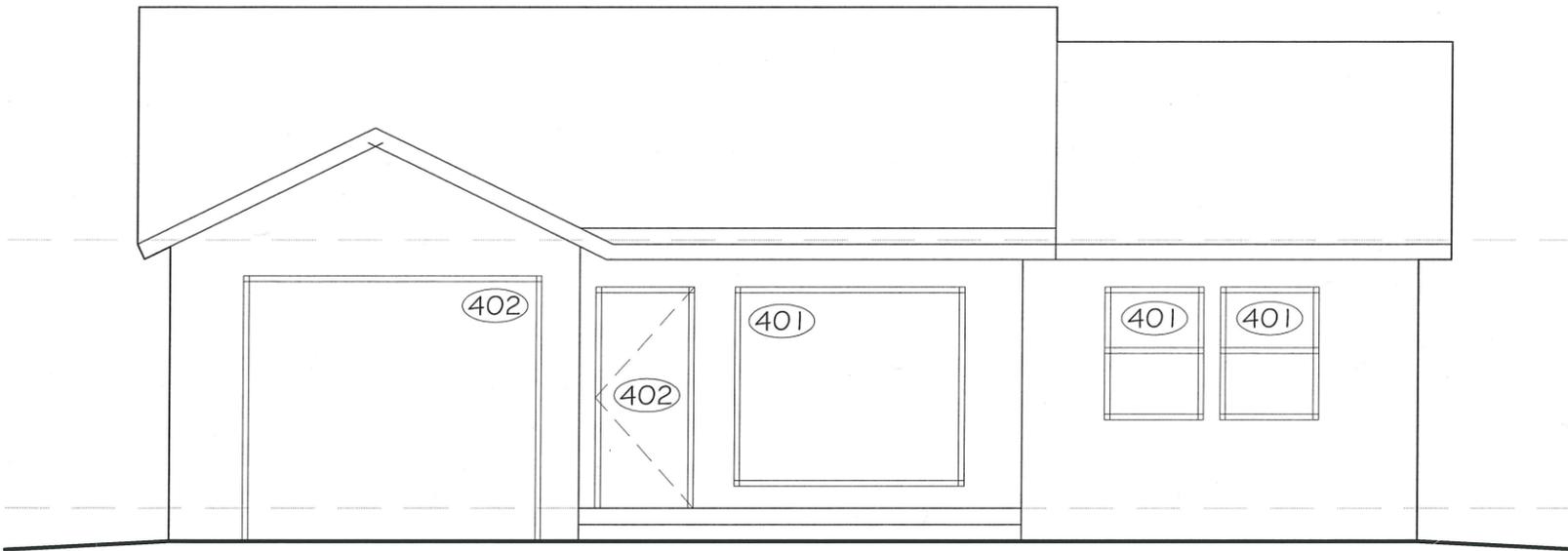
A5.0



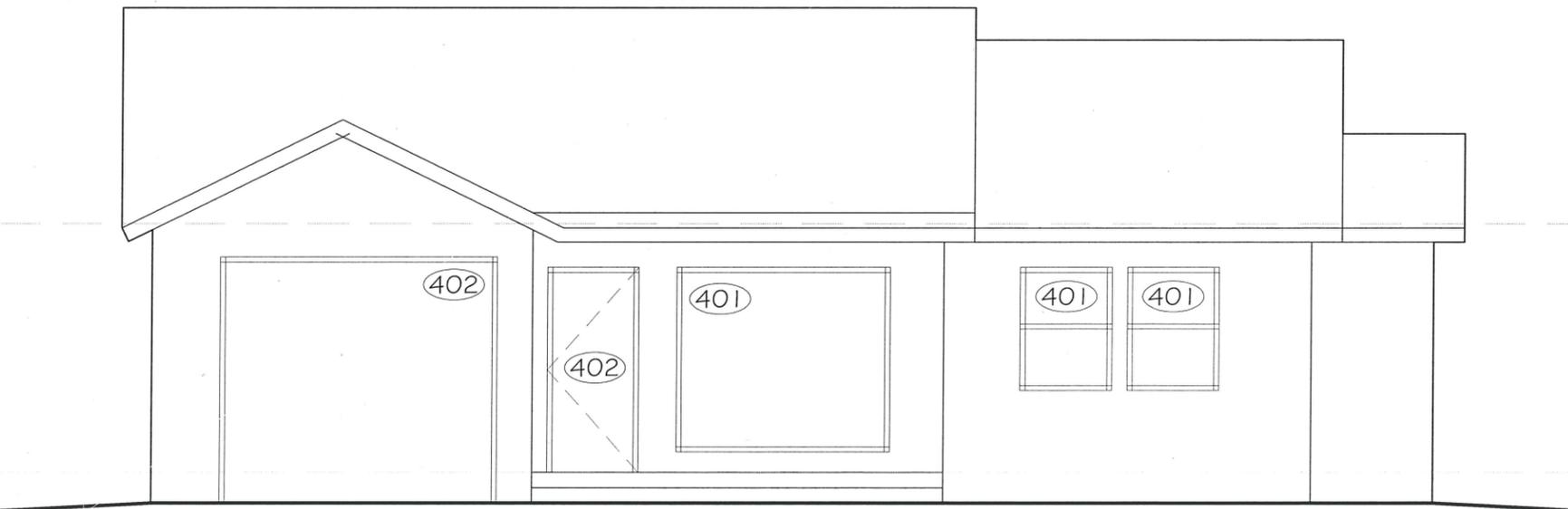
DB CUBED  
BILL GRIDER  
805.704.9164

ELEVATION NOTES:

- 401 EXISTING WINDOW
- 402 EXISTING DOOR
- 403 NEW WINDOW
- 404 NEW DOOR
- 405 EXISTING WINDOW TO BE RELOCATED
- 406 REUSE EXISTING WINDOW, SEE NOTE 405
- 407 NO OPENINGS THIS ELEVATION



EXISTING NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



PROPOSED NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

HOOOPER ADDITION  
470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
CRAIG HOOOPER  
714.350.6696

DATE:  
NOV 19, 2014

SHEET TITLE:  
ELEVATIONS

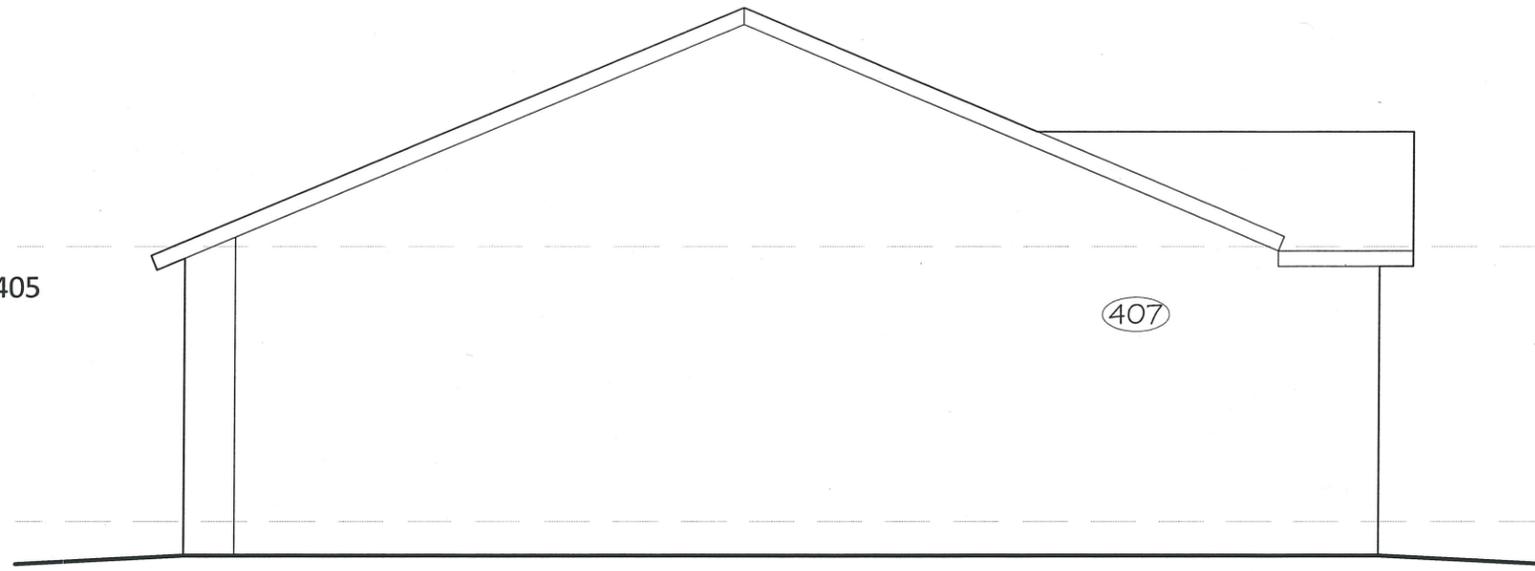
A5.1



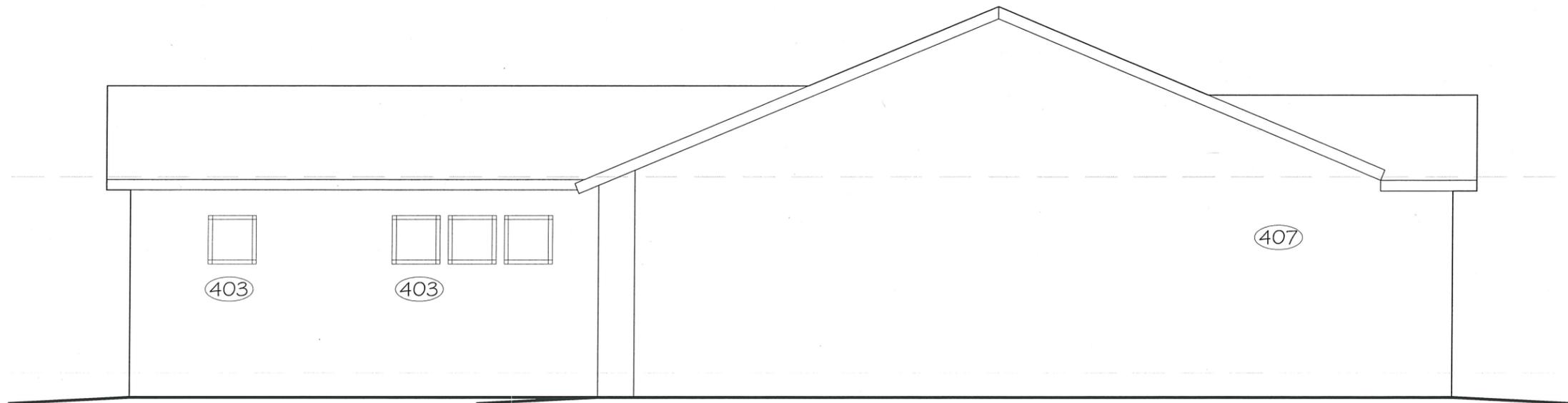
DB CUBED  
BILL GRIDER  
805.704.9164

ELEVATION NOTES:

- 401 EXISTING WINDOW
- 402 EXISTING DOOR
- 403 NEW WINDOW
- 404 NEW DOOR
- 405 EXISTING WINDOW TO BE RELOCATED
- 406 REUSE EXISTING WINDOW, SEE NOTE 405
- 407 NO OPENINGS THIS ELEVATION



EXISTING EAST ELEVATION  
SCALE: 3/16" = 1'-0"



PROPOSED EAST ELEVATION  
SCALE: 3/16" = 1'-0"

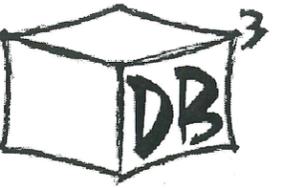
HOOOPER ADDITION  
470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
CRAIG HOOOPER  
714.350.6696

DATE:  
NOV 19, 2014

SHEET TITLE:  
ELEVATIONS

A5.2



DB CUBED  
BILL GRIDER  
805.704.9164

ELEVATION NOTES:

- 401 EXISTING WINDOW
- 402 EXISTING DOOR
- 403 NEW WINDOW
- 404 NEW DOOR
- 405 EXISTING WINDOW TO BE RELOCATED
- 406 REUSE EXISTING WINDOW, SEE NOTE 405
- 407 NO OPENINGS THIS ELEVATION

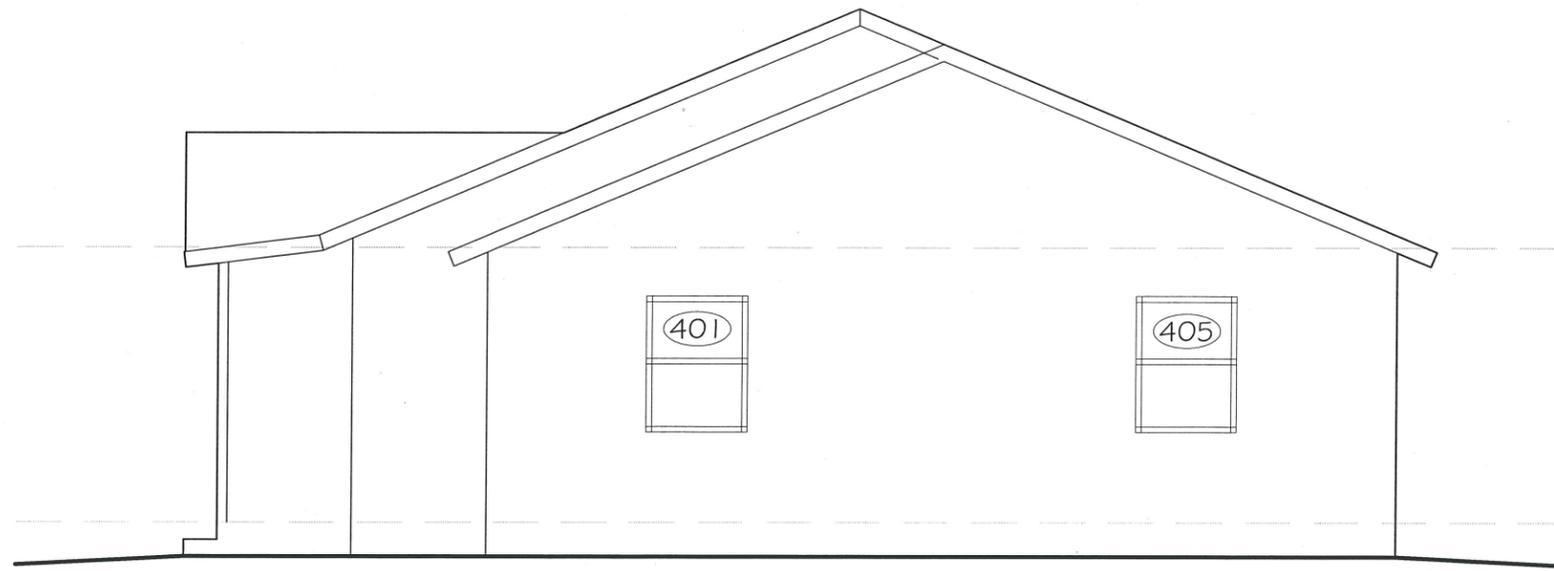
HOOOPER ADDITION  
470 PICO, MORRO BAY, CALIFORNIA

OWNER:  
CRAIG HOOOPER  
714.350.6696

DATE:  
NOV 19, 2014

SHEET TITLE:  
ELEVATIONS

A5.3



EXISTING WEST ELEVATION  
SCALE: 3/16" = 1'-0"



PROPOSED WEST ELEVATION  
SCALE: 3/16" = 1'-0"



AGENDA NO: C-1

MEETING DATE: December 16, 2014

## Staff Report

**TO:** Planning Commissioners

**DATE:** December 16, 2014

**FROM:** Scot Graham, Planning Manager

**SUBJECT:** Design Guidelines

### **RECOMMENDATION:**

Staff recommends that the Planning Commission review the proposed design guidelines for single family homes and provide direction to staff.

### **DISCUSSION:**

The Planning Commission, most recently reviewed sections A – E and K at the November 18<sup>th</sup> Planning Commission meeting. The sections under consideration at this meeting are sections F – J, which were last reviewed by the Commission at the Planning Commission meeting of October 7, 2014.

The major changes requested by the Commission at the October 7<sup>th</sup> meeting are indicated below.

- Section F: remove percentage from materials figure.
- Section G: Soften language in G-2 to reflect an option not a requirement.
- Section H: Soften language in H-1 and provide example of what not to do.
- Section I: Solar access section generated concern related to applicability to Morro Bay. Section I was deleted.
- Section J: Section J becomes Section I. Encourage privacy consideration in relation to new development and provide examples.

Language removed from the Design Guidelines section of the staff report is **~~STRICKEN~~** and language that has been added is identified by *bold italics*.

### **Neighborhood Compatibility**

Neighborhood compatibility can be a somewhat nebulous concept, but in general, the idea is represented by how a neighborhood looks and feels. The basic features that help define a neighborhood include: landscaping, pedestrian routes, street improvements, building

Prepared By: \_\_\_\_\_

Department Review: \_\_\_\_\_

material, architectural style, home size, scale, bulk, proximity of homes to one another, building height, and setbacks.

A majority of the neighborhoods in Morro Bay contain a wide variety of architectural styles, which helps focus policy language on scale, height, bulk and consistency or integrity of the chosen architectural style. To that end staff has reviewed single family residential Architectural Design Guidelines from many sources in order to development the policies provided below.

The intent behind implementation of design guidelines is to conduct design review on all single family residential construction (additions included). The guidelines are meant to implement the neighborhood compatibility policies found in the General Plan and Local Coastal Plan and as such, serve as a basis to provide consistent design review by both City Staff and the Planning Commission.

By applying the Design Guideline as part of the project review process, The City of Morro Bay, has the opportunity to provide positive, constructive direction to the development within the City. The Design Guidelines can save time, facilitate a positive response to community concerns about development proposals, avoid divisive controversy, reduce unnecessary delays and expenses, and most importantly, achieve high quality designs and more livable neighborhoods.

### **Single Family Residential Design Guidelines**

The following guidelines are not meant to encompass the entire range of design possibilities, but instead are meant to provide basic guidance as to what is expected when development is proposed. The policies are not meant to discourage innovative designs nor encourage any specific style or design concept. Variations from these guidelines should be considered when proposed project elements provide for a better project than would be possible adhering to the specific direction provided within the guidelines.

### **Design Guidelines**

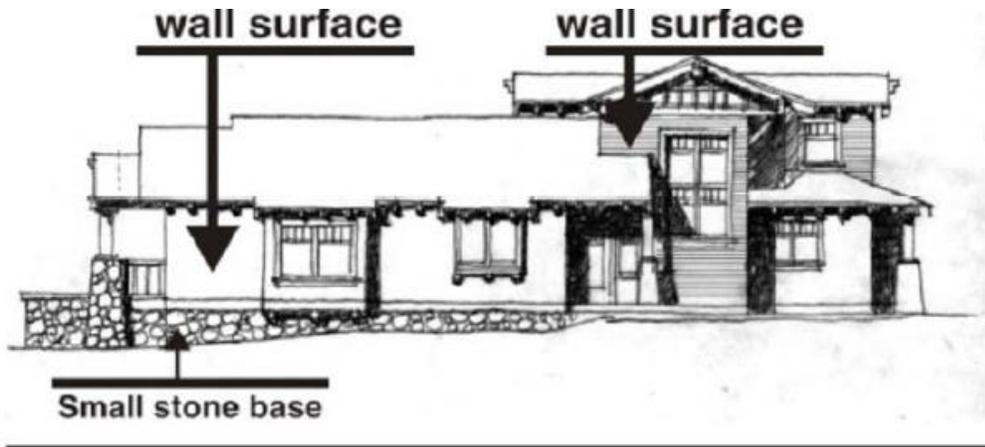
- A. *Relationship to Adjacent Homes...*
- B. *Scale and Mass...*
- C. *Surface Articulation...*
- D. *Building Orientation...*
- E. *Garage Placement...*

#### **F. *Building Materials***

Building materials should be consistently applied and shall be harmonious with adjacent materials. Changes in materials or colors should not occur on the same wall plane. Piecemeal and frequent changes in building materials should be avoided.

1. When using a mix of material, avoid using too many materials.

Avoid using an even split of materials (i.e. 50/50) on facades. It is preferred to have one material as the dominant surface with the second material utilized in a lesser or accent role.





*Use of complimentary building materials and colors palette enhances building design*

### *G. Architectural Elements*

The architectural elements of a building include openings, doors, windows and architectural features such as roof elements, columns and dormers.

1. Architectural Elements within the design should be in proportion to the overall home design.
2. Architectural Elements should also be balanced on the building elevation. **One option to achieve balance is through the** ~~This can be accompanied by vertical and horizontal alignment of the elements.~~



*Some architectural styles require simple shapes and formal symmetry of the doors and windows*



*Avoid too many building elements competing for attention*

#### *H. Additions to Existing Homes*

1. The design of the addition should be consistent with the materials and architectural elements utilized in the existing home. ***If differing materials or styles are chosen for the addition they should be complimentary in nature.***

2. Second floor additions should integrate seamlessly into the overall design of the home. The addition should look like an original part of the home.



*Original structure*



*Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood*

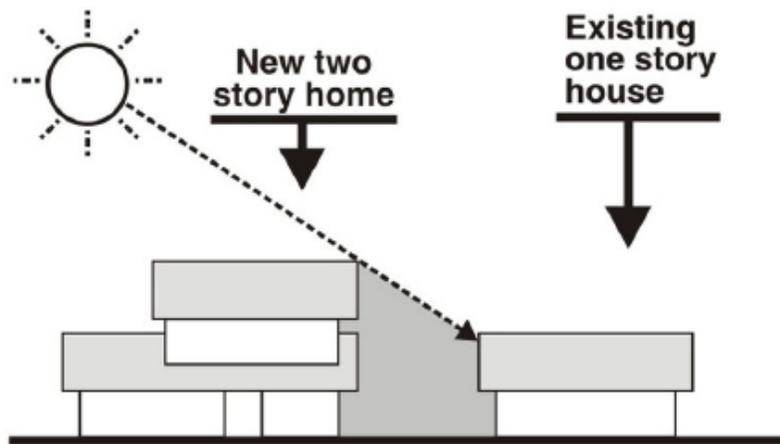


***Addition incorporated into the roof, but roofing material is not consistent with architectural style of the existing residence.***

3. Rooflines of the addition should be compatible with the roof slope of the existing house.
4. Exterior materials of an addition should match or be harmonious with the materials used on the remainder of the structure
5. New windows and other architectural elements should be compatible with the shape, pattern, style, color and materials of the original architectural elements. If all windows are replaced, the new windows should be compatible with the architectural style of the home.

***~~I. Solar Access. Minimize shadow impacts to adjacent properties.~~***

~~Locate structures to minimize blocking sun access to living spaces and actively used outdoor areas on adjacent homes. Section deleted.~~



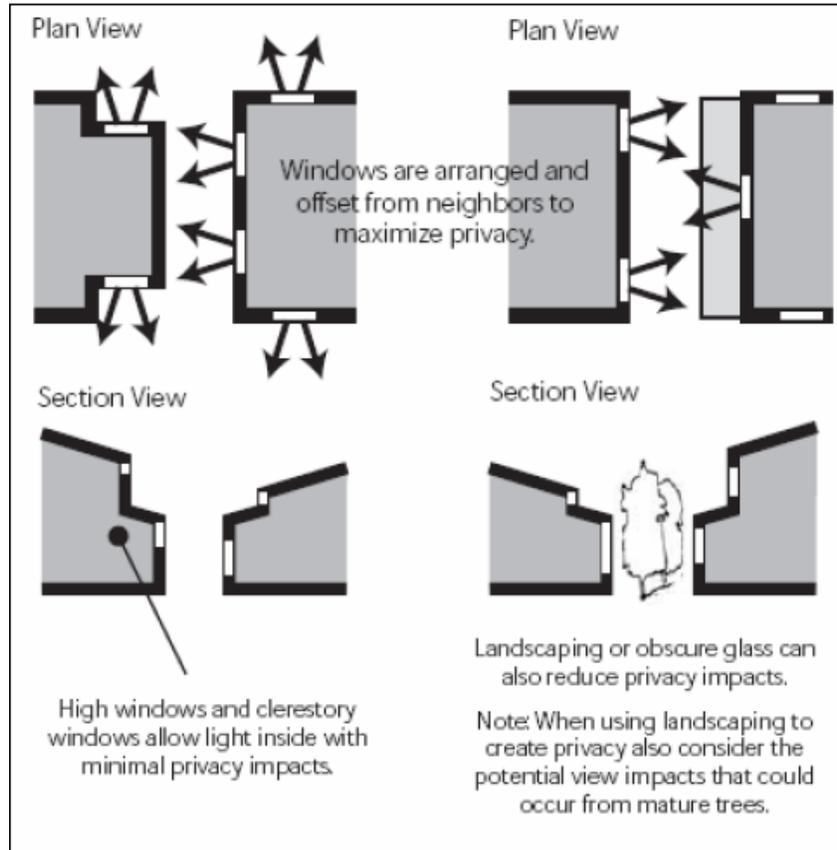
*Avoid second floor masses in locations that would block sun access to adjacent homes*

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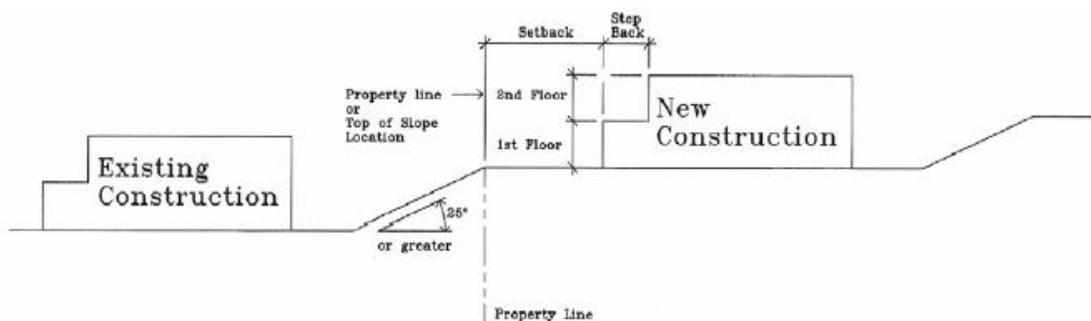
I. **Privacy.** Minimize privacy intrusions on adjacent residences.

***While it may not be possible to ensure complete privacy between homes, given the small lot sizes in the City, designs should attempt to lessen the impacts as much as possible. Possible options for reducing privacy conflicts are noted below.***

1. Place windows to minimize views into the living spaces and yard spaces near neighboring homes.
2. When placing windows in side building walls, ***offset or stagger windows to avoid looking directly into a neighboring room.*** they should be modest in size and not directly opposite windows on adjacent homes.
3. ***Where potential privacy issues exist, utilize smaller windows to help minimize the perception of privacy invasion.***
4. Where possible, ***Other options for reducing privacy impacts between neighboring residences include:*** second floor windows that may intrude on adjacent property privacy should have ***use of appropriate landscaping, designing sill height above eye level or have utilizing*** frosted or textured glass to reduce visual exposure.
5. ***Second floor decks and balconies should be designed to minimize intrusion of privacy on adjacent neighbors.***



- On hillside properties, the walls and roof of the second floor should be setback from the walls and roof of the first floor to increase the space between buildings at the upper levels so as to minimize interference with privacy and views from adjacent properties as shown on the figure below.



**Staff Recommendation**

The Commission should review the revised guidelines and provide comments and/or direction to staff. It is anticipated that the next round of changes will be brought back to the Commission in the form of an actual Design Guidelines publication instead of a staff report format. Staff will likely return to the Commission with a complete Design Guidelines document on January 20, 2015.

The guidelines are intended to be interim in nature, lasting for a one year time period from adoption by the Council. At the end of the one year period, staff will report back to both the Planning Commission and Council on the effectiveness of the guidelines and to receive additional direction related to continuation of their use. The hope is that the interim guidelines can help bridge the gap between today and when the City adopts permanent guidelines through the General Plan/Local Coastal Plan update process.

