



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, January 20, 2015
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Vice-Chairperson Gerald Luhr
Commissioner Richard Sadowski

Commissioner Michael Lucas
Commissioner Katherine Sorenson

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Public Services' Office Assistant at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

- A-1 Approval of minutes from the Planning Commission meeting of December 16, 2014
Staff Recommendation: Approve minutes as submitted.
- A-2 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

- B-1 **Case No.:** #UP0-391
Site Location: 510 Fresno, Morro Bay, CA
Proposal: Request for conditional use permit for an addition of more than 25% of existing floor area to a nonconforming single family dwelling. The applicant proposes to add a 444.5 square-foot garage, a 383 square foot second floor shop, and 94.4 square feet of second story decking to an existing 1700 square foot dwelling with an attached 660.7 square foot garage – an increase of 35% in floor area. The project is outside the Coastal Commission Appeal Jurisdiction.
CEQA Determination: The project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. That exemption applies to additions to existing structures provided that the addition will not increase the floor area by more than 50% or 2,500 square feet, whichever is less.
Staff Recommendation: Approve with conditions.
Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

- B-2 **Case No.:** #UP0-444
Site Location: 176 Java, Morro Bay, CA
Proposal: Request for coastal development permit in the Coastal Commission Appeal Jurisdiction for an addition of more than 10% of existing floor area to a single family dwelling. The applicant proposes to add 571 square feet of habitable floor area to an existing 1,706 square foot dwelling while converting 162 square feet to enlarge the garage – an increase of approximately 37%. The project proposal illustrates a total of 2,115 square feet of habitable floor area with a 590 square foot attached garage, 110 square foot front porch and 507 square feet of deck.
CEQA Determination: The project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. That exemption applies to additions to existing structures provided that the addition will not increase the floor area by more than 50% or 2,500 square feet, whichever is less.
Staff Recommendation: Approve with conditions.
Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

C. UNFINISHED BUSINESS - None

D. NEW BUSINESS – None

E. PLANNING COMMISSIONER COMMENTS

F. DIRECTOR AND PLANNING MANAGER COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on February 3, 2015, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

AGENDA ITEM: A-1

DATE: January 6, 2015

ACTION: _____

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – DECEMBER 16, 2014
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Robert Tefft	Chairperson
	Gerald Luhr	Vice Chairperson
	Richard Sadowski	Commissioner
	Katherine Sorenson	Commissioner
STAFF:	Rob Livick	Public Services Director
	Scot Graham	Planning Manager
	Joan Gargiulo	Contract Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

Vice-Chairperson Luhr thanked the Public Works and Water Department staff for their response when he had a flooding issue at his residence.

Commissioner Sadowski wished everyone a Merry Christmas and a safe holiday.

Chairperson Tefft announced there was a meeting held a few weeks ago for the initial scoping meeting for revising the General Plan and Local Coastal Plan noting public input would be welcomed.

PUBLIC COMMENTS

Chairperson Tefft opened Public Comment period and seeing none closed Public Comment period.

PRESENTATIONS – NONE

A. CONSENT CALENDAR

A-1 Approval of minutes from the Planning Commission meeting of November 4, 2014
Staff Recommendation: Approve minutes as submitted.

MOTION: Commissioner Sorenson moved to approve the Consent Calendar. Vice Chairperson Luhr seconded the motion and the motion passed unanimously. (4-0)

B. PUBLIC HEARINGS

B-1 Case No.: UPO-000-008

Site Location: 470 Pico St.

Conditional Use Permit and Parking Exception: The applicant proposes to add a single story addition totaling 376 square-feet to an existing 887 square-foot nonconforming residence with an attached 275 square-foot garage. The parking exception is to allow a single car garage with a second parking space to be located in

tandem in the driveway. The project is located within the R-1 residential zone and outside of the Coastal Commission Appeals Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15301, Class 1

Staff Recommendation: Conditionally approve the Conditional Use Permit and Parking Exception.

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

Gargiulo stated to the Commission the correct Case Number was UP0-396/AD0-096 instead of UP0 000-008 as stated on the agenda.

Gargiulo presented the staff report.

Chairperson Tefft opened Public comment period.

Vice-Chairperson Luhr requested to see the photos of the project again.

Craig Hooper, Applicant, stated the addition to the property was due to the fact his wife was expecting again and they will need the extra room.

Commissioner Sorenson stated support of the plan and agrees on the addition and how it configures with the existing structure on the lot.

Vice-Chairperson Luhr stated the plans did not list details on materials for the structure. Gargiulo responded the materials were not included but will reflect the same materials as the existing materials on the structure.

Vice-Chairperson Luhr questioned if the existing trees would be affected. Graham responded the home owner will not be moving nor doing any changes to the tree. Livick reviewed the City's tree ordinance with the Commission.

Commissioner Sadowski stated support for the plan.

Chairperson Tefft concurred the plans were consistent and noted the parking exception would have to be reviewed again if there were future additions.

Commissioner Sorenson supported the idea of reviewing parking exemption again if needed.

Chairperson Tefft, Vice-Chairperson Luhr and Graham discussed the parking exemption on a future project. Graham responded it would come back for review because the permit runs with the land but noted a fifth condition could be added to ensure a future project would come to the Commission for review of the parking exception. Commissioners concurred to add the condition.

MOTION: Vice-Chairperson Luhr moved to approve resolution PC 28-14 with amended fifth condition that any future addition shall require a re-review of the parking exception by the Planning Commission. Commissioner Sadowski seconded the motion and the motion passed unanimously. (4-0)

C. UNFINISHED BUSINESS

C-1 Discussion of Design Guidelines

Staff Recommendation: Review, comment, and provide direction.

Graham presented the changes with the Commission.

Commissioner Sadowski stated the visuals in the guidelines are really helpful.

Vice-Chairperson Luhr stated he was concerned about complimentary materials. He would like to encourage architectural excursions and go back to the previous opening phrase. Graham responded he changed the introductory statement in the design guidelines noting it encourages designs other than what is in the guidelines noting people would be able to ask for what they want, but it would have to be approved by the Planning Commission.

Chairperson Tefft stated he would like to revisit balconies and decks noting it should say this is something to think about when designing your project. Graham stated he could strike out the wording regarding balconies and decks and replace it with soft language.

Vice-Chairperson Luhr & Chairperson Tefft discussed issues regarding wording in Section I, Number five and six. Chairperson Tefft asked Vice-Chairperson Luhr if he would be opposed to softening the language in Section I, number five. Vice-Chairperson Luhr responded his concern would be problems with property rights according to the wording in Section I, Number five and six. Commissioners Sorenson and Sadowski stated they were comfortable with Number five. Chairperson Tefft stated he is proposing to give staff a forum to have a discussion with applicants. Livick stated these were just guidelines, not regulatory. Graham suggested options regarding privacy for balconies and decks.

Graham and Vice-Chairperson discussed privacy issues and how this should not be regulated. Vice-Chairperson Luhr suggested wording in number five be stricken or wording be softened. Chairperson Tefft, Vice-Chairperson Luhr and Commissioner Sorenson all suggested wording for number five. All agreed on the wording Chairperson Tefft suggested stating in the design of second floor decks and balconies consideration should be given to the privacy of adjacent neighbors.

Commissioner Sorenson stated Section I, Number six would need to be changed noting the wording sounds like its telling people how they should build. Chairperson Tefft stated it only points to one concept noting he would like to see some general wording. Graham asked the Commission if they wanted number six to remain. Vice-Chairperson Luhr stated with number five re-worded, number six could be stricken. Commissioner Sadowski concurred with Vice-Chairperson Luhr but noted his main concern was drainage. Graham responded drainage is addressed in the Storm Water Regulations. Commissioner Sorenson stated she was fine with number six being stricken. Graham stated if number six was stricken, it could always be brought back for reconsideration.

Chairperson Tefft and Graham discussed how the guidelines would be used when an applicant comes in with a project.

Chairperson Tefft & Graham discussed solar panels and the guidelines on structures.

Commissioner Sorenson asked about the next steps. Graham responded he will put the guidelines in a publication format for the January 20 meeting. Commissioner Sadowski concurred with staff on making guidelines user friendly.

Vice-Chairperson Luhr proposed staff also process new guidelines for commercial businesses. Graham responded he would need to get authorization from City Council. Commissioner Sorenson concurred with Vice-Chairperson Luhr. Commissioner Sadowski also concurred with getting authorization from City Council. Chairperson Tefft stated there would be a need for stakeholder input.

D. NEW BUSINESS - NONE

E. DIRECTOR AND PLANNING MANAGER COMMENTS

Livick stated the City Council at its last meeting expressed its preference for the Rancho Colina site for the new location for the new Water Reclamation Facility with the next steps being facilities master planning.

Graham stated the draft plan for the General Plan/LCP update from the previously held workshop will be reviewed by staff and come to the City Council and Planning Commission for review at their next joint meeting date.

F. ADJOURNMENT

The meeting adjourned at 7:29 p.m. to the next regularly scheduled Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on Tuesday, January 6, 2015 at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Rob Livick, Secretary



City of Morro Bay
Public Services/Planning Division
Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning Division
New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.
Approved projects are deleted on next version of log.

Agenda No: A-2

Meeting Date: January 20, 2015

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Hearing or Action Ready									
1	McCallister	176 Java St.	7/21/14	CP0-444	Coastal Dev. Permit for addition of > 10% to existing SFR within ESH Overlay and Coastal Appeals Jurisdiction.	Addition that exceeds 10% in appeals area requires CDP. Correction letter sent 8-25-14. corrections and bio report submitted 10/16/14. Under review. JG. Correction letter sent 10/24. JG. Met with applicant 11/10/14. Resubmitted and anticipate 1-20-15 PC hearing date. JG	BC- conditionally approved.		
2	Lowe	510 Fresno	10/20/14	UP0-391	Conditional Use Permit for Addition to a Non conforming single family residence: add 508 sf 2 car garage, 383 sf storage room above, with 93 sf deck.	Addition of 2 car garage 508sf and 383 sf 2nd story storage room above w/ 93sf deck. Sent incomplete letter 11-13-14. Needs site survey and color and materials. Project complete and ready for noticing for 1-20-15 PC.		JW - This project is conditionally approved for PW.	
3	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. C.J. Met with environmental consultant to review CEQA requirements 4-17-14. Seeking additional fee estimate for CEQA review. Met with consultant 7-2-14. Revised fee estimate provided to applicant 7-25-14. Draft environmental MND received from consultant and under review for completeness. Info hold letter sent 9-2-14. Resubmitted 10-28-14. Initial Study/MND complete & routed to State Clearinghouse 1-2-15. Anticipate 2-17-15 PC hearing. C.J.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	PW requirements will be addressed with Building Permit review	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
3	Nagy	371 Piney	3/20/14	CP0-427	Admin Coastal Dev. Permit for new 3,022 square-foot SFR and garage, plus deck and balcony.	Received 3/25/14. C.J. Correction letter sent 4/25 NC. Resubmittal received 5/21. Corrections sent 6-3-14 and 7-10-14. WM Resubmittal received 10-29. Noticed 11/14/14. Submittal of 2 Conflicting surveys being reviewed.	BC- conditionally approved.	JSW- conditionally approved.	
30 -Day Review, Incomplete or Additional Submittal Review									
4	Groom	3039 Ironwood	12/4/14	Modification to CP0-422	Modification to Coastal Permit for a change in exterior finish.	Under review for parking conformance. JG. Need copy of prelim. title report and easement report. 12/5. JG. Approval pending page revisions from contractor. 1/15			
5	Garcia	430 Nassau	12/3/14	UP0-399	Addition to Non-conforming House	Under review. Complete. 2/3/15 PC hearing date. JG	Fire- conditionally approved 12/10/14	BCR for rw 12/15/14	
6	Appleby	381 Fresno	11/26/14	UP0-398	Conditional Use Permit for construction of a 15' x 35' storage shed & 37' x 15'6" carport	Under review. JG. Incomplete letter sent			
7	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight		RPS disapproved on 12/15/14 since proposed pole site will be removed during undergrounding project	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
8	Verizon / Knight	1111 Main	11/19/14	UP0-395	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Denied due to future loss of pole. Spoke with Tricia Knight. Waiting on her decision as to how to move forward		Rps disapproved location on 12/15/14 since no parking is available for maintenance vehicles	
9	Garcia	500 Kings	11/19/14	UP0-393/CP0-455	Conditional Use Permit and Coastal Development Permit. Initial Review: 6 dwelling units on two adjoining lots	Under Review. WM/JG. Incomplete letter sent. WM			
10	Najarian	2295 Juniper	10/13/14	CP0-454	Administrative Coastal Development Permit for a new SFR on vacant land	New SFR on vacant lot. Very incomplete plans. Correction letter sent 10-21-14. Resubmittal received 11-2014. WM	BC- incomplete	ME/DH - conditionally approved 10/23/2014. Comments in memo. Resubmitted 11/25/14	
11	Christensen	670 Shasta	10/9/14	UP0-390/ AD0-095	Conditional Use Permit and Parking Exception for SFR Addition of greater than 25%	Addition greater than 25% to a nonconforming structure plus parking exception to allow a single car garage where two spaces are required. Needs historical eval. Incomplete letter sent 10/23. JG	BC- conditionally approved.	RPS - Conditionally Approved per memo of 10/23/14	
12	Fowler	1185-1215 Embarcadero	10/6/14	UP0-058	Precise Plan submittal for landside improvements	Under review. Incomplete letter 11-5-14. CJ. Fire comments emailed to applicant 11-26-14. Resubmittal received 12/29/14.			
13	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story building (retail/restaurant use) & outdoor improvements	Under review. Deemed incomplete. Letter sent 10-13-14. CJ Waiting on resubmittal	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14	
14	Verizon / Knight	750 Radcliffe	8/13/14	CP0-449/ UP0-385	CDP and CUP for upgrades to telecommunications facility	Correction letter sent 9-17-14. CJ. Resubmittal received 12-16-14 and response given. Waiting on minor plan changes prior to Feb. PC hearing.	BC- conditionally approved.		
15	Salin	845 Ridgeway	8/8/14	CP0-448	Admin Coastal Development Permit for new SFR	Correction letter sent 8-28-14. with follow-up direction emailed 9/10/14. Confirmed with Applicant's Representation 9-30-14. Property older than 50 years requires historical evaluation per CEQA. Historical study in progress. Received neighborhood letter/emails. CJ.	BC- conditionally approved.	DH/ME- Began resubmittal review 10/28	
16	Wordeman	2900 Alder	7/28/14	CP0-447	Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.	Under Review. Correction letter sent 8-27-14. CJ.	BC- conditionally approved.		
17	Romeiro	219 Marina	7/22/14	CP0-446	CDP: Addition > 10% to Non conforming SFR in Coastal Appeals Jurisdiction	Addition that exceeds 10% in appeals area requires CDP. Incomplete letter sent 9-23-14. WM.	BC- conditionally approved.		
18	Johnson	301 Little Morro Creek Rd	6/26/14	CP0-442 & UP0-081	Coastal Dev. Permit and Special/Interim Use Permit for new BMX Bike Park	Under Review. Correction letter sent 8-26-14. Meeting held 9-9 w/ Applicant to discuss outstanding issues. CJ. Waiting on resubmittal	BC- incomplete	BCR- Conditionally improved with stormwater exemption. Needs floodplain dev. Permit	
19	Frye	250 & 244 Shasta Street	6/17/14	CP0-213 Amendment	Amendment to CP0-213 (amendment to original 2006 CDP for 250 Shasta)	Amendment to Administrative Coastal Permit CP0-213 to allow a north side yard setback of less than the required 5 feet at 244 Shasta. Including encroachment of garage into required side yard setback and allow home at 0 ft. setback where 2006 CDP included demolition in the project description. Correction letter sent 8-28-14. 2nd letter sent 9-18-14 regarding administrative permit modification for a non-conforming structure. Spoke with applicant 10-27. CJ	BC- incomplete	BCR_ 7/8/13 cond appr. Complete frontage improvements required	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
20	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ. Visited site to review project 10-24-14. Concurrent request sent re bluff to Coastal Commission 10-27-14. Discussed project with Coastal staff 11-18-14 with referral to CCC Geologist 1-2015. CJ.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	
21	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. CJ	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17. 7/22/14 Resubmittal review underway	
22	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing.Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. J.G. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	See above	
23	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant is preparing Biological Report. Biological report received 3/13 and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ environmental consultant re completion of environmental 4/7 CJ. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14. CJ.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date
Planning Commission Continued projects									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
24	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 CJ Met w/ Applicant 2-28-14 to review process - CJ. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7. Draft initial study under review and plans resubmitted 6/25/14. WM. MND routed to State Clearinghouse with tentative PC hearing date for 9/2/14. Correspondence received from Coastal Commission and Ca Dept of Fish and Wildlife regarding environmental. Applicant addressing concerns. PC continued to date uncertain. Met with Applicant 9-30-14. Addendum to Bio report received 11/11. Need to revise and recirculate MND. Discussed project with Coastal staff in meeting 11-18-14. WM	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RS/DH 7/22/14 under review	
25	Gonzalez	481 Java	12/30/13	UP0-374	Conditional Use Permit for non-conforming single-family residence. Addition of 578 sf plus 112 sf of decking	KM - Under initial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC. Continued to a date uncertain by Planning Commission at the 6/3 meeting to address parking non-conformities. WM. Resubmitted 9/26/14. Met with applicants regarding need to provide workable parking on site. WM	BC- conditionally approved.	BCR - Began resubmittal review 9/30/14	
26	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	
Environmental Review									
27	City of Morro Bay	N/A			MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	
Grants									
28	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
29	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14.	No review performed.	N/R	
30	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.			
Project requiring coordination with another jurisdiction									
31	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
32	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.	
Preapplication projects - None currently									
Final Map Under Review									
33	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
34	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07. Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
35	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	Parcel Map. 3 parcels and an open space parcel. A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14. Sent Intent to Deem Withdrawn letter on 9-2-14. JG. Request to keep project open 10/2014	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
36	Lucky 7	1860 Main	3/12/13	CP0-394	Construct Fuel Island Canopy & Initial Study/MND	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. Waiting on Applicant to sign mitigations. WM. Sent Intent to Deem Withdrawn letter 8-28-14. JG.	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	
37	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	Upgrade of unmanned telecommunications facility	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM. Intent to Deem Withdrawn letter sent 8-28-14. JG. Spoke with applicant 9-16, intends to resubmit. JG.	BC- conditionally approved.	BCR- ADA ramp upgrade required	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
38	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. Applicant requested to keep project open 9-25-14.	Please route project to Building upon resubmittal.	N/A	
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing									
39	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
40	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review performed.	N/A	
Projects Appealed or Forwarded to City Council									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
41	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop to be held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R	
Projects in Building Plan Check									
42	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	
43	Hill	445 Arcadia	7/8/14	B-30204	SFR Carport/ Deck	CJ - Corrections sent 7-14-14. Left msg w/ applicant requesting site visit 9/25/14. Approved 10/14/14. CJ.	BC- Resubmitted 9/10/14. Approved 9/26	JW-Disapproved, Correction Memo filed 7/18/2014; JW-Approved 10/28/2014	
44	Hibbard	990 Balboa	12/22/14	B-30343	SFR Addition				
45	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC.	
46	Beckett	175 Easter	8/19/14	B-30245	SFR Add: 735 sf living, 419 sf garage, 285 sf decking	Approved 8-21 CJ	BC- under review.	JW- 10/21/14 corrections needed.	
47	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14. Pending CDP approval. CJ. Correction letter sent. JG	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed. JW- 9/9/14 2nd Submittal: Corrections and SWR Video needed. JW- 12/16/14 SWR Video needed	
48	Caldwell	801 Embarcadero	8/18/14	B-30250	Commercial Hood System		BC- returned for corrections 10/8/14.		
49	Fowler	1213 Embarcadero	9/11/14	B-30270	Phase 1-B Water Site Improvements	Requested correction 10-7-14 - CJ	BC-under review.	RPS - Disapproved per memo of 10/31/14	
50	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation or stabilization of excavated area	
51	Buquet	647 Estero	3/14/14	B-30129	New SFR: 1662 sf living, 577 sf garage, 564 sf unfinished space, and 230 sf deck	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
52	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG	BC-on hold pending Planning process.	RPS - No PW comments if street access is not required for storage	
53	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car gargea (508 sf) w/ storage (383 sf) above, and 93 sf deck	Corrections sent 8-11-14. WM.	BC- returned for corrections 8/22/14.	Assigned to ME/DH for review	
54	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit: 300 sf attached studio (27 new sf and convert 273 sf)	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
55	Meissner	1387 Hillcrest	7/31/14	B-30226	New SFR: 2,073 sf with 570 sf garage, 108 sf deck, and 975 sf of unconditioned under floor area.	Corrections sent 8-22-14. WM.	BC- under review		
56	Romero	2931 Ironwood	12/12/14	B-30339				To BCR for review 12/15/14	
57	Groom	3039 Ironwood	1/15/14	B-30084	New SFR: 2205 sf living, 510 sf garage, and 290 sf decking	Needs CDP.	BC-Ready to Issue 7/10/14.	BCR-7/1/14 approved. SW O&M plan rec'd 7/10/14	
58	Sotello	420 Island	6/30/14	B-30192	New SFR: 1678 sf living, 482 sf garage, 106 sf decking	Needs CDP.	BC- Returned for correction 10/2/14.		
59	McCallister	176 Java	6/3/14	B-30179	SFR Remodel	Project exceeds 10% in coastal appeals area. Will require a CDP prior to Building. CJ	BC-Returned for corrections 6/18/14.	BCR- under review	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
60	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Return for resolution of Planning issues	
61	Castro	1105 Las Tunas		B-30342	Change flat roof to 4/12 pitch and electrical				
62	AT&T	788 Main	6/23/14	B-30194	Recycling Facility and Site Improvements	Correction sent 7-14-14. WM	BC-under review.	RPS -Conditional Approval with modifications per memo of	
63	Dyson	1177 Main	8/18/14	B-30248	Covered Patio		BC-Returned for corrections 9/8/14.		
64	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13.	BC-returned for corrections 12/16/13.	N/R	
65	Kolb	685 Morro	12/22/14	B-30344	Clinic accessibility remodel & HVAC upgrade				
66	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved	BC-returned for corrections 10/2/14.		
67	Hammond	2621 Nutmeg	1/13/15	B-30355	Remove top half of retaining wall due to stem wall failure and new wood deck				
68	Najarian	471 Nevis	11/14/14	B30324	New SFR			ME: Needs erosion control plan & sewer video	
69		433 Oahu	11/10/14	B30280				ME Conditionally approved 12/2	
70	Wikler	405 Pacific	12/11/14	B-30338				To BCR for review 12/15/14	
71	Nagy	371 Piney	8/11/14	B-30237	New SFR: 3,022 square-foot SFR and garage, plus deck and balcony.		BC-out for corrections.		
72	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
73		60 State Park Rd	11/3/14	B-30312	Public Area Remodel - Phase 2	Approved 11-6-14. CJ.		RPS - Architectural remodel only. No utility or PW improvements warranted for this phase	
74	Williams	429 Tulare	12/29/14	B-30346	Remodel & SFR Addition of 269sf				
75	Wammack	505 Walnut	12/31/13	B-30076	New SFR: 2611 sf living, 489 sf garage, 190 sf decks and covered porch	CJ - needs CDP. Appealed. Ready to be noticed.	BC-on hold pending Planning process.	BCR sidewalk deferral agreement	
76	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition: 594 sf living and 340 sf decking	NC - Corrections sent 4/25. Corrections sent 12/18/14 WM.	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	
77	Nucci	529 Zanzibar	12/9/14	B-30337	SF Addition			ME - Needs driveway profile. See memo 12/23/14.	
Projects & Permits with Final Action									
1	Sotelo & Chanley	420 Island	7/17/14	CP0-443	Coastal Dev. Permit for construction of new 1,678sf SFR w/ 482sf garage adjacent to ESH	Under Review. Correction letter sent 8-15-14. SG. Resubmittal received 8/29/14. 2nd Incomplete letter sent 9-16-14. MND completed 10-28-14. SG. Public review period ended 12/3/14. Anticipate Jan. 2015 PC hearing date. Approved 1-6-15	BC- conditionally approved.	BCR - conditionally approved. Needs Floodplain Dev. Permit	
2	Turner	356 Yerba Buena	10/30/13	CP0-412	Single Family Addition & Remodel to a total of 2,767sf with 599sf garage	Property located within ESH area. Incomplete letter sent 11-26-13. CJ. Resubmittal received. 2nd incomplete letter sent 8-29-14. CJ. Public Works comments sent 8/29 to Applicant necessary to complete MND. Draft MND received from consultant. Resubmittal received 9/5/14 and 10/29. MND completed 11/13/14 and routed to State Clearinghouse for 30 day public review. Anticipate 1/6/15 PC hearing date. Approved 1-6-15	BC- conditionally approved.TP-Cond Approve 11/25/13.	JW-Disapproved; additional easement in question 10-1-2014. JW-Disapproved; additional easement in question 10-28-2014	
3	Jeffers	2740 Elm Street	9/3/14	CP0-450	Admin Coastal Dev. Permit for Demo/reconstruct of 830 sf unit and reconstruct 1523 sf home with 2 car garage. (Proposal includes existing secondary unit to remain)	Under review. Correction letter sent 9-12-14. Resubmitted 9-26-14. Correction letter sent 10/15/14. JG. Resubmittal 11/7. Admin Permit denied 12/8/14. Applicant wants to appeal to Planning Commission.	BC- conditionally approved.	JW- Approved 10/1	



AGENDA NO: B-1
MEETING DATE: January 20, 2014

Staff Report

TO: Planning Commissioners **DATE:** January 20, 2014

FROM: Whitney McIlvaine, Contract Planner

SUBJECT: **Conditional Use Permit (#UP0-391)** Request to allow additions exceeding 25% of existing floor area to a single-family residence with nonconforming setbacks at 510 Fresno Avenue.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting Planning Commission Resolution 03-14 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated October 15, 2014.

APPLICANTS: Joe and Laura Montacalvo

ARCHITECT: Rick D. Low Jr.

LEGAL DESCRIPTION/APN: 066-158-010

PROJECT DESCRIPTION: The Applicant is requesting Conditional Use Permit approval to add a 444.5 square-foot garage, a 383 square-foot second floor shop, and 94.4 square feet of second story decking to an existing 1700 square-foot dwelling with an attached 660.7 square-foot garage – an increase of 35% in floor area. The residence is considered nonconforming because it has a rear setback of 1.9 feet where 10 feet is required and a side setback of .7 feet where 5 feet is required.

PROJECT SETTING: The project is located in a single-family (R-1) residential neighborhood in the Morro Heights area of the City on a rectangular 5,500 square-foot lot. Housing in the surrounding area includes a mix of one- and two-story homes in a variety of architectural styles.

<u>Adjacent Zoning/Land Use</u>			
North:	R-1/Residential Use	South:	R-1/Residential Use
East:	R-1/Residential Use	West:	R-1/Residential Use

Prepared By: WM Department Review: _____

<u>Site Characteristics</u>	
Site Area	Approximately 5,500 square feet where 6,000 is the minimum required
Existing Use	Single family residential
Terrain	Nearly level and developed
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	n/a
Access	Fresno Avenue

<u>General Plan, Zoning Ordinance & Local Coastal Plan Designations</u>	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Coastal Zone	Located outside the Coastal Appeals Jurisdiction

<u>Zoning Ordinance Standards</u>		
	Standards	Proposed
Front-Yard Setback	20 feet	<u>Existing:</u> 65 feet <u>Addition:</u> 26 feet
Side-Yard Setback	10% of average lot width with 5 feet maximum and 3 feet minimum In this case 10% = 5 feet	<u>Existing:</u> 6 feet on the south side & .7 feet on the north side <u>Addition:</u> 24.3 on the south side & 5 on the north
Rear-Yard Setback	10 feet	1.9 feet*
Lot Coverage	45% allowed	<u>Existing:</u> 37% <u>Proposed:</u> 45%*
Height	25 feet	<u>Existing:</u> 23.5 feet <u>Addition:</u> 21.5 feet
Parking	2 covered and enclosed spaces	2 covered and enclosed spaces
*Lot line adjustment in process will slightly increase lot area (adds 50 SF +/-) and will increase rear setback to 3.1 feet. Proposed lot coverage remains 45%.		

PROJECT ANALYSIS:

Background

City records indicate a house with a single-car garage was built on the property prior to city incorporation. City Planning Commissions approved additions to the original structure in 1981, 1986, and 1988. Building records indicate additions were constructed in 1987 (first floor) and 1989 (second story). The addition is being requested because Mr. Montcalvo enjoys working on and restoring the family's 4 cars.

Setbacks

The rear and northern side of the existing residence do not meet the minimum setbacks. Proposed additions are in conformance with setback requirements. Attached Exhibit C shows the building setbacks upon completion of a rear lot line adjustment which adds 1 foot 2 inches to the rear setback. The lot line adjustment was approved on July 14, 2014 and certificates have been sent to the County for recordation.

Architectural Design

The project architect indicates that the new addition will match the existing structure in terms of roof pitch, materials, colors and architectural detailing. The addition will be a light gray with white trim. Siding will be a cement fiber product to match siding on the existing structure. Milgard brand windows are proposed to match existing.

Driveway

The existing gravel driveway does not meet City standards. Plans indicate a new gravel driveway. Zoning Ordinance Section 17.44.020.D.3(n) requires driveway construction in compliance with engineering and material standards, and surfacing with concrete, asphalt, or material such as brick or eco-pavers subject to approval by the City Engineer. The requirement for paved access to the new garage is included in the resolution for approval as recommended Planning condition #6.

Accessory Structures

Plans show an 80 square-foot shed in the yard between the house and the street. It meets setback requirements and is included in the coverage calculation. A second smaller storage shed is also in the front yard between the house and the street. This is not shown on the plans but appears to meet setback requirements. However, because the project is at maximum lot coverage, a condition is recommended that would preclude any accessory structures other than the one shown on the plans (Planning condition #8).

Deed Restriction

A sink is proposed in the second-story storage/shop space. Zoning Ordinance Section 17.48.325 prohibits sinks, except in bathrooms, kitchens, garages or laundry rooms unless a deed restriction is recorded prohibiting the sink or wet bar from being converted into a sink for a second residential unit. The requirement for a deed restriction is included in the resolution as recommended Planning condition #9.

Conditional Use Permit Requirement

Zoning Ordinance, subsection 17.56.160B, requires approval of a conditional use permit for projects proposing additions in excess of 25% of the existing floor to a nonconforming structure. The project proposes to add 827.5 square feet to an existing 2,360.9 square-foot structure, an increase of approximately 35%. As noted above, the structure is nonconforming with regard to required rear and side setbacks. Approval of a use permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed addition is consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone. The surrounding neighborhood is developed with one- and two-story custom homes.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary in order for the existing structure to meet required side and rear setbacks.

PUBLIC NOTICE: Notice of this item was published in the San Luis Obispo Tribune newspaper on January 9, 2015, and all property owners of record within 300 feet and occupants within 300 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION: Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. That exemption applies to additions to existing structures provided that the addition will not increase the floor area by more than 50% or 2,500 square feet, whichever is less.

CONCLUSION: The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures upon approval of a conditional use permit (Section 17.56.160).

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-391 for the proposed addition to a nonconforming structure for the project at 510 Fresno Avenue, as shown on plans dated October 15, 2015, by adopting Planning Commission Resolution 03-15 which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

- Exhibit A - Planning Commission Resolution 03-15
- Exhibit B - Vicinity Map & Street View
- Exhibit C - Setback Survey
- Exhibit D - Plan Reductions dated October 15, 2015

EXHIBIT A
RESOLUTION NO. PC 03-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING CONDITIONAL USE PERMIT (UP0-391) TO ALLOW AN ADDITION
EXCEEDING 25% OF THE EXISTING FLOOR AREA TO A NONCONFORMING
RESIDENTIAL STRUCTURE AT 510 FRESNO AVENUE

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on January 20, 2015, for the purpose of considering Conditional Use Permit UPO-391 and for a proposed addition to a nonconforming single-family home at 510 Fresno Avenue; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1 for additions to existing structures of less than 50% of existing floor area and will have no potentially significant environmental impacts.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed additions are in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with one- and two-story custom homes.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet required setbacks for the existing structure along the northern and eastern property lines.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit #UPO-391 for property located at 510 Fresno Avenue subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated January 20, 2015, for the project at 510 Fresno Avenue depicted on plans dated October 15, 2014, as part of conditional use permit file UP0-391, on file with the Public Services Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Public Services Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.

2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.

3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Prohibited Uses: Use of the garage and shop areas shall not include any uses which are specifically prohibited by Morro Bay Municipal Code Section 17.48.260 *Home Occupation Requirements*.
6. Driveway Construction: The project shall include construction of a paved driveway on site providing access to the new garage. Optional surfacing material such as brick or eco-block, which meets design requirements for parking may be approved by the City Engineer.
7. Architecture: The new addition shall match the existing structure in terms of colors, materials and architectural detailing to the satisfaction of the Planning Manager.
8. Lot Coverage: The proposed project will result in the maximum allowed lot coverage of 45%. No accessory structure, other than the 80 square-foot shed shown on the project plans, shall be allowed. A second existing storage shed shall be removed prior to issuance of a building permit.
9. Deed Restriction: MBMC section 17.48.325 prohibits sinks except in bathrooms, kitchens, garages, or rooms clearly used only for laundry purposes unless a deed restriction is recorded to run with the property, prohibiting the utility sink from being converted into a sink for a residential unit. Plans submitted for a building permit shall be revised to delete the sink and associated plumbing or a deed restriction shall be recorded prior to issuance of a Building Permit.
10. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the City Building Official. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.

PUBLIC WORKS CONDITIONS

1. Sewer Lateral: Note and show sewer lateral on the site plan. If a new lateral is being proposed include a note on the plans and abandon existing sewer lateral, per City Standard, if necessary.
2. Sewer Lateral: If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works. Lateral shall be repaired if necessary. A sewer

backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral.

3. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project. Please indicate on the plans.
4. Frontage Improvements: Placement of new Asphalt-Concrete driveway per City Standard B-8 modified without asphalt-concrete berm on Fresno Street.

Add the following Notes to the Plans:

1. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Services Office located at 955 Shasta Ave. The encroachment permit shall be issued concurrently with the building permit.
2. Any damage to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 20th day of January, 2015 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 20th day of January, 2015.

EXHIBIT B
STREET VIEW AND VICINITY MAP





November 24, 2014

**City of Morro Bay
Division of Building
955 Shasta Ave.
Morro Bay, CA 93442**

Re: Building Setback Certification for 510 Fresno Ave.
Job No. 1013035

This is to certify that on November 20, 2014 a survey crew from this office measured the existing buildings at the above-mention project. The existing buildings were measured for horizontal location with respect to adjacent property lines.

The results of the survey is shown on the attached sketch.

RRM DESIGN GROUP

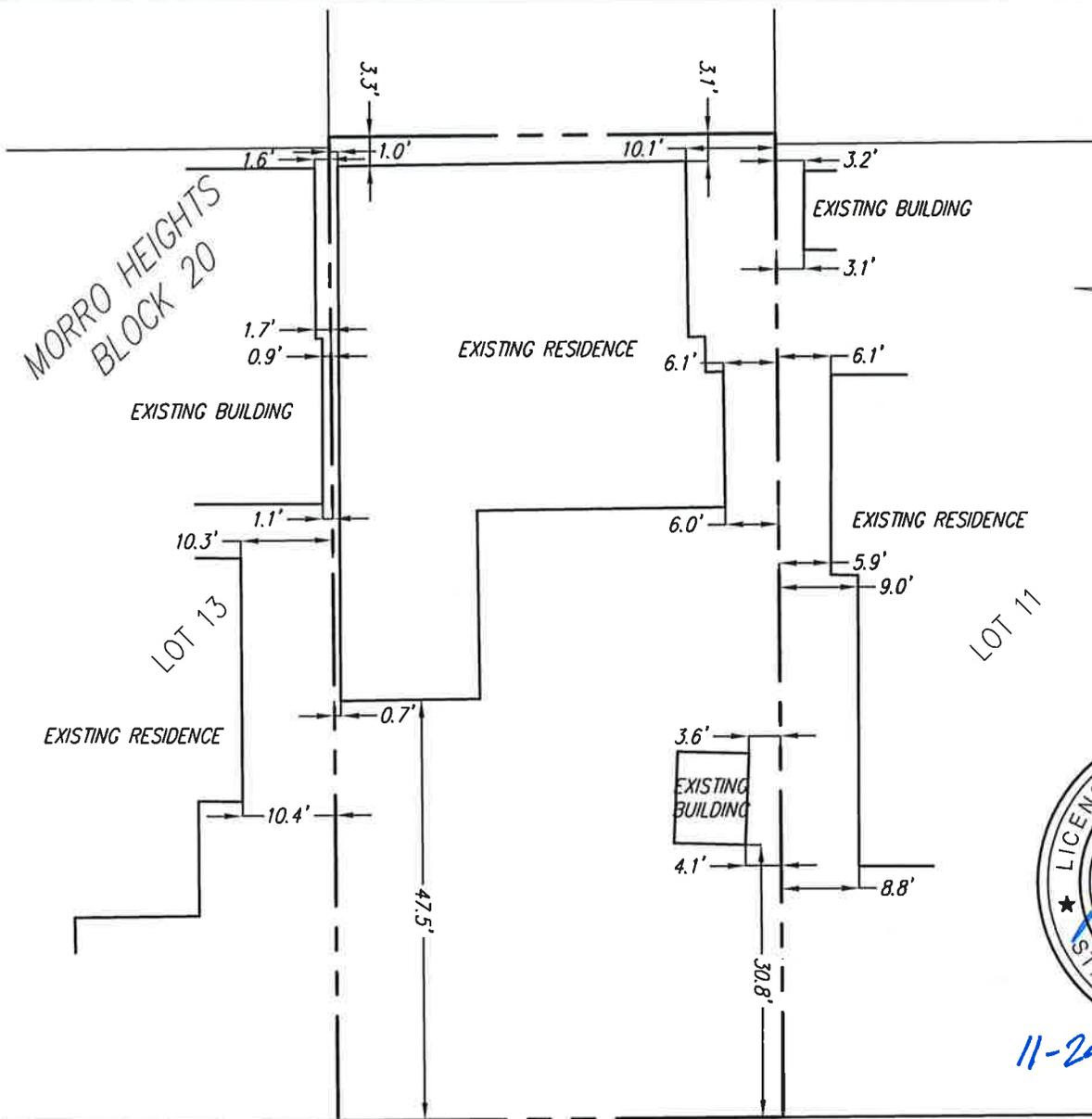


Steven Brian Webster, PLS 7561

11-24-14
Date



MORRO HEIGHTS
BLOCK 20



11-24-14

25

FRESNO AVE.

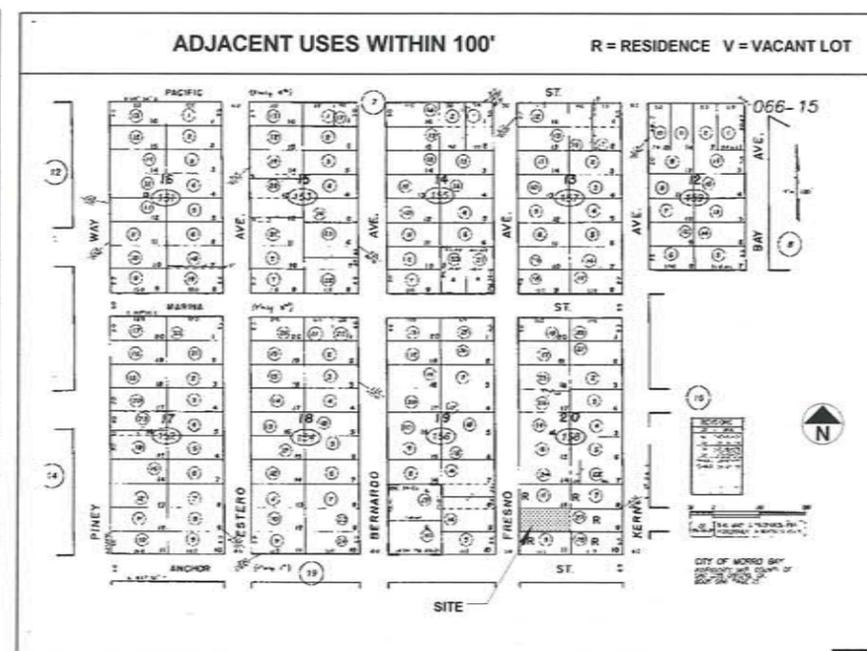
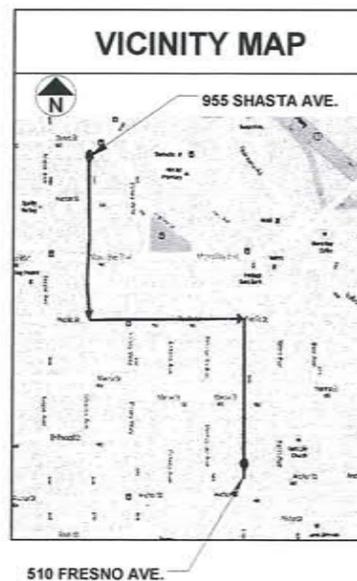
25



3765 S. Higuera St., Ste. 102 • San Luis Obispo, CA 93401
p: (805) 543-1794 • f: (805) 543-4609
www.rrmdesign.com

EXISTING BUILDING SETBACK EXHIBIT

JOE & LAURA MONTECALVO REMODEL / ADDITION 510 FRESNO STREET MORRO BAY, CA 93442 APN 066-158-010



788 ARLINGTON ST.
CAMBRIA, CA 93428
FAX (805) 927-5017
RICHARD@adsdevelopment.com
www.adsdevelopment.com

RICHARD D. LOW, JR.
ARCHITECT
CALIFORNIA C-24907
ARIZONA E-28608

GENERAL CONTRACTOR
CALIFORNIA # 705715

ARCHITECTS PLANNERS GENERAL CONTRACTORS

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DO NOT SCALE THESE DRAWINGS.

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Architect of Record



RICHARD D. LOW, JR., ARCHITECT C-24907

Owner: JOE & LAURA MONTECALVO
510 FRESNO STREET
MORRO BAY, CA 93442
805-772-3574



RECEIVED

OCT 20 2014

City of Morro Bay

Public Services Department

Design Firm: A. D. S. CORPORATION
ASSOCIATED DEVELOPMENT SERVICES CORP.
788 ARLINGTON STREET, CAMBRIA, CA 93428
PHONE (805) 927-8138 FAX (805) 927-5017

Consultant

Project Title: JOE & LAURA MONTECALVO
510 FRESNO STREET
MORRO BAY, CA 93442

Drawing Title: COVER AND GENERAL INFORMATION

Project Manager: R. LOW, ARCHITECT Project ID: J & L MONTECALVO APN 066-158-010

Drawn By: RDL Scale: NONE

Reviewed By: RDL Checked By: A-1

Date: 10/15/14

CAD File Name: MorroCalvo-CPU#1 V2.mxd

Sheet: 10 of 10

SCOPE OF WORK	PROPERTY INFO.
REMODEL OF EXISTING SINGLE FAMILY RESIDENCE TO ADD TWO CAR GARAGE, SHOP/STORAGE SPACE, BALCONY & ACCESS STAIRS PER CURRENT CODES, PLANS & CONDITIONS OF APPROVAL.	LOT: 12 BLOCK 20 MORRO HEIGHTS APN 066-158-010 510 FRESNO STREET MORRO BAY, CA 93442 ZONING: R - SF OCCUPANCY: R3, M1 CONST. TYPE: VN

SHEET INDEX	
A-1	COVER AND GENERAL INFORMATION
A-2	EXISTING SITE PLAN
A-3	EXISTING LOWER FLOOR PLAN
A-4	EXISTING UPPER FLOOR PLAN
A-5	EXISTING NORTH, SOUTH, EAST & WEST ELEVATIONS
A-6	PROPOSED SITE PLAN
A-7	PROPOSED LOWER FLOOR PLAN
A-8	PROPOSED UPPER FLOOR PLAN
A-9	PROPOSED NORTH, SOUTH & WEST ELEVATIONS
A-10	PROPOSED SECTIONS A-A AND B-B

PROJECT HEIGHTS			
HEIGHT CALCULATION	ALLOWED NEW ELEV. FT.	ACTUAL NEW ELEV. FT.	ACTUAL EXISTING ELEV. FT.
LOW POINT	141.75	141.75	142.75
HIGH POINT	147.00	147.00	147.00
AVERAGE NATURAL GRADE	144.38	144.38	144.88
HEIGHT ABOVE A.N.G.	25.00	21.37	23.00
MAX. HEIGHT	169.38	165.75	167.88

DO NOT SCALE DRAWINGS DIMENSIONS SUPERSEDE !

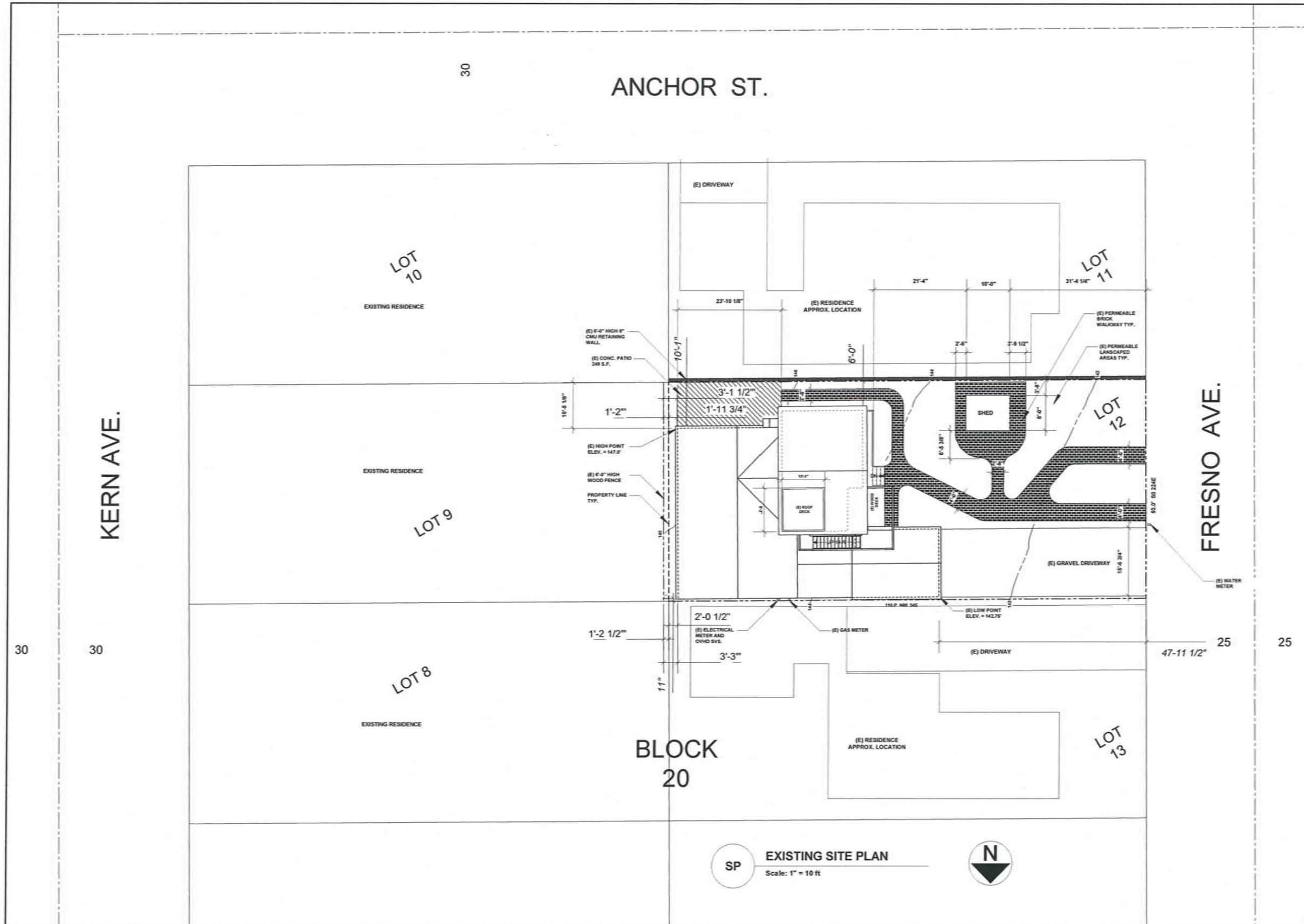
CODE AND DOCUMENT INFORMATION

THIS PROJECT SHALL COMPLY WITH THE CODES, ORDINANCES AND STANDARDS OF THE CITY OF MORRO BAY, INCLUDING THE 2013 CALIFORNIA BUILDING CODE, AS ADOPTED AND AMENDED BY THE CITY OF MORRO BAY.

CODE ANALYSIS				
CODE ANALYSIS	CODE SEC.	510 FRESNO AVE. (E)	510 FRESNO AVE. (W)	
FLOOR AREA (NO CHANGE TO LIVING AREA)	N/A	1719 S.F.	1719 S.F.	
OCCUPANT LOAD FACTOR	TABLE 1004.1.1	200 SF GROSS	200 SF GROSS	
OCCUPANCY TYPE	SEC. 302	R-3	R-3 & U-1	
TYPE OF CONSTRUCTION	SEC. 606	V-4	V-4	
EXT. WALL PROTECTION (BEARING & NON BEARING)	TABLE 602	1 HR. - 5' NR ELSEWHERE	1 HR. - 5' NR ELSEWHERE	
OPENING PROTECTION (NOT PERMITTED - 5'-0")	TABLE 704.8	NOT PERMITTED - 5'	NOT PERMITTED - 5'	
OCCUPANCY SEPARATION FIRE RATE	TABLE 509.3.3	1 HOUR BETWEEN R-3 & U-1	1 HOUR BETWEEN R-3 & U-1	
EXT. WALL PROTECTION (PROXIMITY TO PROP LINE)	TABLE 602	N/A	N/A	
AREA SEPARATIONS	SEC. 508.3.2 & TABLE 508.2	N/A	N/A	
DWELLING UNIT SEPARATIONS	SEC. 708	N/A	N/A	
SHAFT ENCLOSURES FIRE RATE	SEC. 707.4	1 HR.	1 HR.	
CORRIDORS FIRE RESIST. RATE	TABLE 1017.1	N/A	N/A	
STAIR ENCLOSURES	SEC. 1020	N/A	N/A	
EXIT PASSAGEWAYS	SEC. 1021	N/A	N/A	
TYPE OF CONSTRUCTION SEPARATIONS	SEC. 601.1	N/A	N/A	
BOILER ROOM / CENTRAL HEATING PLANT	TABLE 508.2	N/A	N/A	
ALLOWABLE FLOOR AREA	SEC. 503 TABLE 503	UNLIMITED	UNLIMITED	
ALLOWABLE AREA INCREASES	SEC. 504.2, 506.2 & TABLE 503	N/A	N/A	
BUILDING HEIGHT	SEC. 508 & TABLE 5-8	40 FEET	40 FEET	
NUMBER OF STORES	SEC. 504.1 & TABLE 5-8	3	3	
CEILING / ROOF ASSEMBLY (NO PARAPETS)	SEC. 704.11, SEC. 704.11.4.2 NOT PARALLEL	N/A	N/A	
FIRE SPRINKLERS	SEC. 904	NOT REQUIRED	NOT REQUIRED	
CLASS "C" ROOFING REQUIRED	SEC. 1504 & TABLE 15-A	YES	CLASS "C" COMP SHINGLE	

INDEX OF OWNER AND PROFESSIONAL CONSULTANTS	
OWNER:	STRUCTURAL ENGINEERING:
JOE & LAURA MONTECALVO 510 FRESNO ST. MORRO BAY, CA 93442 PHONE 805-442-3574	TAYLOR AND SYFAN CONSULTING ENGINEERS, INC. STEPHEN F. TAYLOR, P.E., C. ENG. C38840 684 CLARION COURT SAN LUIS OBISPO, CA 93401 PHONE 805-528-2015 FAX 805-528-2016
ARCHITECT:	GEOTECHNICAL ENGINEERING:
ASSOCIATED DEVELOPMENT SERVICES CORP. RICHARD D. LOW, JR., ARCHITECT C 24907 788 ARLINGTON STREET CAMBRIA, CA 93428 PHONE 805-927-8138 FAX 805-927-5017	GEOSOLUTIONS, INC. KRAIG R. CROZIER, PE C61361 220 HIGH STREET SAN LUIS OBISPO, CA 93401 PHONE 805-543-8539 FAX 805-543-2171
TRUSS ENGINEERING:	
HAYWARD BUILDING SYSTEMS/MITEK C/O RAY SANTANA MARCOS HERNANDEZ PE #76428 7777 GREENBACK LN., STE 109 CITRUS HEIGHTS, CA 95610 PHONE 805-928-7441 FAX 805-928-9289	

	PROJECT COVERAGES				
	PROJECT CRITERIA AND ANALYSIS				
	PROJECT EXISTING AREA SF	EXISTING AREA %	MAX ADDED AREA SF	TOTAL NEW AREA SF	NEW AREA %
PROPERTY (LOT)	5500.0	100	0.0	5500.0	100.00
LOWER LEVEL	1253.6	0.23	0.0	1253.6	0.23
UPPER LEVEL	446.6	0.08	0.0	446.6	0.08
CANTILEVER SHADOW	63.0	0.0	0.0	63.0	0.0
SHED	80.0	0.01	0.0	80.0	0.01
GARAGE	660.7	0.12	444.5	1105.2	0.20
GARAGE SHOP / STORAGE	0	0	383	383	0.07
TOTAL LIVING AREA	1700.2	0.31	0.0	1700.2	0.31
STRUCTURE LOT COVERAGE	2057.3	0.37	0.0	2057.3	0.45
GROSS STRUCTURAL AREA	2370.9	0.43	0.0	3268.4	0.59
PERMEABLE DECK	240.6	0.04	94.4	335.0	0.06
IMPERMEABLE DECK	96.4	0.02	0.0	96.4	0.02
IMPERMEABLE PATIO	230.8	0.042	0.0	230.8	0.042
PERMEABLE WALKS & DRIVES	1482.0	0.27	-225.30	1256.70	0.23
PERMEABLE LANDSCAPE	1792.9	0.33	-219.20	1573.70	0.29



SP EXISTING SITE PLAN
Scale: 1" = 10 ft



ASSOCIATED DEVELOPMENT SERVICES

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PHONE: 805-827-8138
FAX: 805-827-5017
www.Ads-Dev.com

RICHARD D. LOW, JR.
ARCHITECT
CALIFORNIA C-24907
ARIZONA: 9-3989

GENERAL CONTRACTOR
CALIFORNIA # 70215

ARCHITECTS PLANNERS GENERAL CONTRACTORS

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RICHARD D. LOW, JR., ARCHITECT C-24907

Client: JOE & LAURA MONTECALVO
510 FRESNO STREET
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Design Firm: A. D. S. CORPORATION
ASSOCIATED DEVELOPMENT SERVICES CORP.
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Consultant: RRM DESIGN GROUP

Project Site: JOE & LAURA MONTECALVO
510 FRESNO STREET
MORRO BAY, CA 93442

Drawing Title: EXISTING SITE PLAN

Project Manager: R. LOW, ARCHITECT
Client: J. & L. MONTECALVO APN 066-158-016

Drawn By: RDL
Scale: 1" = 10'-0"

Reviewed By: RDL
Drawing No: A-2

Date: 10/15/14
Sheet: 10 of 10
CAD File Name: Montecalvo CPU #1 V9.mxd



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RICHARD D. LOW, JR.
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CALIFORNIA C-24907
RESIDUAL # 2989

GENERAL CONTRACTOR
CALIFORNIA # 705716

ARCHITECTS PLANNERS GENERAL CONTRACTORS

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RICHARD D. LOW, JR., ARCHITECT C-24907

Owner: JOE & LAURA MONTECALVO
510 FRESNO STREET
MORRO BAY, CA 93442
805-772-3574

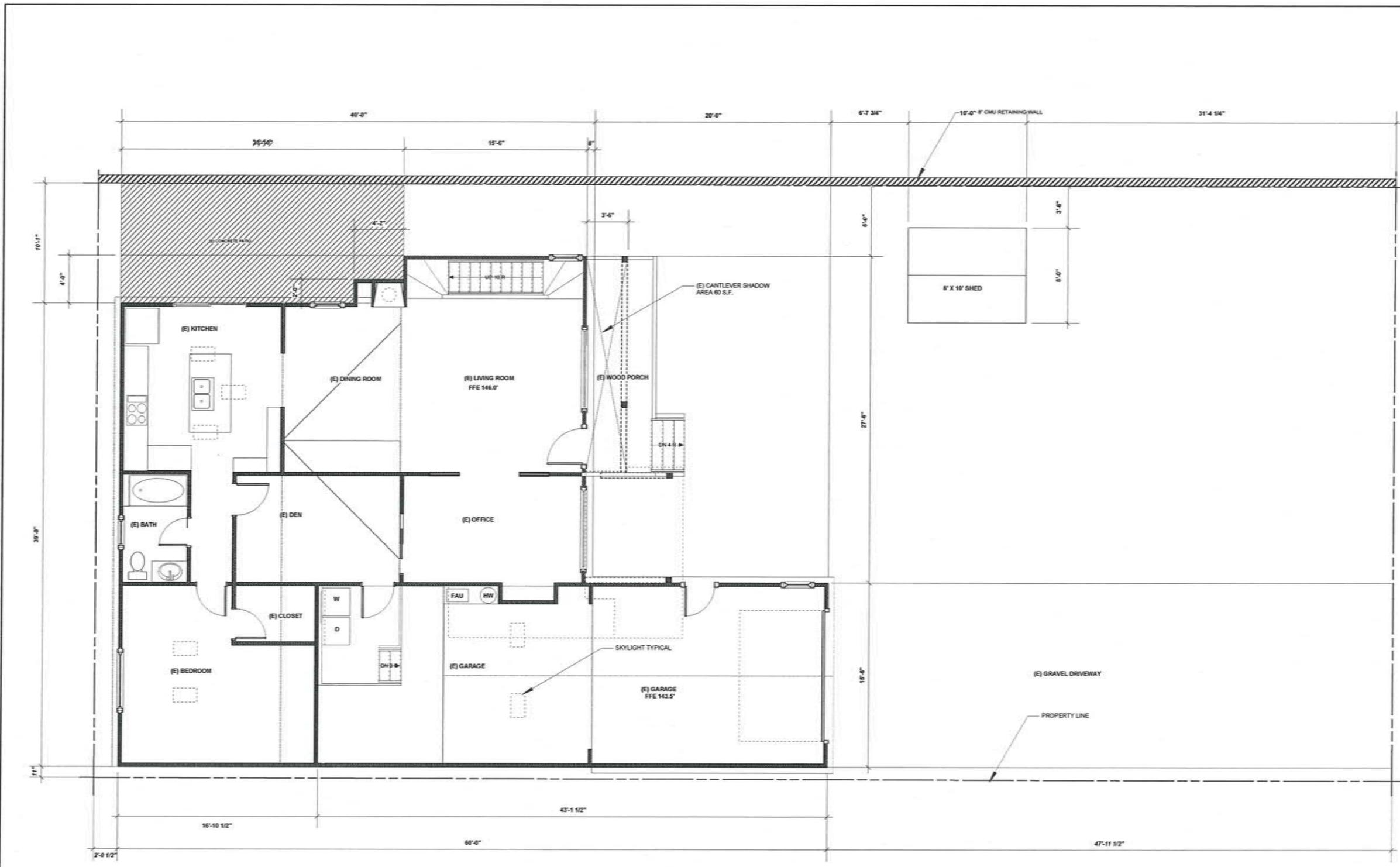


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PHONE (805) 927-8138 FAX (805) 927-5017

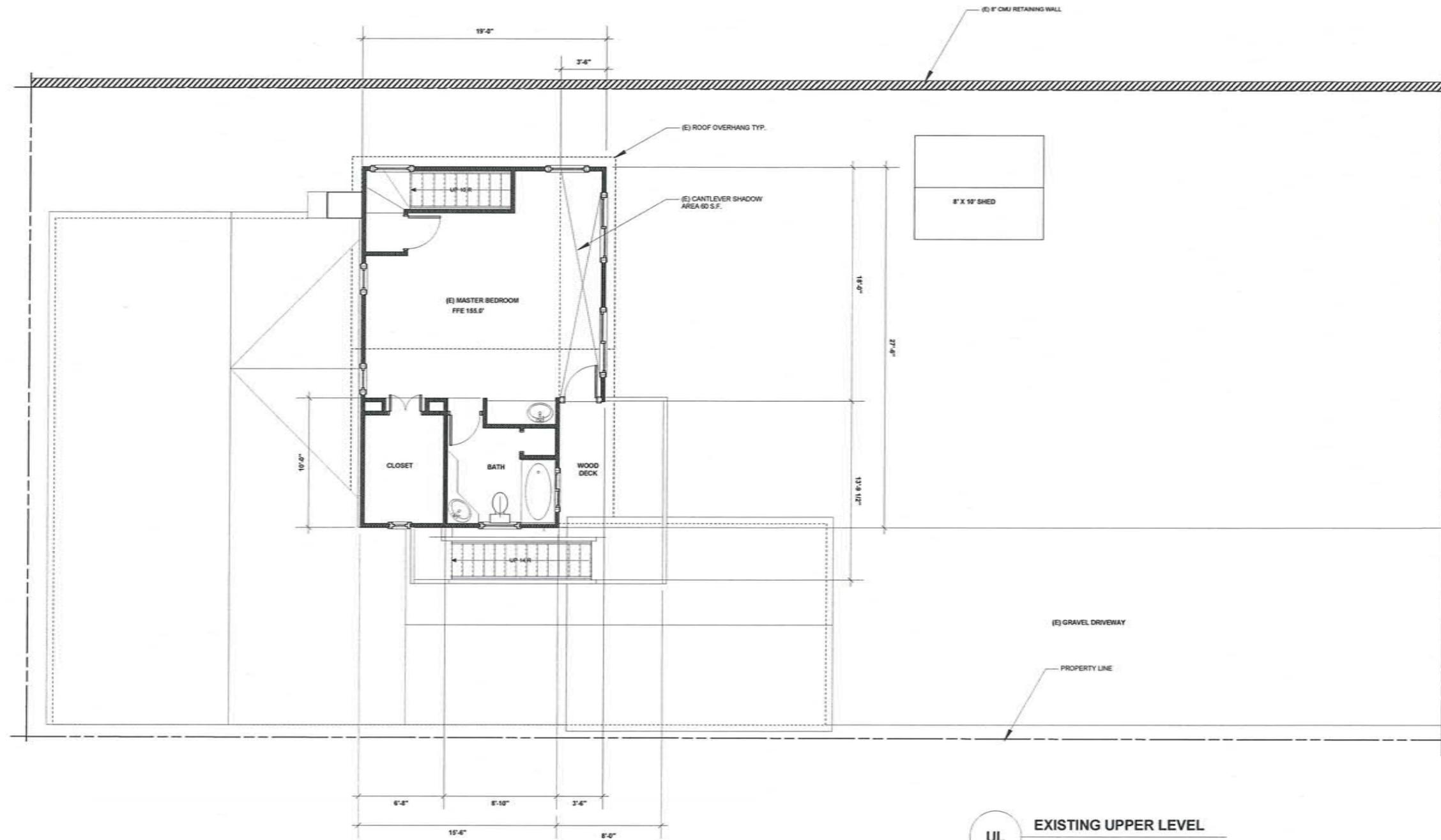
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510 FRESNO STREET
MORRO BAY, CA 93442

Drawing Title: EXISTING LOWER LEVEL

Project Manager: R. LOW, ARCHITECT	Project ID: J. & L. MONTECALVO APN 066-158-016
Drawn By: RDL	Date: 1/4"-1'-0"
Reviewed By: RDL	Drawing No: A-3
Date: 10/15/14	Sheet: 10 of 10
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LL EXISTING LOWER LEVEL
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UL EXISTING UPPER LEVEL
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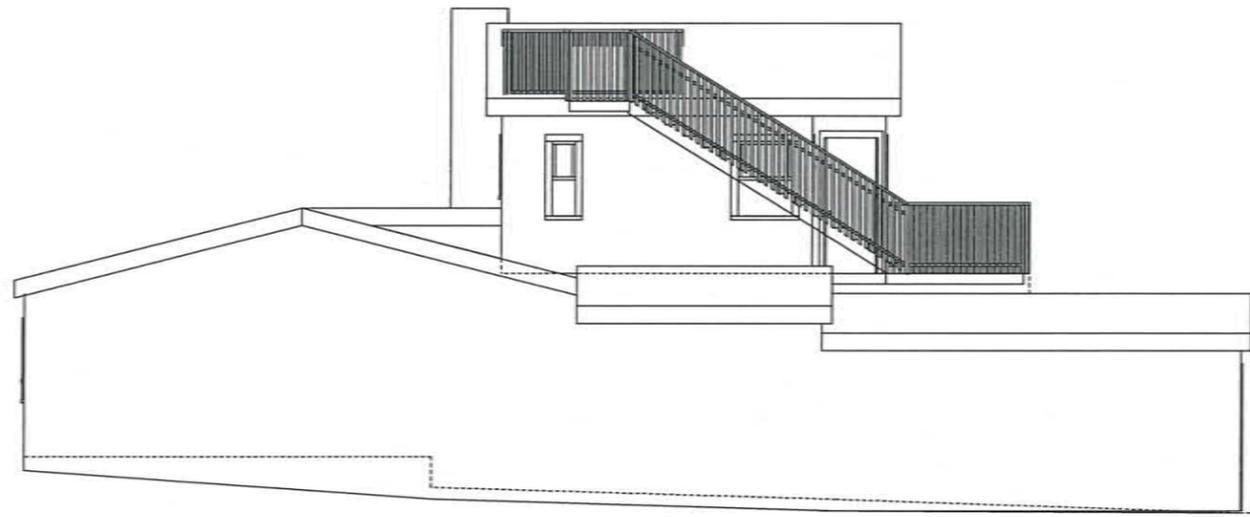


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Project Title: JOE & LAURA MONTECALVO
510 FRESNO STREET
MORRO BAY, CA 93442

Drawing Title: EXISTING UPPER LEVEL

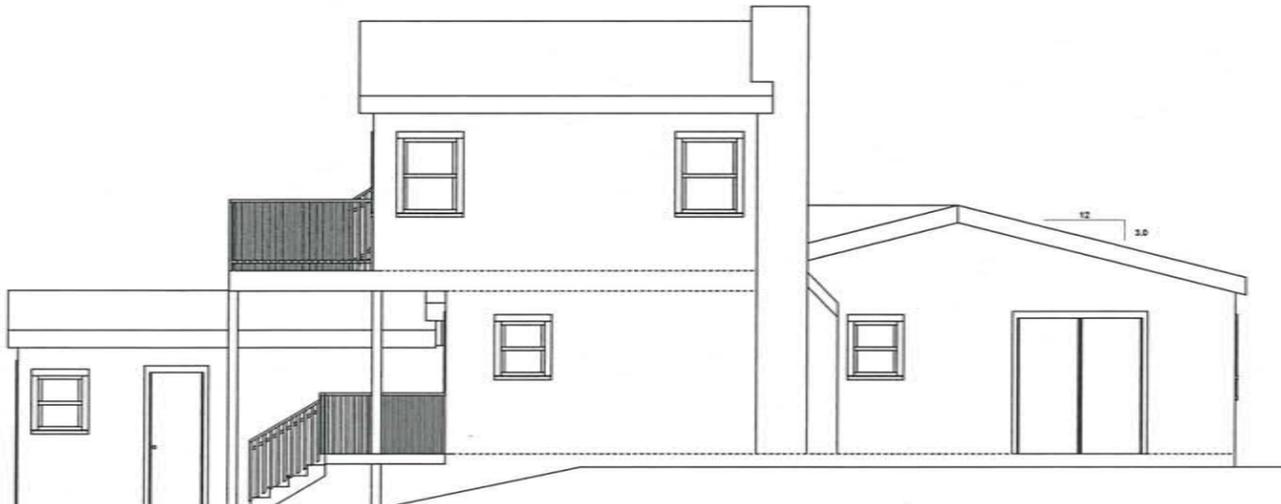
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Date: 10/15/14	A-4
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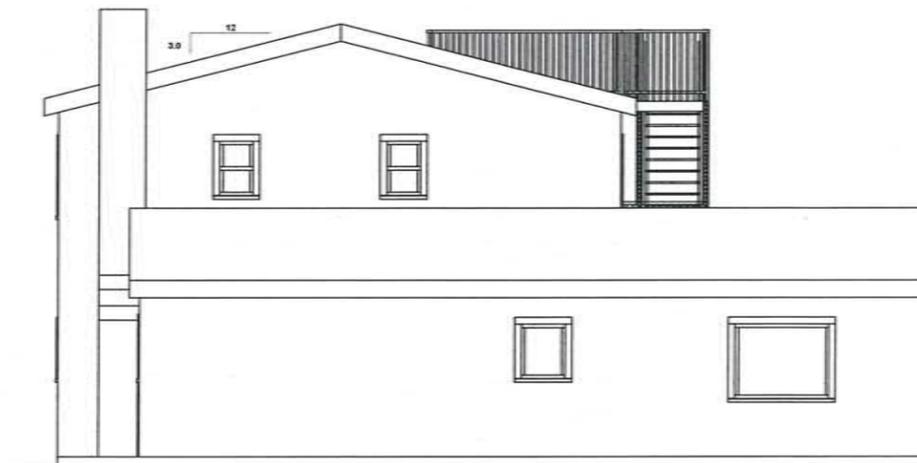
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CALIFORNIA # 28516

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Client: JOE & LAURA MONTECALVO
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MORRO BAY, CA 93442

Drawing Title: EXISTING NORTH, SOUTH, EAST AND WEST ELEVATIONS

Project Manager R. LOW, ARCHITECT	Project ID J. & L. MONTECALVO APN 066-158-010
Drawn By RDL	Scale 1/4"=1'-0"
Reviewed By RDL	Drawing No. A-5
Date 10/15/14	Sheet of 10
File Name Montecalvo CPU #1 V9.mxd	



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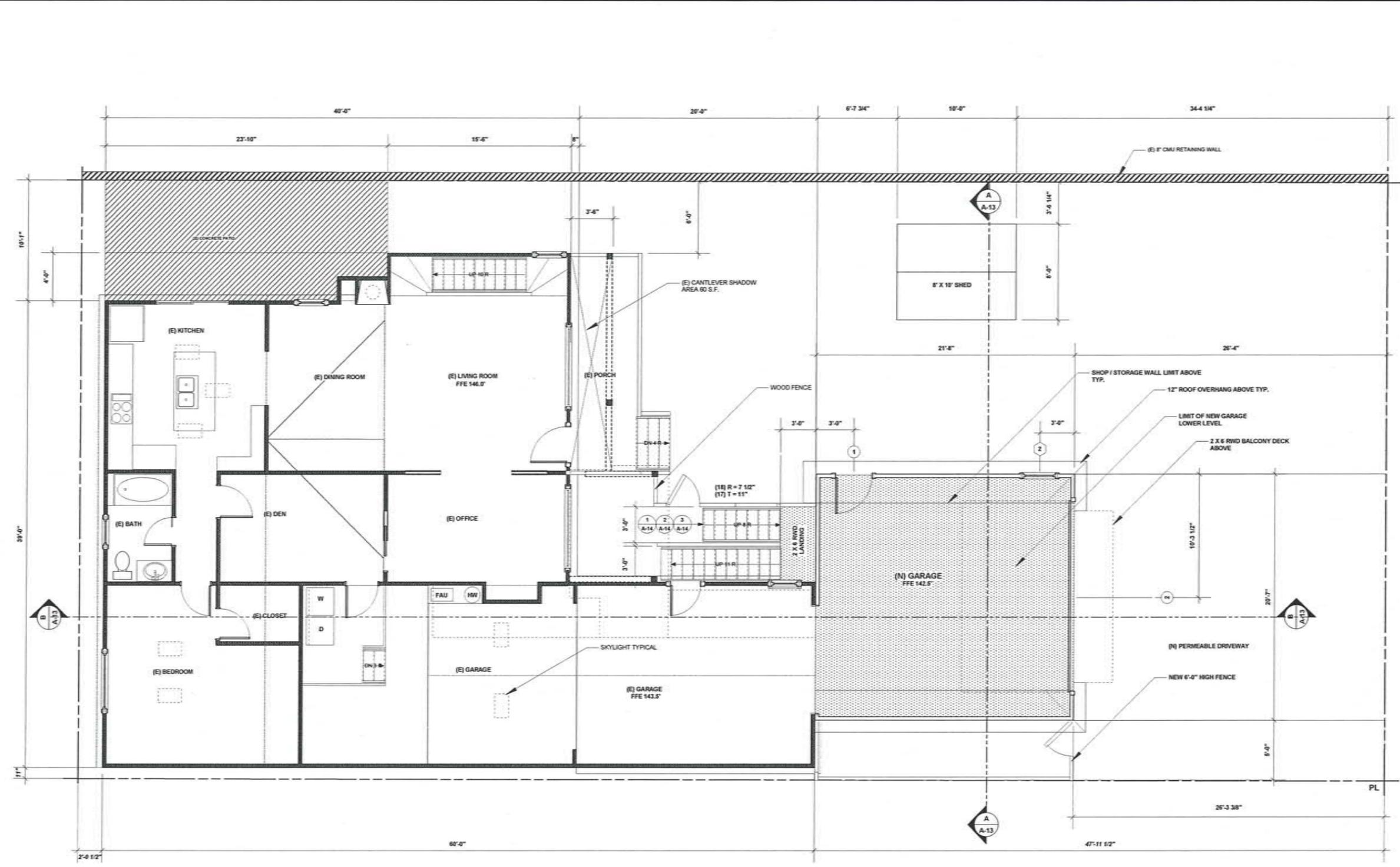


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Project Title: JOE & LAURA MONTECALVO
510 FRESNO STREET
MORRO BAY, CA 93442

Drawing Title: PROPOSED LOWER LEVEL FLOOR PLAN

Project Manager: R. LOW, ARCHITECT	Project ID: J. & L. MONTECALVO APN 065-158-015
Drawn By: RDL	Scale: 1/4"=1'-0"
Reviewed By: RDL	Drawings: A-7
Date: 10/15/14	
CAD File Name: Montecalvo CUP #1 V9.mxd	of 10



PLL PROPOSED LOWER LEVEL FLOOR PLAN
Scale: 1/4" = 1'-0"



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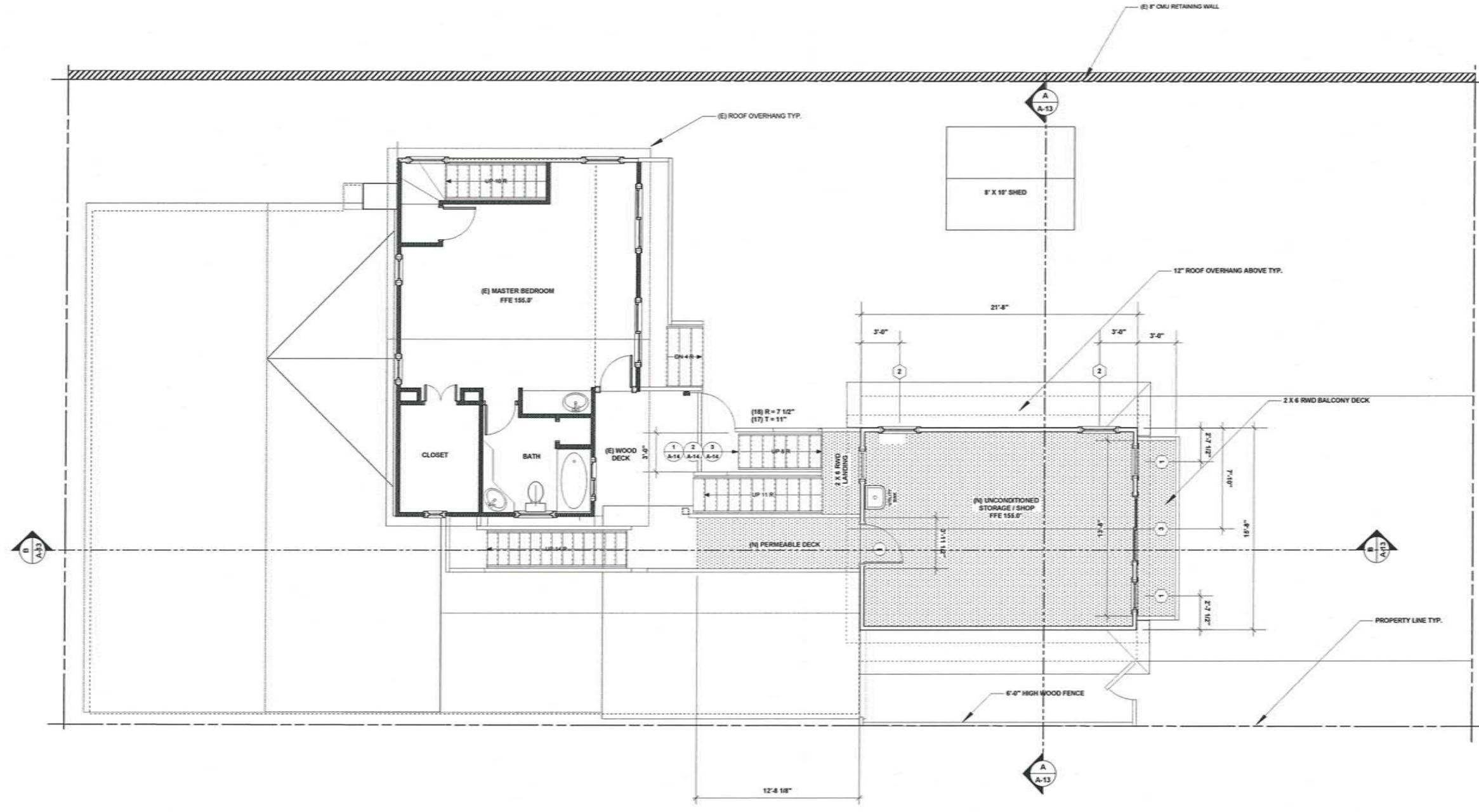


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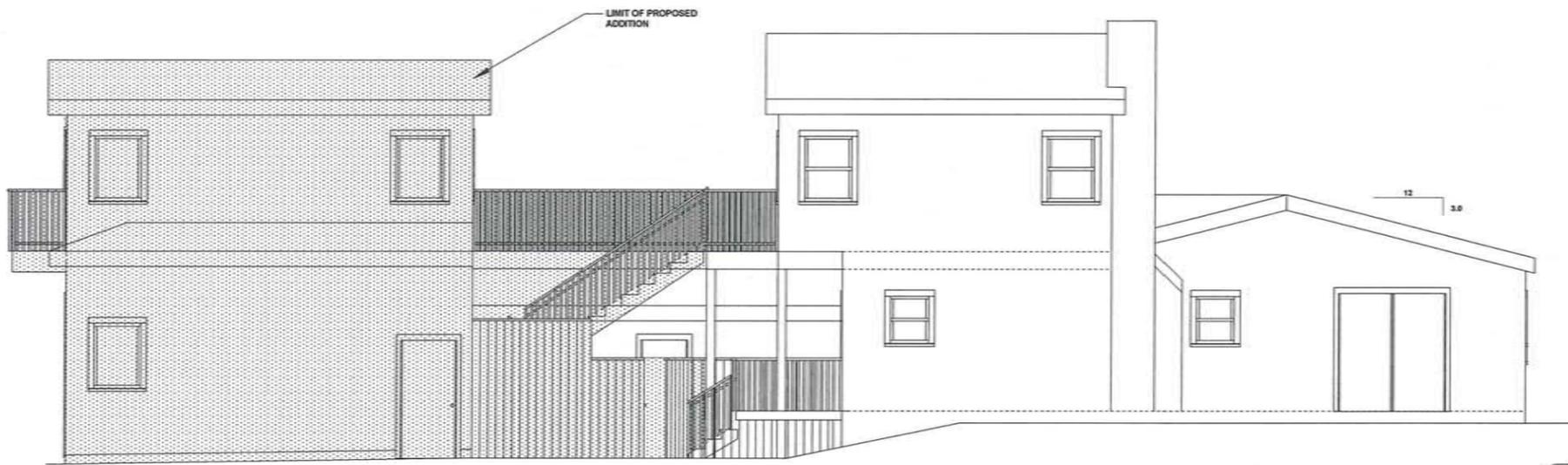
Project Site: JOE & LAURA MONTECALVO
510 FRESNO STREET
MORRO BAY, CA 93442

Drawing Title: PROPOSED UPPER LEVEL FLOOR PLAN

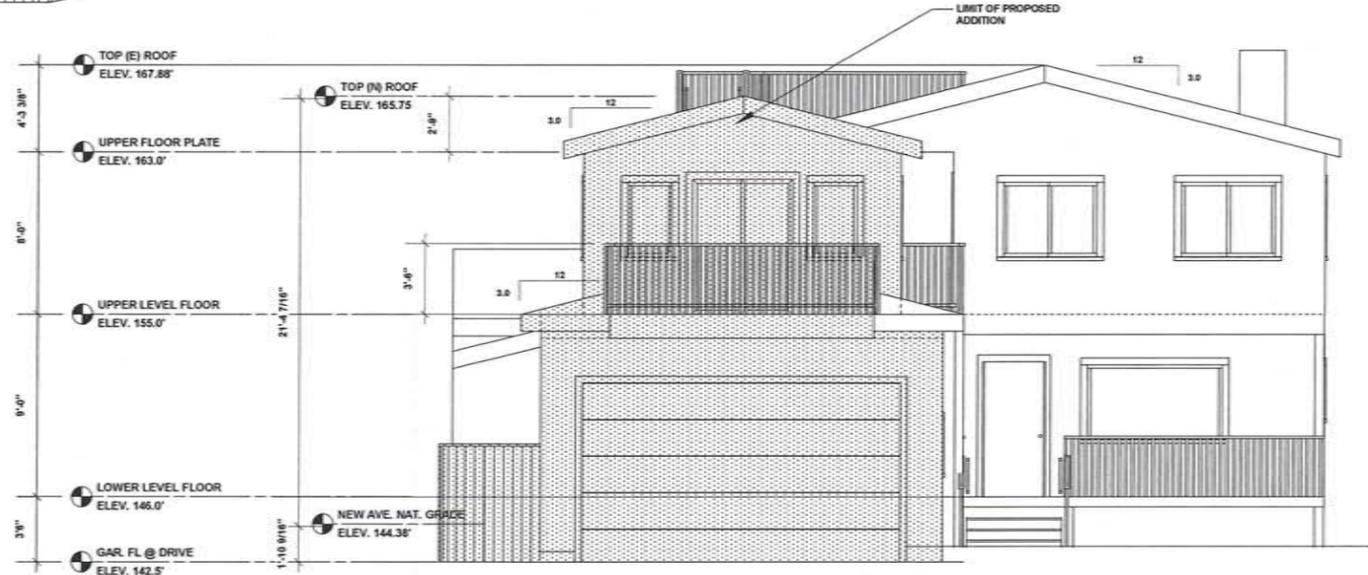
Project Manager: R. LOW, ARCHITECT	Client: J. & L. MONTECALVO APN 056-158-015
Drawn By: RDL	Scale: 1/4" = 1'-0"
Reviewed By: RDL	Drawing No: A-8
Date: 10/15/14	Sheet: 10 of 10
CAD File Name: Montecalvo CPU #1 V9.mxd	



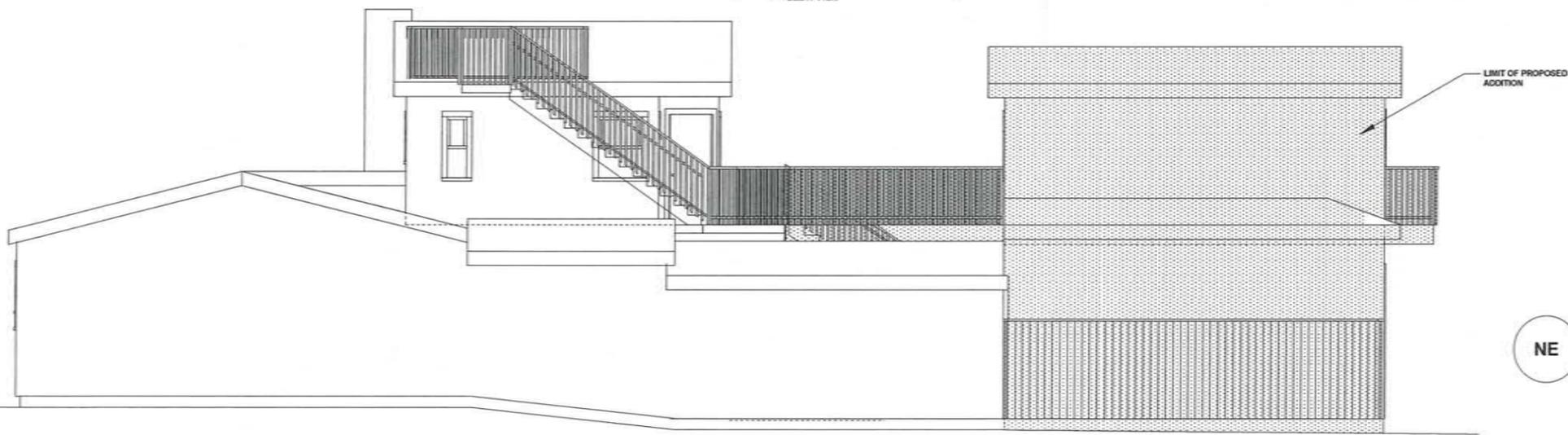
PUL PROPOSED UPPER LEVEL FLOOR PLAN
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NE PROPOSED NORTH ELEVATION
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Client: JOE & LAURA MONTECALVO
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Drawing Title: PROPOSED WEST, SOUTH AND NORTH ELEVATIONS

Project Manager: R. LOW, ARCHITECT
Client: J. & L. MONTECALVO APN 066-158-016

Drawn By: RDL
Scale: 1/4" = 1'-0"

Reviewed By: RDL
Drawings: A-9

Date: 10/15/14
Sheet: 10 of 10
DWG File Name: Montecalvo CUP #1 V9.mxd



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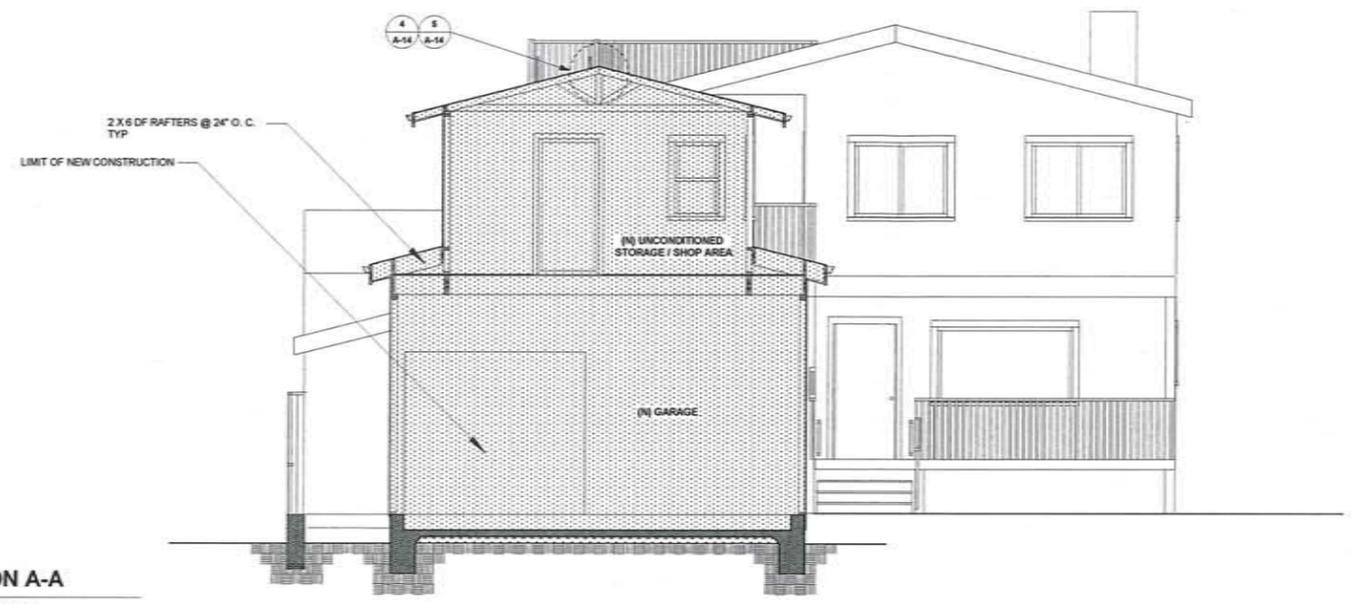


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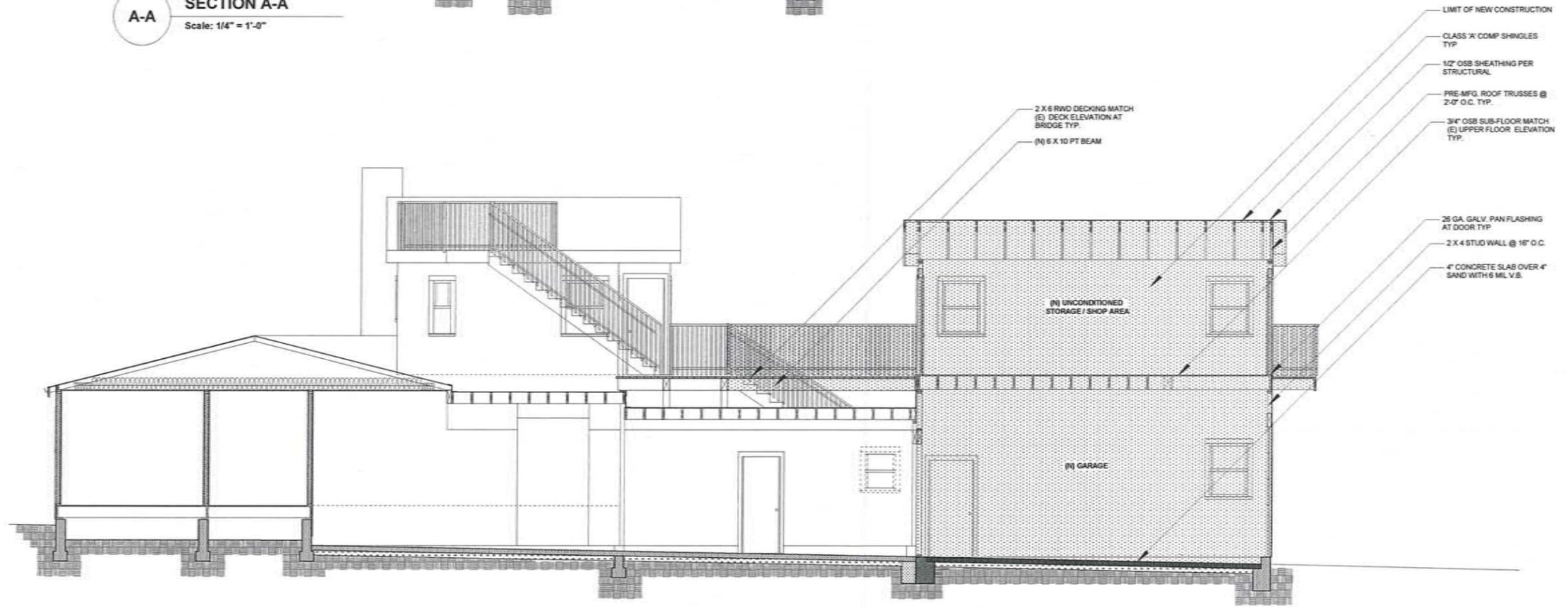
Project Name: JOE & LAURA MONTECALVO
510 FRESNO STREET
MORRO BAY, CA 93442

Drawing Title: SECTION A-A AND B-B

Project Manager: R. LOW, ARCHITECT	Project ID: J. & L. MONTECALVO APN 066-158-010
Drawn By: RDL	Scale: 1/4" = 1'-0"
Reviewed By: RDL	Drawings: A-10
Date: 10/15/14	Sheet: of 10
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A-A SECTION A-A
Scale: 1/4" = 1'-0"



B-B SECTION B-B
Scale: 1/4" = 1'-0"



AGENDA NO: B-2

MEETING DATE: January 20, 2015

Staff Report

TO: Planning Commissioners **DATE:** January 20, 2015

FROM: Joan Gargiulo, Contract Planner

SUBJECT: Coastal Development Permit (#CP0-444) Request to allow an addition exceeding 10% of existing floor area for a single-family residence located in the Coastal Commission Appeal Jurisdiction adjacent to Environmentally Sensitive Habitat (ESH).

STAFF RECOMMENDATION:

Adopt Resolution No. 04-15 including the following actions:

1. Approve the Class 1, Section 15301 Categorical Exemption in accordance with the applicable provisions of the California Environmental Quality Act (Public Resources Code 21000 et. Seq.), and adopt the Findings included as Exhibit "A", including findings required by the California Environmental Quality Act (CEQA);
2. Approve the Coastal Development Permit subject to the Conditions included as Exhibit B and the site development plans dated January 2, 2015.

APPLICANT: Grant and Carla McAlister

AGENT: Joe Cannon

APN: 065-117-021

PROJECT DESCRIPTION:

The Applicant is requesting Coastal Development Permit approval for a single story addition totaling 571 square feet to an existing 1,706 square-foot residence (33% increase) with an attached 428 square-foot garage. Additions greater than ten percent of the gross floor area on properties located within the appeals jurisdiction of the California Coastal Commission (CCC) require Coastal Development Permit approval from the Planning Commission.

Plans show the conversion of 162 square feet for an enlarged garage and the addition of 571 square feet to include an enlarged study, kitchen, and master bedroom. The project proposal includes interior remodeling to the hallway, laundry room, and existing master bathroom.

Prepared By: JG

Department Review: _____

PROJECT SETTING:

The project is located in a residential neighborhood in North Morro Bay, west of Highway 1 adjacent to Alva Paul Creek, mapped environmentally sensitive habitat (ESH) to the south. The 8,659 square-foot lot is designated Low-Medium Density Residential and zoned R-1/S.2A. The project site is also located within the California Coastal Commission Appeal Jurisdiction. Housing in the surrounding area includes mostly one-story homes ranging from approximately 1,300 square feet to 2,300 square feet.



Adjacent Zoning/Land Use			
North:	R-1/S.2A (ESH) Residential Use	South:	R-1/S.2A (ESH) Residential Use
East:	R-1/S.2A (ESH) Residential Use	West:	R-1/S.2A (ESH) Residential Use

Site Characteristics	
Site Area	Approximately 8,600 square feet
Existing Use	Single family residential
Terrain	Virtually level and developed adjacent to Alva Paul Creek channel to the south
Vegetation/Wildlife	Ornamental landscaping adjacent to Arroyo Willow riparian habitat to the south
Archaeological Resources	No known archaeological resources exist on the site or within close proximity
Access	Java Street

General Plan, Zoning Ordinance & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential / Environmentally Sensitive Habitat Area (ESH)
Base Zone District	R-1 Single-Family Residential
Zoning Overlay District	S.2A
Special Treatment Area	ESH
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Within the Coastal Appeals Jurisdiction

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing house was built in 1971 and included 1,706 square feet of habitable living area and 428 square feet of garage area. In 1985 the property owners received building permit approval to construct a 2,100 square foot deck at the rear of the house. It is important to note that the proposed project will not impact or encroach into the Alva Paul Creek corridor.



Zoning Ordinance Consistency

The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning designation. The proposed addition to the residence would comply with all zoning ordinance requirements pertaining to setbacks, height, and lot coverage. No exceptions or variances have been requested. See table below:

Zoning Ordinance Standards		
	Standards	Proposed
Front-Yard Setback	15 feet	15 feet
Side-Yard Setbacks	5 feet	East side: 5 feet West side: 5'2"
Rear-Yard Setback	5 feet	37 feet
Lot Coverage	50%	33%
Height	17 feet - pitched 14 feet - flat	Approximately 16'2" - pitched
Parking	2-car garage	2-car garage

Local Coastal Plan Consistency

After completion of a site assessment and correspondence with Kevin Merk, Principal Biologist with Kevin Merk Associates LLC, staff has determined that the proposed project is consistent with pertinent environmentally sensitive habitat policies contained within the City’s Local Coastal Plan (LCP). LCP policies applicable to this project include 11.02, 11.05, 11.14, and 11.22 as discussed below:

- LCP Policy 11.02 in summary requires that development adjacent to environmentally sensitive habitat be sited and designed to prevent impacts which would significantly degrade such areas. No reduction to the ESH buffer is being sought and the plans depict the proposed addition to be outside of the required 50 foot ESH buffer.
- LCP Policy 11.05 requires that prior to issuance of a coastal development permit all projects on parcel containing ESH or within 250 feet of all designated areas shall be found to be in conformity with the applicable LCP habitat protection policies. All development plans shall show the precise location of the habitat to be affected by a proposed project and shall be subject to adequate assessment by a qualified biologist. The 2014 ESH report prepared by Kevin Merck and Associates delineates that environmentally sensitive habitat area with proposed addition denoted as setback from the ESH area. The report concluded that the property identified as 176 Java does not contain habitat meeting the City’s LCP definition or the California Coastal Act definition as Environmentally Sensitive Habitat (ESH). The project will have a less than significant impact on the environment and Planning Commission can make the findings to approve the proposed project.

- LCP Policy 11.14 requires a minimum buffer strip along all streams in urban areas of 50 feet. The plans depict the proposed addition will not encroach into the 50 foot ESH buffer.
- LCP Policy 11.22 requires that precise location and boundary of ESH shall be determined based upon a field study prior to the approval of development on the site. The resulting ESH assessment and delineation was prepared by Kevin Merck & Associates in a report dated October 15, 2014.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on January 9, 2015, and all property owners and occupants of record within 300 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. The exemption applies to additions to existing structures of less than 50% of existing floor area and will have no potentially significant environmental impacts. The project does not require the preparation of an initial study due to the assessment completed by a qualified biologist and the project's location outside of the 50 foot required ESH buffer.

CONCLUSION:

The proposed project is consistent with the development standards of the zoning ordinance and all applicable provisions of the General Plan, Local Coastal Plan and the California Environmental Quality Act with incorporation of recommended conditions. The project constitutes infill residential development in an urbanized area of the City and meets the development standards of the zoning district, including height, lot coverage, parking and setbacks.

The Local Coastal Plan includes goals that new projects be compatible with existing surrounding development and be sited and designed to prevent impacts to ESH areas as well as maintain an appropriate ESH buffer. With the incorporation of recommended conditions, the design of the proposed residence achieves these goals by setting development outside the buffer zone for the designated environmentally sensitive habitat to the south.

Staff recommends the Planning Commission approve the requested Coastal Development Permit #CP0-444 for the proposed addition to an existing single-family residence located at 176 Java as shown on plans dated January 2, 2015, by adopting Planning Commission **Resolution 04-15** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 04-15

Exhibit B – Graphics/Plan Reductions dated January 2, 2015

EXHIBIT A

RESOLUTION NO. PC 4-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING THE COASTAL DEVELOPMENT PERMIT (CP0-444) FOR AN ADDITION OF MORE THAN 10% OF EXISTING FLOOR AREA FOR A SINGLE- FAMILY RESIDENCE LOCATED IN THE COASTAL COMMISSION APPEALS JURISDICTION AT 176 JAVA STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on January 20, 2015, for the purpose of considering Coastal Development Permit #CP0-444 for a proposed addition of more than 10% of the existing floor area to a single-family residence within the Coastal Commission Appeals Jurisdiction located at 176 Java Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Planning Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15301, Class 1: Additions to an existing structure not exceeding 50% of the existing floor area.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, parking, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a

complete building permit application and obtain the required building permit prior to construction.

4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with mostly one-story older homes with one-car garages.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit #CP0-444 for property located at 176 Java subject to the following conditions:

STANDARD CONDITIONS

1. Description of Project Approved: This permit is granted for the land described in the staff report dated January 20, 2015, for the project at 176 Java Street depicted on plans dated January 2, 2015, on file with the Public Services Department, showing a single-story addition totaling 571 square feet to an existing 1,706 square-foot single-family dwelling as modified by these conditions of approval. Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Public Services Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Public Services Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance and a Certificate of Occupancy, as may be required. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Vegetation: Remove the non-native Myoporum tree located near the top of the creek bank and replace with two trees to restore and enhance the native riparian habitat to the satisfaction of the Community Development Manager.

2. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation or salvage. The developer shall be liable for costs associated with the professional investigation.

3. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent

necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.

4. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official. (MBMC Section 17.52.070)
5. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
6. Inspection: The applicant shall comply with all Planning conditions listed above and obtain a final inspection from the Planning Division at the necessary time in order to ensure all conditions have been met.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 20th day of JANUARY, 2015 upon motion of Commissioner _____ and seconded by Commissioner _____ on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson Robert Tefft

ATTEST

Rob Livick, Planning Secretary

The foregoing resolution was passed and adopted this 20th day of January, 2015.

JOE CANNON CONSTRUCTION (805) 441-3912

McALISTER RESIDENCE ADDITION AND REMODEL



DESIGN DATA	
OCCUPANCY GROUP - R3 TYPE OF CONSTRUCTION - VB	
DESIGN INFORMATION:	
FLOOR LIVE LOADS:	40 psf
ROOF LIVE LOADS:	20 psf
BASIC WIND SPEED (3 SECOND GUST):	85/38 mph
EXPOSURE:	C
SEISMIC DESIGN CATEGORY:	D2
SITE CLASS:	D
SOIL BEARING CAPACITY:	1500 PSF
FIRE SPRINKLERED REQUIRED:	NO

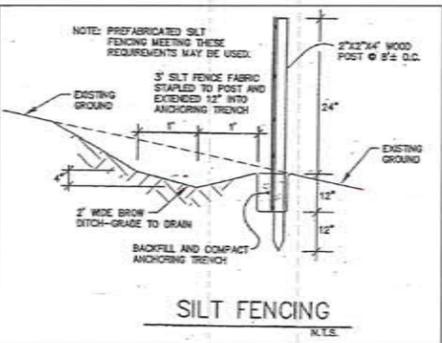
SCOPE OF WORK	
●	ADD NEW LIVING SPACE PER PLAN
●	NEW GARAGE ADDITION
●	REMODEL ENTIRE EXISTING HOUSE
●	

BUILDING AREAS	
EXISTING BUILDING	
LIVING SPACE:	1,706 SF
EXISTING GARAGE:	428 SF
EXISTING PATIO COVER:	145 SF
EXISTING PORCH:	110 SF
NEW SQUARE FOOTAGE	
LIVING SPACE ADDITION:	571 SF
CONVERSION TO GARAGE:	-162 SF
TOTAL NEW LIVING SPACE:	439 SF
NEW GARAGE:	162 SF

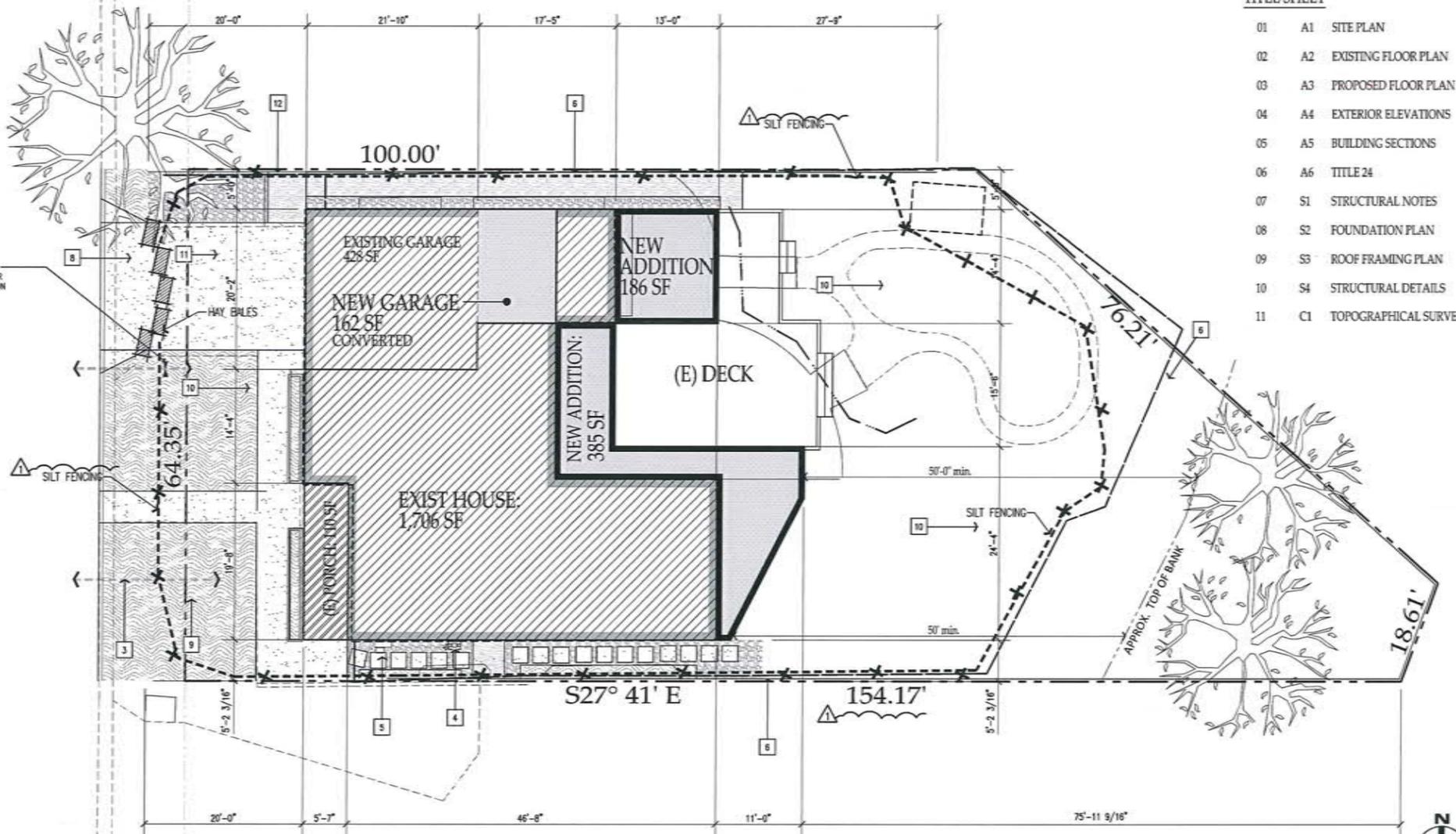
TOTAL AREAS	
LIVING SPACE:	2,115 SF
GARAGE:	590 SF

APN: 065-117-021
ZONING: R-1, S-2A
TOTAL LOT SIZE: 8,659 SF
AREA COVERED BY BUILDINGS: 2,815 SF 33%
AREA COVERED BY PAVING/DECK: 1,591 SF 18%
AREA COVERED BY LANDSCAPING: 4,253 SF 49%

ALL WORKED DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSIONAL EXTENT AND COMPATIBILITY TO THE EXISTING SITE, ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION.



SEWER LATERAL: PERFORM A VIDEO INSPECTION OF THE LATERAL AND SUBMIT TO PUBLIC WORKS. LATERAL SHALL BE REPAIRED IF NECESSARY. A SEWER BACKWATER VALVE AND DOWNSTREAM CLEANOUT, EXTENDED TO GRADE, SHALL BE INSTALLED ON THE SEWER LATERAL IF AN EXISTING BACKWATER VALVE IS NOT PRESENT.



- SITE KEYNOTES**
- 1 -> EXISTING WATER METER
 - 2 -> EXISTING AC CURB
 - 3 -> (E) 4" SEWER LINE (CONTRACTOR TO VERIFY LOCATION)
 - 4 -> (E) GAS METER
 - 5 -> (E) 125 AMP ELECTRICAL SERVICE PANEL w/ OVERHEAD FEED
 - 6 -> (E) 6' HIGH WOOD FENCE
 - 7 -> EXISTING CONCRETE PATIO
 - 8 -> EXISTING CURB-CUT DRIVEWAY
 - 9 -> EXISTING LANDSCAPE
 - 10 -> EXISTING GRAVEL
 - 11 -> EXISTING CONCRETE DRIVEWAY
 - 12 -> EXISTING 3' HIGH WOOD FENCE

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

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date	revisions
6/20/2014	PLAN CHECK COMMENTS

TITLE SHEET

01	A1	SITE PLAN
02	A2	EXISTING FLOOR PLAN
03	A3	PROPOSED FLOOR PLAN
04	A4	EXTERIOR ELEVATIONS
05	A5	BUILDING SECTIONS
06	A6	TITLE 24
07	S1	STRUCTURAL NOTES
08	S2	FOUNDATION PLAN
09	S3	ROOF FRAMING PLAN
10	S4	STRUCTURAL DETAILS
11	C1	TOPOGRAPHICAL SURVEY

RESIDENTIAL REMODEL AND ADDITION
McALISTER RESIDENCE
176 JAVA STREET
MORRO BAY CA 93455
JOE CANNON CONSTRUCTION (805) 441-3912

date MAY 16 2014
printed
drawn by ariel zarate
project number 965
drawing A1
sheet 01

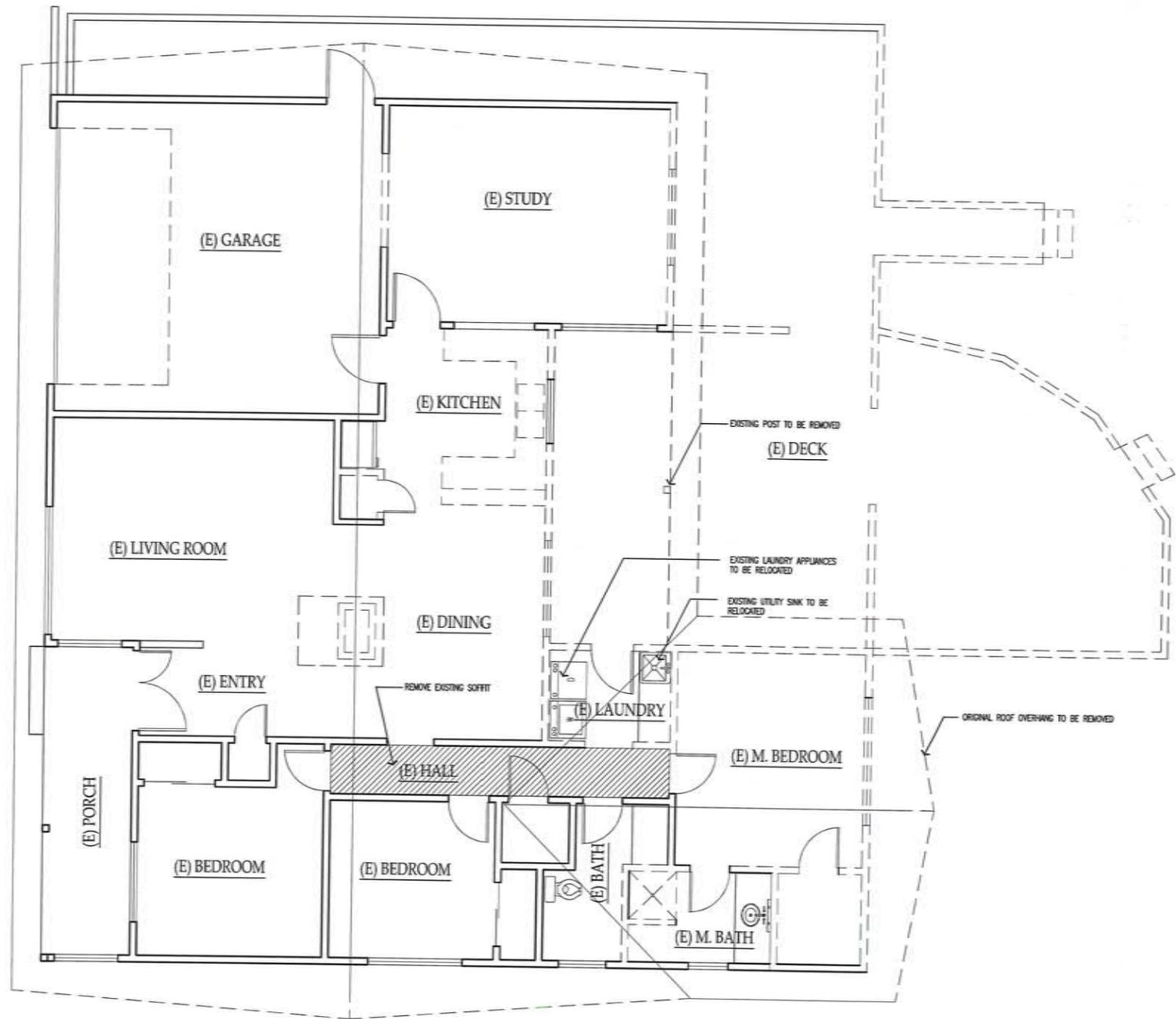
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JAN 02 2015

City of Morro Bay
Public Services Department



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EF EXISTING FLOOR PLAN (DEMOLITION PLAN)
SCALE: 1/4" = 1'-0"



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revisions	date

RESIDENTIAL REMODEL AND ADDITION
McAlister Residence
176 JAVA STREET
MORRO BAY CA 93455
JOE CANNON CONSTRUCTION (805) 441-3912

date MAY 16 2014
printed
drawn by ariel zarate
project number 965
drawing **A2**
of
sheet **02**
of



ELECTRICAL SYMBOLS LEGEND OR APPROVED EQUAL					
SYMBOL	PRODUCT NO.	NAME	FINISH	DESCRIPTION	LAMP(S)
	CEILING FIXTURE P5727-31	Progress Lighting	Black	Two-light ceiling fixture ENERGY STAR	2 medium base, each 50w max. COMPACT FLUORESCENT
	RECESSED LIGHT P61-2610AT	Progress Lighting	White	Ar-Tight, IC ENERGY STAR	4-PIN SPIRAL P7811-01 COMPACT FLUORESCENT
	SURFACE MOUNT CEILING FIXTURE P5085-02E9ME	Progress Lighting	White	One-light pendant style glass. ENERGY STAR	One 13w 4-pin spiral COMPACT FLUORESCENT
	Bathroom Bar Light P3150-02E9ME	Progress Lighting	White	PROGRESSIVE LIGHTING (wall mount) ENERGY STAR	3 Light - 13w-4-Pin Spiral COMPACT FLUORESCENT
	WALL MOUNT FIXTURE P5679-715TR	Progress Lighting	Golded Iron	One-light wall lantern with photo cell ENERGY STAR	1 26/32w 4-pin comp fl. D244-3 base COMPACT FLUORESCENT
	Linear Fluorescent 4'-0"		White	Surface Mount Fixture ENERGY STAR	2-FIT78 20W HPF Electronic FLUORESCENT LIGHTING

- F= FLOURESCENT
 CO= CONVENIENCE OUTLET
 GFCI= GROUND FAULT CIRCUIT INTERRUPTER
 WPC= WEATHER PROTECTED CONVENIENCE OUTLET
 SD= Smoke detectors shall receive their primary power from the building wiring and shall be equipped with a battery backup and emit a signal when the battery is low. Wiring shall be permanent and without a disconnecting switch other than as construction is taking place, in buildings that are not served from a commercial power source or in existing buildings undergoing alterations or repairs that do not result in the removal of interior walls or

GENERAL ELECTRICAL NOTES

SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS
 Smoke detectors shall be installed in every sleeping room, in the hallway outside any sleeping room and on every story including basements and habitable attics.
 Smoke detectors in new bedroom or hallways must be connected to the house wiring and must also have a battery backup. They shall be interconnected when accessible.
 Carbon Monoxide detectors are required outside sleeping area and on every story. These detectors are also to be interconnected. Multi-purpose alarms are allowed if approved by the Fire Marshal.

ELECTRICAL RECEPTACLES, SWITCHES & FIXTURES
 Receptacles must be spaced not more than 12 feet apart, with the first outlet not more than (6) feet from the door, fireplace, or similar opening. Every wall section of least two (2) feet wide or greater requires at least one receptacle.
 At least one receptacle outlet shall be installed in hallway ten (10) feet or more in length.
 The following Receptacles shall be GFI-protected:
 All receptacles in Bathrooms
 All kitchen counter receptacles
 All exterior receptacles
 All receptacles in garages or accessory buildings that have a floor at or below grade level.
 Any other receptacles within 6' of a sink.
 All receptacles in crawl spaces or unfinished basements at or below grade level.
 Receptacles in kitchen and dining areas shall be installed at each counter space so that no point along the wall line is more than 24 inches, measured horizontally from a receptacle outlet in that space. Island and peninsula counter tops 12 inches or wider shall have at least one receptacle.
 All rooms, hall and exterior doors must have a switch controlling a light fixture or receptacle.
 Arc Fault protection is required everywhere not Ground Fault protected.
 All receptacles shall be tamper resistant. NEC 408.11

HIGH-EFFICIENCY GENERAL LIGHTING
 Provide high efficiency general lighting throughout (see exceptions in the NEC 150 (N)). High-efficiency lighting shall be at least 30 lumens per watt (see Table 150-C) be switched separately and shall be controlled by the most accessible switch location.

OVERVIEW OF 2010 TITLE-24 LIGHTING STANDARDS	
Kitchen	High-efficiency Up to 50% of total wattage can be low-efficiency (receptacles) All high-efficiency and low-efficiency lighting must be switched separately
Bathroom, Garage, Laundry Room, Utility Room	High-efficiency Low-efficiency if equipped with a Manual-ON/Automatic-OFF occupancy sensor
All Other Interior Rooms (Living Room, Bedroom, Dining Room, Hallways) except closets less than 70 sq. ft.	High-efficiency Low-efficiency if equipped with a Manual-ON/Automatic-OFF occupancy sensor OR Low-efficiency if equipped with a dimmer switch
Outdoor lighting attached to buildings	High-efficiency Low-efficiency if equipped with a motion-sensor a photo control to turn off fixtures during daytime
Common areas of low-rise residential buildings (4 or more dwelling units)	High-efficiency Low-efficiency if equipped with an occupancy sensor

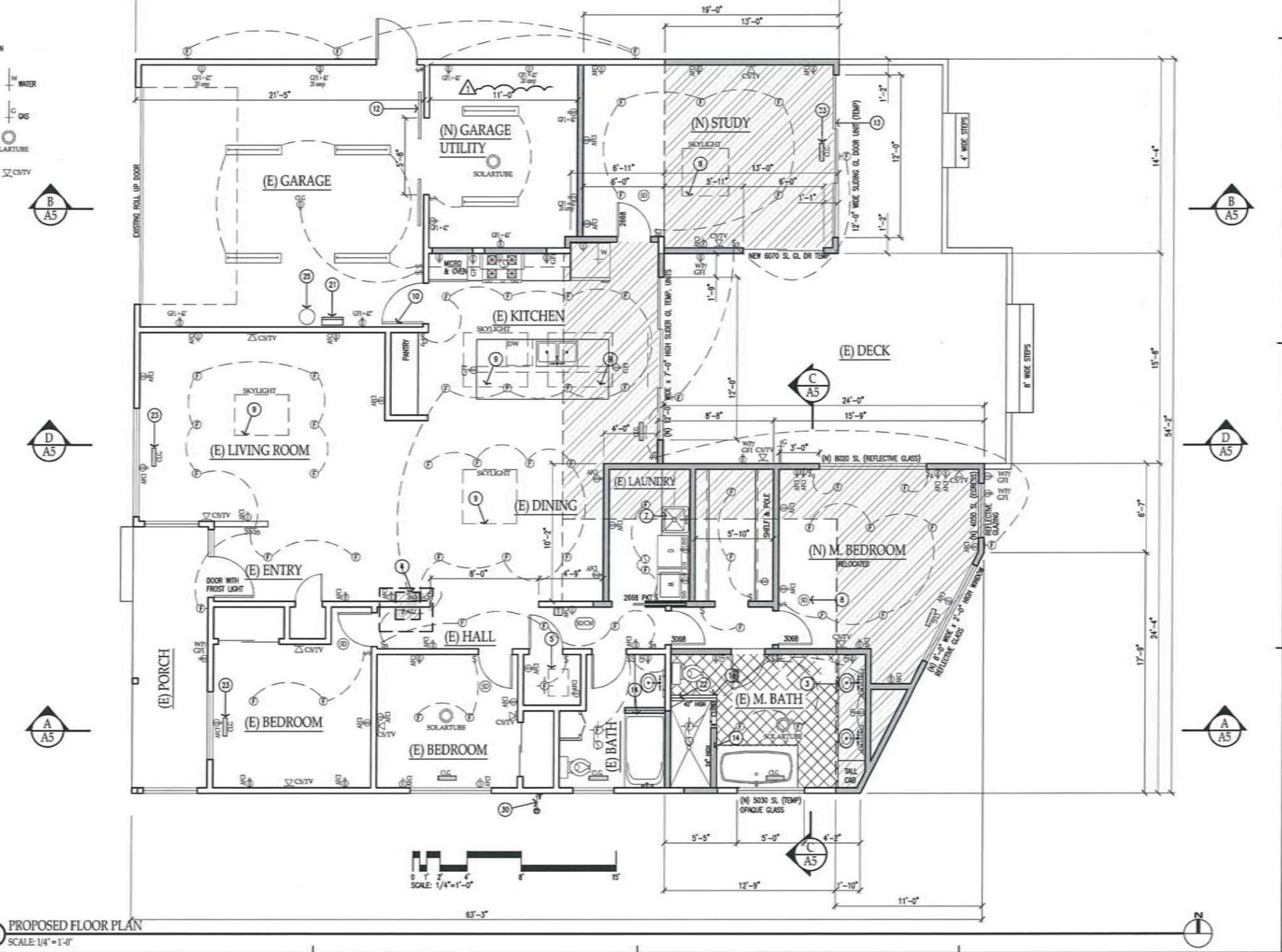
FOR ALL APPLICATIONS:
 Minimum lumens per sq. ft. of illuminated space shall be 13 watts or greater
 Receptacle lumens in all installed outlets approved for non-ohmic loads shall be 10 watts or greater.
 Insulator cover (IC) and certified origin: ASTM D252

Minimum Lumens per sq. ft.	Controlled Ballast Lamp	Controlled Ballast Lamp	Note:
40 LPW	Compact Fluorescent	LED	High-efficiency luminaires may not include medium screw-base sockets. Exception: outdoor metal halide or high-pressure sodium (HPS) lamps.
40 LPW	Compact Fluorescent	LED	High-efficiency luminaires may not include medium screw-base sockets if lumens per watt is less than 100. Exception: outdoor metal halide or high-pressure sodium (HPS) lamps.
40 LPW	Compact Fluorescent	LED	High-efficiency luminaires may not include medium screw-base sockets if lumens per watt is less than 100. Exception: outdoor metal halide or high-pressure sodium (HPS) lamps.

FLOOR PLAN KEY NOTES

- EXISTING WALLS TO REMAIN
 - 2x4 WOOD STUDS @ 16" o.c. OVER P.T. SILL PLATE
 - EXISTING WALLS TO BE REMOVED
 - 2x6 WOOD STUDS @ 16" o.c. OVER P.T. SILL PLATE
- ELECTRIC OUTLETS SHALL BE INSTALLED SO THAT NO POINT AROUND THE PERIMETER WALL OF ANY HABITABLE ROOM IS MORE THAN 6' MEASURED HORIZONTALLY FROM SUCH AN OUTLET, INCLUDING ANY WALLS 2' OR WIDER.
 - ALL EXTERIOR RECEPTACLES, GARAGE, BATHROOM, & ALL KITCHEN RECEPTACLES ABOVE BATHROOM COUNTERS SHALL HAVE GROUND FAULT INTERRUPTER CIRCUIT PROTECTION.
 - LIGHT FIXTURE LOCATED ON THE EXTERIOR ARE APPROVED FOR WET/DAMP LOCATIONS AS REQUIRED. (NEC 410.4 A)
 - GLAZING IN ALL ROOMS, ALL GLAZING WITHIN A 24" ARC OF A DOOR EDGE, AND GLASS PANELS OVER 8 SQUARE FEET IN AREA HAVING THE LOWEST EDGE LESS THAN 18" ABOVE THE FLOOR, AND ALL GLAZING IN GARAGES MUST BE TEMPERED. ANY GLASS WITHIN 60 INCHES OF TUB OR SHOWER.
 - ALL 120V, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING ALL OUTLETS INSTALLED IN PROPOSED ROOMS LEADING TO BEDROOMS AND IN THE NEW BEDROOMS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER. ELECTRIC OUTLETS INCLUDE, BUT ARE NOT LIMITED TO, RECEPTACLE, LIGHTING, SMOKE ALARM, AND CARBON MONOXIDE ALARM OUTLETS.

- INSULATION:
ROOF AREAS: R-30 INSULATION
EXTERIOR WALLS: R-13 INSULATION
FLOOR AREAS: R-19 INSULATION
- PLUMBING FIXTURES PROPOSED IN NEW BATHROOM SHALL HAVE THE FOLLOWING WATER CONSERVATION RATINGS:
• SHOWERHEADS SHALL USE NO MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI.
• LAUNDRY FAUCETS SHALL USE NO MORE THAN 1.5 GALLONS PER MINUTE AT 80 PSI.
• WATER CLOSETS SHALL USE NO MORE THAN 1.28 GPF.
- NEW FORCED AIR UNIT (FAU) LOCATED IN ATTIC
- ATTIC ACCESS 22"x30" PER CODE (RED. w/ MIN. 30" HEADROOM) WITH UNDERFLOOR ACCESS IN FLOOR
- RELOCATED WASHER & DRYER w/ WALL CABINETS ABOVE
- EXISTING UTILITY SINK (RELOCATED)
- SMOKE DETECTORS HARDWIRED & INTERCONNECTED TO ONE ANOTHER. PROVIDE BATTERY BACKUP TO ALL SMOKE DETECTOR UNITS (TYP). 52"-3"
- NEW 4'x4' VELUXE SKYLIGHTS
DOOR TO BE 1-3/8" SOLID CORE DOOR OR 20 MINUTE SELF CLOSING TIGHT-FITTING
- EXISTING WINDOWS: VERIFY EGRESS REQUIREMENTS AS FOLLOWS: PROVIDE AT LEAST ONE ESCAPE WINDOW OR EXTERIOR DOOR FOR EACH BEDROOM WITH A NET CLEAR OPENING THAT PROVIDES MINIMUM HEIGHT OF 24", MINIMUM WIDTH OF 20", MINIMUM TOTAL AREA OF 5.7 SQ. FT. AND MAXIMUM FINISH SILL HEIGHT OF 44" ABOVE FINISH FLOOR LEVEL.
- SPRN DOOR TYPE WITH HARDWARE (TO BE SUPPLIED BY OWNER)
- PROVIDE WALKING SURFACE OF EXTERIOR PORCHES, BALCONIES, STAIRWAYS TREADS AND LANDINGS SLOPING NO STEEPER THAN 2%. EVERY STAIRWAY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36"
- 42" HIGH WALL w/ GLASS AT SHOWER
- PROVIDE ALL BRANCH CIRCUITS SUPPLYING OUTLETS WITHIN THE NEW BEDROOMS, HALLS, CLOSETS OR SIMILAR ROOMS WITH A LISTED ARC-FAULT CIRCUIT INTERRUPTER. ALL 120V, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN PROPOSED BEDROOMS, HALL, AND CLOSETS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER. PROVIDE SMOKE AND CARBON MONOXIDE ALARMS IN CONFORMANCE WITH CRC R314, R315
- NWA HANOVERS WATER HEATER
- 18" HIGH SHELF @ SHOWER
- NEW HEAT REGISTER
- WATER FILTER
- EXISTING BUILT-IN STORAGE
- WATER CLOSETS SHALL BE SET A MINIMUM OF 15 INCHES FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION AND NOT CLOSER THAN 30 INCHES CENTER TO CENTER TO A SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF A WATER CLOSET SHALL BE NOT LESS THAN 24 INCHES.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF THE PROPOSED SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM. CARBON MONOXIDE AND SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP CRC R314 & R315
- EXISTING OUTDOOR SHOWER



PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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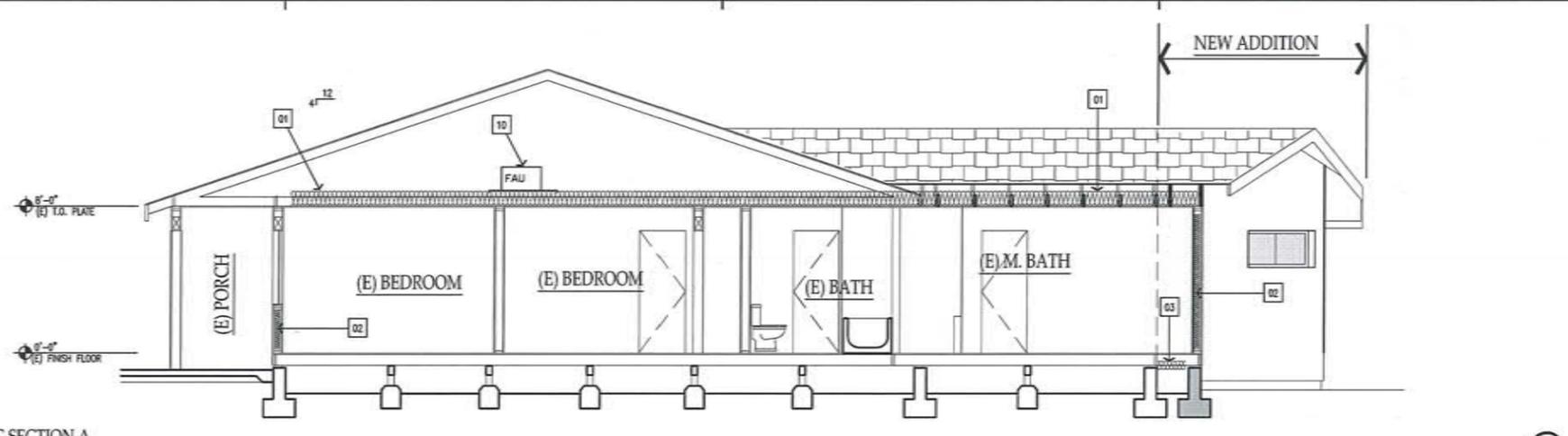
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6/20/2014	PLAN CHECK COMMENTS

RESIDENTIAL REMODEL AND ADDITION
McALISTER RESIDENCE
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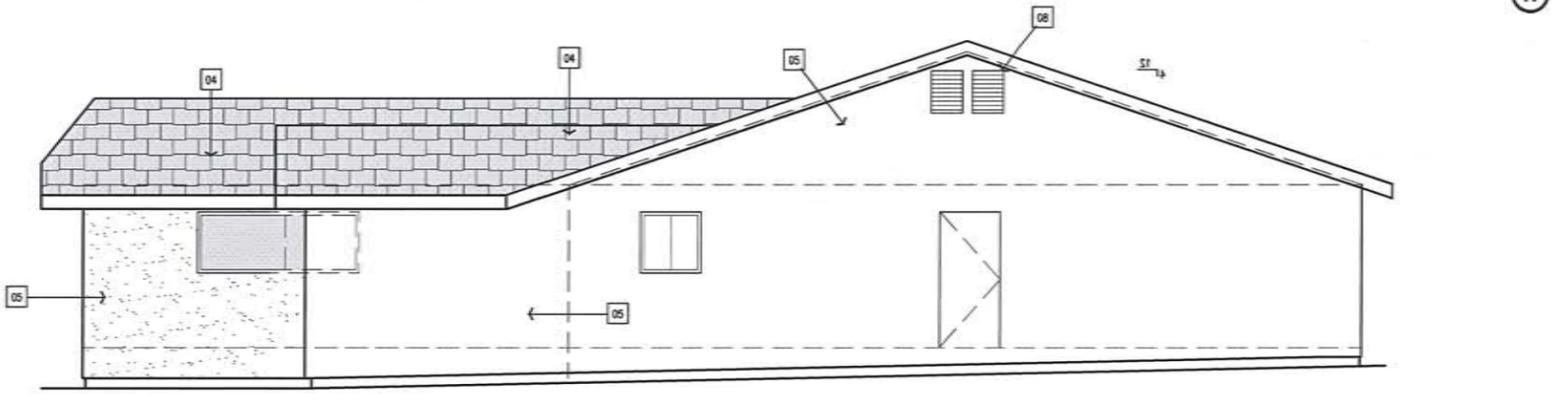
date MAY 16 2014
 printed
 drawn by ariel zarate
 project number 965
 drawing **A3**
 of
 sheet **03**
 of



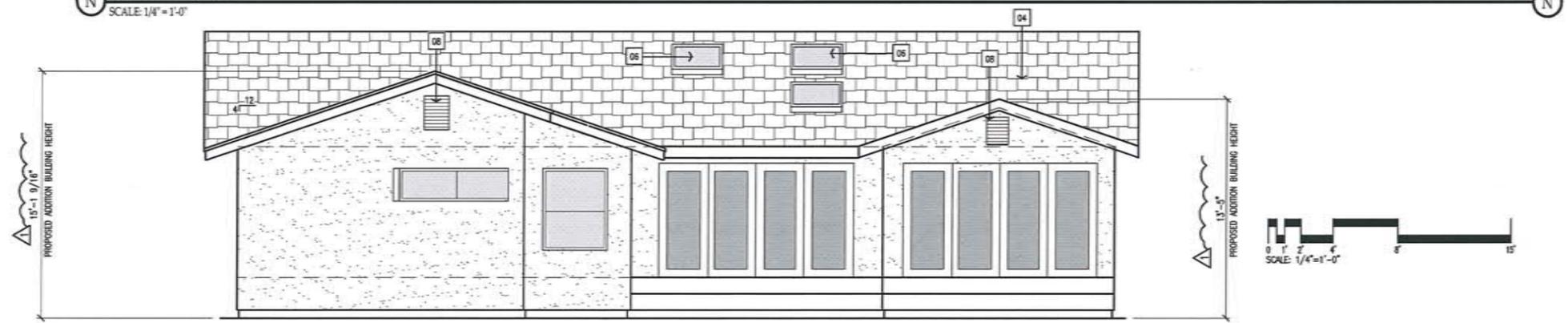
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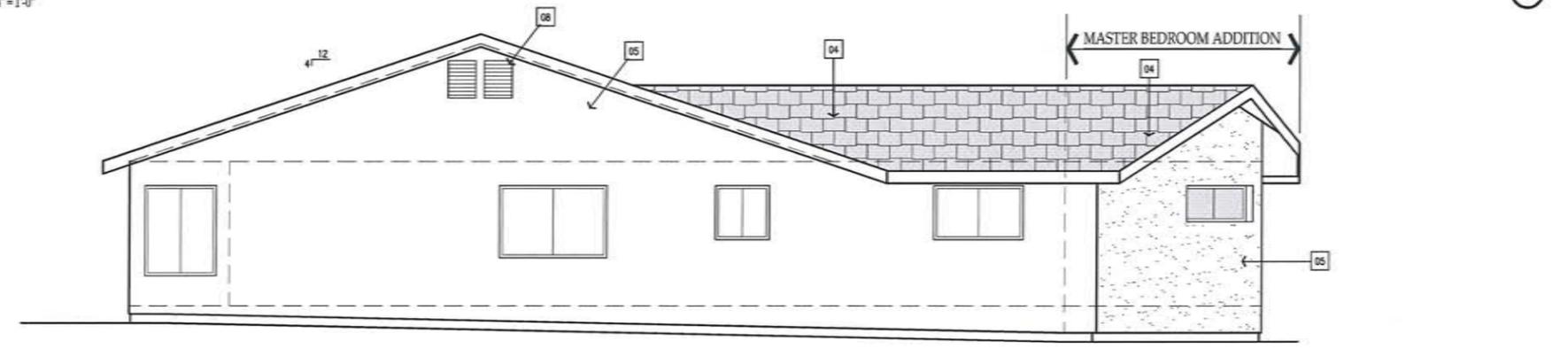
BUILDING SECTION A
SCALE: 1/4" = 1'-0"



NOth ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SECTION & ELEVATION KEY NOTES

- 01 → R-30 INSULATION ALL ROOF AREAS
- 02 → R-13 INSULATION ON EXTERIOR WALLS
- 03 → R-19 INSULATION IN FLOOR FRAMING
- 04 → NEW FIBERGLASS COMPOSITION SHINGLES (ENTIRE HOUSE)
- 05 → STUCCO OVER BUILDING PAPER (ENTIRE HOUSE)
- 06 → NEW SKYLIGHT PER PLANS
- 07 → 5/8" TYPE 'X' GYP. BD. WALL FINISH AT GARAGE/DWELLING SEPARATION
- 08 → GABLE END VENTS
- 09 → DORMER VENTS (LOW PROFILE)
- 10 → FORCED AIR UNIT INSTALLED IN ATTIC
- 11 → NEW ROOF FRAMING (PRE-ENGINEERED TRUSSES)
- 12 → NEW SLAB FOUNDATION AT NEW GARAGE EXTENSION

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STATE OF CALIFORNIA RESIDENTIAL ALTERATIONS... PROJECT NAME: McALISTER RESIDENCE... 176 JAVA STREET... MORRO BAY... MAY 14 2014... Includes sections for General Information, Penetration Proposed Areas, and Alterations Allowed Areas.

STATE OF CALIFORNIA RESIDENTIAL ALTERATIONS... PROJECT NAME: McALISTER RESIDENCE... 176 JAVA STREET... MORRO BAY... MAY 14 2014... Includes sections for Penetration Proposed Areas and Alterations Allowed Areas.

STATE OF CALIFORNIA RESIDENTIAL ALTERATIONS... PROJECT NAME: McALISTER RESIDENCE... 176 JAVA STREET... MORRO BAY... MAY 14 2014... Includes sections for HVAC Systems - Heating, HVAC Systems - Cooling, Water Heating, and Special Features.

STATE OF CALIFORNIA MANDATORY MEASURES SUMMARY: RESIDENTIAL... PROJECT NAME: McALISTER RESIDENCE... 176 JAVA STREET... MORRO BAY... MAY 14 2014... Includes sections for Building Envelope Measures, Lighting, and Energy Conservation.

STATE OF CALIFORNIA RESIDENTIAL ALTERATIONS... PROJECT NAME: McALISTER RESIDENCE... 176 JAVA STREET... MORRO BAY... MAY 14 2014... Includes sections for Direct Sealing & Taping, Refrigerant Charge - Split System, and Central Fan Integrated (CFI) Ventilation System.

STATE OF CALIFORNIA RESIDENTIAL ALTERATIONS... PROJECT NAME: McALISTER RESIDENCE... 176 JAVA STREET... MORRO BAY... MAY 14 2014... Includes sections for Roofing Products (COOL ROOF) and Documentation Author's Declaration Statement.

STATE OF CALIFORNIA MANDATORY MEASURES SUMMARY: RESIDENTIAL... PROJECT NAME: McALISTER RESIDENCE... 176 JAVA STREET... MORRO BAY... MAY 14 2014... Includes sections for Building Envelope Measures, Lighting, and Energy Conservation.

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GENERAL STRUCTURAL NOTES

GENERAL NOTES

- THE FOLLOWING NOTES TYPICAL DETAILS AND SCHEDULES SHALL APPLY TO ALL PHASES OF THIS PROJECT UNLESS OTHERWISE SHOWN OR NOTED.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE MINIMUM STANDARDS OF THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND SUCH OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK. THE CONTRACTOR SHALL HAVE A COPY OF THE CBC ON THE JOB SITE.
- THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS (CONTRACT DOCUMENTS) AND SHALL NOTIFY THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK.
- ALL INFORMATION ON EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON BEST PRESENT KNOWLEDGE AVAILABLE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL NOTIFY THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND INFORMATION SHOWN ON DRAWINGS OR IN THE SPECIFICATIONS (CONTRACT DOCUMENTS) BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER OF ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS OF THE STRUCTURE.
- ALL WORK SHALL CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES CONCERNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES.
- THESE NOTES, DETAILS, DRAWINGS AND SPECIFICATIONS (CONTRACT DOCUMENTS) REPRESENT THE FINISHED STRUCTURE, AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE DRAWINGS AND GENERAL NOTES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING FOR ALL STRUCTURAL MEMBERS AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE PROPER ALIGNMENT OF THE STRUCTURE AFTER THE INSTALLATION OF ALL STRUCTURAL AND FINISH MATERIALS. THIS SHALL INCLUDE ANY NECESSARY PRELOADING OF THE STRUCTURE TO DETERMINE FINAL POSITION OF THE COMPLETED WORK.
- OBSERVATION VISITS TO THE PROJECT SITE BY FIELD REPRESENTATIVES OF ARCHITECT AND/OR ENGINEER (SUPPORT SERVICES) SHALL NOT INCLUDE INSPECTIONS OF SAFETY OR PROTECTIVE MEASURES NOR CONSTRUCTION PROCEDURES, TECHNIQUES OR METHODS. ANY SUPPORT SERVICES PERFORMED BY ARCHITECT OR ENGINEER DURING ANY PHASE OF CONSTRUCTION, SHALL BE DISTINGUISHED FROM CONTINGENT AND DETAILED INSPECTION SERVICES (AS REQUIRED BY ANY REGULATING GOVERNMENTAL AGENCY, I.E. LOCAL BUILDING DEPARTMENT) PROVIDED BY OTHERS. THESE SUPPORT SERVICES WHETHER OF MATERIAL OR WORK, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL, AND IN ACHIEVING CONFORMANCE WITH CONTRACT DOCUMENTS, BUT DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSIDERED AS SUPERVISION OF CONSTRUCTION.
- PROVIDE OPENINGS AND SUPPORTS AS REQUIRED PER TYPICAL DETAILS AND NOTES FOR MECHANICAL AND ELECTRICAL EQUIPMENT, VENTS, DUCTS, PIPING, ETC. ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT SHALL BE PROPERLY "BUSH BRACED" AGAINST LATERAL FORCES.
- THESE NOTES, DETAILS, DRAWINGS AND SPECIFICATIONS (CONTRACT DOCUMENTS) DO NOT CARRY NECESSARY PROVISIONS FOR CONSTRUCTION SAFETY. THESE DOCUMENTS AND ALL PHASES OF CONSTRUCTION HEREBY CONTINGENT ARE TO BE GOVERNED, AT ALL TIMES, BY APPLICABLE PROVISIONS OF THE CURRENT CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT.
- WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF FEDERAL, STATE AND LOCAL LAWS, CODES OR ORDINANCES, RULES AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- REFER TO ARCHITECTURAL DRAWINGS TO COORDINATE WITH STRUCTURAL DRAWINGS, AND ANY DISCREPANCY BETWEEN THESE DRAWINGS SHALL BE REFERRED TO THE ARCHITECT OR ENGINEER FOR CLARIFICATION BEFORE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- DRAWINGS (NOTES, SCHEDULES, DETAILS AND PLANS) SHALL HAVE PRECEDENCE OVER STRUCTURAL CALCULATIONS.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR IN THE GENERAL NOTES OR SPECIFICATIONS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
- NOT USED.
- ASTM DESIGNATION AND ALL STANDARDS REFER TO THE LATEST AMENDMENTS.
- MODIFICATIONS OF THESE NOTES, DETAILS, PLANS AND SPECIFICATIONS SHALL NOT BE MODIFIED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT OR ENGINEER.
- ONLY "APPROVED" STRUCTURAL WORKING DRAWINGS (AND OTHER CONSTRUCTION DOCUMENTS) ARE PERMITTED TO BE USED FOR CONSTRUCTION ON THIS PROJECT. ALL OTHER DRAWINGS ARE OBSOLETE AND ARE NOT PERMITTED ON THE JOB SITE. NOR SHALL THEY BE USED FOR ANY CONSTRUCTION PURPOSES. CONTRACTORS USING UNAPPROVED DRAWINGS ARE SOLELY RESPONSIBLE FOR ALL WORK NOT PERFORMED IN ACCORDANCE WITH THE "APPROVED" DRAWINGS.

FOUNDATION NOTES

- BASES: C.B.C. CHAPTER 18
- ALLOWABLE SOIL BEARING PRESSURE:
DEAD LOAD PLUS LIVE LOAD: 1000 P.S.F.
- UNEXPECTED SOIL CONDITIONS: ALLOWABLE VALUES AND FOUNDATION DESIGN ARE BASED UPON ASSUMED SOIL CONDITIONS FOR THE LOCAL AREA. ACTUAL SOIL CONDITIONS WHICH DEVIATE APPRECIABLY FROM THAT WHICH IS COMMON FOR THE LOCAL AREA SHALL BE REPORTED TO THE PROJECT ARCHITECT/ENGINEER.
- NOT USED.
- EXCAVATE TO REQUIRED DEPTHS AND DIMENSIONS (AS INDICATED IN DRAWINGS) AND SMOOTH BOTTOM WITH FINISH LEVEL. BOTTOMS CARE SHALL BE TAKEN NOT TO OVEREXCAVATE FOUNDATION AT LOWER ELEVATION AND PREVENT DISTURBING OF SOILS AROUND HIGH ELEVATION.
- FOOTINGS SHALL BE POURED IN NEAT EXCAVATIONS, WITHOUT SIDE FORMS UNLESS NECESSARY.
- CARRY ALL FOUNDATIONS TO REQUIRED DEPTHS INTO CONTACTED FILL OR NATURAL SOIL (AS PER STRUCTURAL PLANS AND DETAILS).

- FOUNDATIONS SHALL NOT BE POURED UNTIL ALL REQUIRED REINFORCING STEEL, SLEEVES, INSERTS, CONDUITS, PIPES, ETC. AND FORMWORK IS PROPERLY PLACED AND INSPECTED BY THE LOCAL BUILDING OFFICIAL/INSPECTOR.
- THE SIDES AND BOTTOMS OF EXCAVATIONS WHICH ARE TO HAVE CONCRETE CONTACT MUST BE MOISTENED SEVERAL TIMES JUST PRIOR TO POURING UPON THEM.
- DE-SATURATE FOOTINGS AS REQUIRED TO MAINTAIN DRY WORKING CONDITIONS.
- ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED AND APPROVED BY PROJECT SOILS ENGINEER PRIOR TO FORMING AND PLACEMENT OF REINFORCING OR CONCRETE.

CONCRETE

- ALL CONCRETE SUPPLIED AT THE JOBSITE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 1500 P.S.I. AT 28 DAYS. ALL CONCRETE SHALL BE REGULAR WEIGHT (UNLESS SPECIFICALLY NOTED OTHERWISE).
- ALL CONCRETE WORK SHALL COMPLY WITH C.B.C. CHAPTER 18.
- SPECIAL INSPECTION (AS REQUIRED OR SPECIFIED) SHALL CONFORM TO C.B.C. CHAPTER 17.
- CEMENT SHALL BE PORTLAND CEMENT TYPE I OR II AND SHALL CONFORM TO C.B.C. CHAPTER 18.
- AGGREGATES SHALL CONFORM TO ASTM C33.
- WHERE NOT SPECIFICALLY DETAILED, THE MINIMUM CONCRETE COVER ON REINFORCING STEEL SHALL BE:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH OR WEATHER: 3"
 - CONCRETE PLACED AGAINST FORMS, BUT EXPOSED TO EARTH OR WEATHER: 1 1/2"
 - SLABS, WALLS, JOISTS, NOT EXPOSED TO EARTH OR WEATHER: 3/4"
 - BEAMS, GIRDERS, COLUMNS, NOT EXPOSED TO EARTH OR WEATHER: 1 1/2"
- REINFORCING BARS LARGER THAN #8 ARE NOT PERMITTED UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.
- MINIMUM LAP FOR ALL REINFORCING BARS AT SPLICES (SPLICES TO BE STAGGERED):

#3	6"	#4	8"
#5	8"	#5	10"
#6	10"	#6	12"
#7	12"	#7	14"
#8	14"	#8	16"
- THE MINIMUM RADIUS OF BEND FOR REINFORCING STEEL (MEASURED ON THE INSIDE OF BEND) SHALL BE AS FOLLOWS:

#3	4D	#4	4D
#5	4D	#5	4D
#6	4D	#6	4D
#7	4D	#7	4D
#8	4D	#8	4D
- ALL ANCHOR BOLTS USED IN CONCRETE CONSTRUCTION SHALL HAVE A MINIMUM TOTAL EMBEDMENT AS FOLLOWS:

3/8" DIA OR SMALLER	12"
3/4" DIA	18"
1" DIA	24"
- LOCATION OF ALL CONSTRUCTION JOINTS OTHER THAN SPECIFIED, SHALL BE APPROVED BY ARCHITECT/ENGINEER PRIOR TO POURING. CONSTRUCTION JOINTS SHALL BE THOROUGHLY AIR AND WATER CLEANED AND HEAVILY ROUGHENED SO AS TO EXPOSE COARSE AGGREGATES. ALL SURFACES TO RECEIVE CONCRETE SHALL BE MAINTAINED CONTINUOUSLY WET AT LEAST THREE HOURS IN ADVANCE OF POURING.
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOUGLAS, INSERTS AND ANY OTHER HARDWARE TO BE SET IN CONCRETE SHALL BE WELL SECURED IN POSITION PRIOR TO POURING OF CONCRETE.
- ARCHITECT OR ENGINEER AND INSPECTOR SHALL BE NOTIFIED FOR REINFORCING INSPECTION PRIOR TO POURING ANY CONCRETE.
- CONTRACTOR SHALL OBTAIN APPROVAL FROM ARCHITECT/ENGINEER PRIOR TO PLACING SLEEVES, PIPES, DUCTS, CHASES, CORING AND OPENINGS ON OR THROUGH STRUCTURAL CONCRETE BEAMS, WALLS, FLOORS AND ROOF SLABS, UNLESS SPECIFICALLY DETAILED OR NOTED. ALL PIPES OR CONDUITS PASSING THROUGH CONCRETE MEMBERS SHALL BE SLEEVED WITH STANDARD STEEL PIPES. SEE DETAIL FOR SLEEVES AT FOUNDATION.
- FORMWORK DESIGN AND REMOVAL SHALL CONFORM TO C.B.C. SECTION 1805.
- VIBRATE ALL CONCRETE (INCLUDING SLABS ON GRADE) AS IT IS PLACED, WITH A MECHANICAL VIBRATOR OPERATED BY EXPERIENCED PERSONNEL. THE VIBRATOR SHALL BE USED TO CONSOLIDATE THE CONCRETE, NOT TRANSPORT IT. REINFORCING AND FORMS SHALL NOT BE VIBRATED.
- ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE A.C.I. BUILDING CODE AND THE LATEST EDITIONS OF THE A.C.I. MANUALS OF CONCRETE PRACTICE.
- FORM REMOVAL: REMOVE FORMS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

SIDE FORMS FOOTINGS: MINIMUM 2 DAYS
EDGE FORMS OF SLAB ON GRADE STRIP 1 MINIMUM 1 DAY
- CONCRETE SHALL NOT FREE FALL MORE THAN SIX FEET. USE TRUCK PUMP OR OTHER APPROVED METHODS.
- CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
- CONTRACTOR SHALL SUBMIT REQUESTS FOR USE OF ADmixTURES TO ARCHITECT/ENGINEER FOR HIS REVIEW.
- MIX DESIGNS SHALL BE PREPARED BY AN APPROVED TESTING LABORATORY AND SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL.
- ONLY ONE GRADE OF CONCRETE SHALL BE ALLOWED ON PROJECT SITE AT ANY ONE TIME.
- UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE, CONSTRUCTION AND CONTROL JOINTS SHALL BE PROVIDED IN ALL CONCRETE SLABS, AND SHALL BE LOCATED SUCH THAT THE AREA WITHIN JOINTS DOES EXCEED 400 SQ. FT. AND IS ROUGHLY SQUARE.
- EVERY OPENING (EXCEEDING 24" IN EITHER DIRECTION) SHALL HAVE A MINIMUM OF 2-#5 DIRECTLY ADJACENT TO ALL SIDES AS WELL AS TOP AND BOTTOM (UNLESS AT FOUNDATION). REINFORCING BARS SHALL EXTEND A MINIMUM OF 24" PAST EDGE OF OPENING.
- DOVELL ALL CONCRETE WALLS AND COLUMNS TO SUPPORTING CONCRETE WITH BARS OF THE SAME SIZE AND SPACING AS VERTICAL BARS IN WALL AND COLUMNS. SEE NOTE #9 FOR LAP LENGTH. DO NOT "WICKET" BARS. ALL DOVELLS SHALL BE VERTICAL.
- AT THE END, AS WELL AS TOP, OF WALLS SHALL BE A MINIMUM OF 2 #5 CONTIGUOUS.
- CONCRETE STRENGTH SHALL BE VERIFIED BY STANDARD CYLINDER TESTS (IN ACCORDANCE WITH C.B.C. SECTION 1805) MADE BY AN APPROVED TESTING LABORATORY. CONTRACTOR SHALL MAINTAIN COPIES OF TEST REPORTS AT JOB SITE AND AVAILABLE FOR REVIEW AND INSPECTION BY BUILDING OFFICIALS. MAKE 3 TEST CYLINDERS FOR EACH DAY'S POUR. TEST EACH BATCH OF CYLINDERS AS FOLLOWS: 1 AT 1 DAY, AND 2 AT 28 DAYS.

REINFORCING STEEL

- ALL REINFORCING STEEL SHALL BE DEFORMED INTERMEDIATE GRADE BARS CONFORMING TO ASTM A-63, GRADE 60 UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL NOT BE WELDED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- WELDING OF REINFORCING STEEL (WHERE SPECIFICALLY NOTED OR DETAILED) SHALL CONFORM TO C.B.C. CHAPTER 17. WELDED REBAR SHALL BE LOW-ALLOY STEEL CONFORMING TO ASTM A106/A106M.
- TO HOLD REINFORCING BARS IN THEIR TRUE POSITION AND PREVENT DISPLACEMENT, STANDARD TIE AND ANCHORAGE DEVICES MUST BE PROVIDED. PLACING OF REINFORCEMENT SHALL CONFORM TO C.B.C. SECTION 1807.5 & A.C.I. 308-6B.
- SHOP DRAWINGS FOR FABRICATION OF ANY REINFORCING STEEL SHALL BE APPROVED BY CONTRACTOR AND SUBMITTED TO ARCHITECT OR ENGINEER FOR HIS REVIEW, PRIOR TO FABRICATION.
- REFER TO CONCRETE AND CONCRETE BLOCK NOTES FOR MINIMUM SPLICE LENGTH AND MINIMUM RADIUS OF BEND, OF REINFORCING STEEL.
- STAGGER SPLICES IN REINFORCING STEEL, UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
- FABRICATION, ERECTION AND PLACEMENT OF REINFORCING STEEL SHALL CONFORM TO CONCRETE REINFORCING STEEL, INSTITUTE OF STANDARD PRACTICE.
- ALL BOWEN WIRE FISH SHALL CONFORM TO ASTM A-88. LAP ALL WIRE FISH TWO MODULES.
- REINFORCING STEEL SHALL BE CLEAN OF RUST, GREASE OR OTHER MATERIAL LIKELY TO PREHAR BOND.

LUMBER/TIMBER

- LUMBER GRADES: DOUGLAS FIR-LARCH

2x STUDS, BLOCKING & PLATES	OR BETTER
BEARING WALLS	CONSTRUCTION OR BETTER
2x JOISTS	OR BETTER
4x BEAMS	OR BETTER
6x BEAMS EXPOSED (INT/EXT)	SELECT STRUCTURAL OR BETTER
4x POSTS	OR BETTER
6x POSTS	OR BETTER
- FOUNDATION SLIP PLATES SHALL BE CALIFORNIA REDWOOD (CLOSE GRAIN) OR PRESURE TREATED DOUGLAS FIR. SEE SHEAR WALL SCHEDULES AND FOUNDATION PLAN FOR ANCHOR BOLT SIZE AND SPACING. SEE CARPENTRY FRAMING NOTE #6.
- PLYWOOD/OSB SHALL BE RATED SHEATHING (OR BETTER). EXPOSURE 1 AS GRADED BY A.P.A. PLYWOOD SHALL CONFORM TO UNITED STATES PRODUCT STANDARDS PS 1-58. OSB SHALL CONFORM TO PS 2-58.
- LUMBER SHALL CONFORM TO C.B.C. CHAPTER 13.
- MINIMUM MOISTURE CONTENT FOR ALL STRUCTURAL MEMBERS SHALL NOT EXCEED 19% (UNLESS SPECIFICALLY NOTED OTHERWISE).

FASTENERS

- NAILING FOR FRAMING SHALL BE WITH COMMON NAILS (NON).
- LAG SCREWS SHALL BE SCREWED INTO PREDRILLED HOLES. CLEARANCE HOLE FOR THE SHANK PORTION AND LEAD HOLE FOR THE TAPERED PORTION SHALL BE DRILLED IN ACCORDANCE WITH C.B.C. SECTION 2337.12.
- BOLTS SHALL HAVE STANDARD CAST IRON MALLEABLE IRON WASHERS (UNLESS USED WITH METAL SIDE PLATES OR ANGLES).
- BOLT HOLES THROUGH LUMBER SHALL BE DRILLED 1/8" LARGER HOLE THAN BOLT DIAMETER.
- ALL BOLTS SHALL CONFORM TO ASTM 307.
- WASHERS AT EACH BOLT HEAD AND NUT, AT LOCATIONS WITH NO METAL SIDE PLATES.

- BOLT TIGHTENING: TAKE UP 9/16" AND RETIGHTEN AT THE LATEST PRACTICABLE TIME DURING CONSTRUCTION.
- NAILS SHALL NOT BE DRIVEN CLOSER THAN 1/4" OF THEIR LENGTH, NOT CLOSER TO THE EDGE OF THE MEMBER THAN 1/4" LENGTH, EXCEPT FOR SHEATHING.
- SUB-BORE WHEN NAILS TEND TO SPLIT WOOD. SUB-BORE FOR 20d AND LARGER NAILS. DRILL DIAMETER SHALL BE 0.75 TIMES NAIL DIAMETER.
- PROVIDE 22# X 3" X 3" STEEL PLATE WASHER AT ALL ANCHOR BOLTS.
- FASTENERS FOR PRESERVATIVE TREATED WOOD & FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIP ZINC-COATED GALVANIZED STEEL, SPANLESS STEEL, SILICON BRONZE OR COPPER. THE COATING RESISTS FOR ZINC-COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 83. FASTENERS OTHER THAN NAILS, TIMBER RIVETS, WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B 635, CLASS 55 MINIMUM. EXCEPTION: PLAIN CARBON STEEL FASTENERS IN 50# DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR DRY ENVIRONMENT SHALL BE PERMITTED.

CARPENTRY FRAMING

- SEE C.B.C. TABLE 2304.5.1 FOR MINIMUM NAILING REQUIREMENTS.
- METAL FRAMING ANGLES, ANCHORS, CLIPS, STRAPS, TIES, HOLDINGS, ETC. SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE CO. OR AN APPROVED EQUAL.
- PLYWOOD USED IN ROOFS, FLOORS AND DECKS, SHALL BE PLACED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. PLYWOOD SHEETS SHALL BE STAGGERED.
- FACE NAIL ALL DOUBLE (AND TRIPLE) 2x STUDS AND JOISTS TOGETHER WITH 16d AT 12" O.C. STAGGER NAILS TOP & BOTTOM.
- PROVIDE 2x SOLID FIRE BLOCKING IN ALL STUD WALLS AT 8'-0" (MAX) VERTICAL SPACING.
- UNLESS OTHERWISE NOTED, THE MINIMUM SILL PLATE BOLTING SHALL BE 3" DIA. X 18" ANCHOR BOLT AT 48" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE WITH ONE BOLT WITHIN 6" TO 12" OF EACH END OF PLATE. SEE LUMBER/TIMBER NOTE #9 AND FASTENERS NOTE #8.

- INTERIOR NON-BEARING NON-SHEAR STUD WALL SILL PLATES MAY BE SECURED TO CONCRETE SLABS WITH "MILITARY" TYPE X-DIMENSION SHOT PINS # 8" O.C. WITH STEEL WASHERS. INSTALLATION SHALL CONFORM TO I.C.C. ESR-1043.
- IN GENERAL, PLYWOOD PANEL EDGES (FOR SHEAR WALLS, ROOFS, FLOORS AND DECKS) SHALL BEAR ON FRAMING MEMBERS (2x MINIMUM) AND BUTT ALONG THEIR CENTER LINES.
- PLACE BEAMS WITH NATURAL CAMBER UPWARD.
- UNLESS OTHERWISE SPECIFICALLY NOTED OR DETAILED SPLICES IN CONTIGUOUS DOUBLE 2x TOP PLATES SHALL BE LAPPED 4'-0" (MIN) WITH 16d AT 3" O.C. (STAGGERED).
- WHERE WOOD STUD WALLS ABUT CONCRETE OR MASONRY WALLS, THE END STUD (P.T.O.F. OR REDWOOD) SHALL BE BOLTED TO CONCRETE/MASONRY WITH 1/2" DIA. AB. (WITH EMBEDMENT OF 2x SILL MATERIAL) AND DIMENSION AS STUD. EXTEND 2 STUDS BOTH SIDES WITH REINFORCE PLATE, SILL OR STUDS AS FOLLOWS:
 - PLATES: 1 1/2" X 18" STRIP EACH SIDE OF PLATE NAILED WITH 4 - 16d NAILS EACH SIDE OF HOLE. HOLES OVER 33% OF THE PLATE WIDTH ARE NOT PERMITTED IN ANY PLATE. ANY PIPE OR CONDUIT REQUIRING A HOLE LARGER THAN 33% OF THE PLATE WIDTH SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
 - SILLS: SPLICE IN A MANNER SIMILAR TO PLATES ABOVE. AT HOLES BETWEEN 25% AND 33% OF SILL WIDTH, SILLS MAY BE COMPLETELY CUT ON EITHER SIDE OF A PIPE OR CONDUIT PROVIDED AN ADDITIONAL ANCHOR BOLT OR 6 - 16d IS PLACED WITHIN 9" OF THE END OF THE SILL EACH SIDE OF THE PIPE OR CONDUIT.
 - STUDS: BLOCK ON EACH SIDE OF STUD WITH BLOCK OF 54# MATERIAL AND DIMENSION AS STUD. EXTEND 2 STUDS BOTH SIDES EACH SIDE OF HOLE AND PROVIDE 3 - 16d NAILS TO STUD EACH SIDE OF HOLE. BORED HOLES GREATER THAN 33%, BUT LESS THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED, WHERE EACH STUD IS DOUBLED AND NOT MORE THAN TWO SUCCESSIVE DOUBLE STUDS ARE SO BORED AND EACH BORED STUD IS REINFORCED AS ABOVE.
- NO STRUCTURAL MEMBERS (JOISTS, PLATES, STUDS, BEAMS, COLUMNS, ETC.) SHALL BE NOTCHED, CUT OR DRILLED (EXCEPT FOR HOLES REQUIRED FOR BOLTING) UNLESS SPECIFICALLY NOTED (SEE NOTE #4 & 8) OR DETAILED OTHERWISE, OR WITH WRITTEN APPROVAL FROM ARCHITECT/ENGINEER.
- HOLES AND NOTCHES IN JOISTS:
 - NOTCHES IN THE TOP & BOTTOM OF JOISTS SHALL NOT EXCEED ONE SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF SPAN OR WITHIN 18" OF SUPPORTS.
 - HOLES BORED IN JOISTS SHALL NOT EXCEED ONE SIXTH OF JOIST DEPTH AND BE LOCATED WITHIN MIDDLE 1/3 OF SPAN AND WITHIN THE MIDDLE THIRD OF JOIST DEPTH.
- HOLES AND NOTCHES IN STUDS, PLATES AND SILLS: BORED HOLES MAY BE PLACED IN STUDS, PLATES AND SILLS PROVIDED THEY ARE ACCURATELY CENTERED ABOUT STUD, SPACED AT A MINIMUM OF 2" APART, AND HOLE DIAMETER DOES NOT EXCEED 25% OF STUD WIDTH. STUDS MAY BE NOTCHED PROVIDED NOTCH DEPTH DOES NOT EXCEED 25% OF STUD WIDTH. WHEN BORED HOLES EXCEED 25% OF STUD WIDTH, REINFORCE PLATE, SILL OR STUDS AS FOLLOWS:
 - PLATES: 1 1/2" X 18" STRIP EACH SIDE OF PLATE NAILED WITH 4 - 16d NAILS EACH SIDE OF HOLE. HOLES OVER 33% OF THE PLATE WIDTH ARE NOT PERMITTED IN ANY PLATE. ANY PIPE OR CONDUIT REQUIRING A HOLE LARGER THAN 33% OF THE PLATE WIDTH SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
 - SILLS: SPLICE IN A MANNER SIMILAR TO PLATES ABOVE. AT HOLES BETWEEN 25% AND 33% OF SILL WIDTH, SILLS MAY BE COMPLETELY CUT ON EITHER SIDE OF A PIPE OR CONDUIT PROVIDED AN ADDITIONAL ANCHOR BOLT OR 6 - 16d IS PLACED WITHIN 9" OF THE END OF THE SILL EACH SIDE OF THE PIPE OR CONDUIT.
 - STUDS: BLOCK ON EACH SIDE OF STUD WITH BLOCK OF 54# MATERIAL AND DIMENSION AS STUD. EXTEND 2 STUDS BOTH SIDES EACH SIDE OF HOLE AND PROVIDE 3 - 16d NAILS TO STUD EACH SIDE OF HOLE. BORED HOLES GREATER THAN 33%, BUT LESS THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED, WHERE EACH STUD IS DOUBLED AND NOT MORE THAN TWO SUCCESSIVE DOUBLE STUDS ARE SO BORED AND EACH BORED STUD IS REINFORCED AS ABOVE.

GLUED-LAMINATED LUMBER

- ALL GLUED-LAMINATED BEAMS SHALL BE OF THE FOLLOWING:
 - STANDARD LVL BEAMS (SLS) 240# DOUGLAS FIR (24F-V8 DDF) INDUSTRIAL APPEARANCE GRADE. (24F-V4-DDF) MAY BE USED FOR SIMPLE SPANS.

F _b	= 2400 P.S.I.
F _v	= 85 P.S.I.
E	= 1,800,000 P.S.I.
 - STANDARD LVL (SL) SHALL BE 1 3/4" USE US.

F _b	= 2800 P.S.I.
F _v	= 285 P.S.I.
E	= 1,800,000 P.S.I.
 - PARALLAN (PSL) BEAMS SHALL BE 20E US.

F _b	= 2500 P.S.I.
F _v	= 250 P.S.I.
E	= 1,500,000 P.S.I.

- THE MANUFACTURE OF THE GLUED-LAMINATED LUMBER SHALL BE IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS FOR STRUCTURAL GLUE-LAMINATED TIMBER BY THE ALTC.
- ALTC INSPECTION CERTIFICATES SHALL BE SUPPLIED TO THE BUILDING OFFICIAL FOR APPROVAL, PRIOR TO INSTALLATION.
- BEAMS SHALL BE END SEALED AND LOAD UNRAFFED FOR PROTECTION DURING SHIPMENT.
- THE BEAMS SHALL HAVE STANDARD CAMBER UNLESS SPECIFICALLY CALLED OUT OTHERWISE ON DRAWINGS.
- SHOP DRAWINGS FOR THE FABRICATION OF GLUE-LAMINATED TIMBER, SHALL BE APPROVED BY CONTRACTOR AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR HIS REVIEW, PRIOR TO INSTALLATION.
- GLUED-LAMINATED BEAMS SHALL NOT BE NOTCHED, OR HAVE HOLES DRILLED THROUGH UNLESS SPECIFICALLY NOTED OTHERWISE.

TRUSS NOTES

- TRUSS MANUFACTURER SHALL BE APPROVED BY LOCAL BUILDING OFFICIAL.
- EACH TRUSS SHALL BE LEGIBLY BRANDED, MARKED OR OTHERWISE HAVE PERMANENTLY APPLIED THEREON THE FOLLOWING INFORMATION LOCATED WITHIN 2 FEET OF CENTER OF THE SPAN ON THE FACE OF THE BOTTOM CHORD:
 - IDENTITY OF THE COMPANY MANUFACTURING THE TRUSS.
 - THE DESIGN LOAD.
 - THE SPACING OF THE TRUSSES.
- PRIOR TO FABRICATION OF TRUSSES, CONTRACTOR SHALL SUBMIT TRUSS DESIGN, CALCULATIONS AND DETAILS (AS PROVIDED BY TRUSS MANUFACTURER) TO ARCHITECT/ENGINEER FOR HIS REVIEW AND TO THE LOCAL BUILDING DEPARTMENT FOR THEIR APPROVAL.
- TRUSSES SHALL BEAR ON BEARING WALLS ONLY.
- INTERIOR NON-BEARING WALLS SHALL BE ISOLATED FROM VERTICAL TRUSS LOADS.
- TRUSSES SHALL BE OF 2x CONSTRUCTION (NON).
 - ALL BEARING POINTS.
 - RIDGE.
- TRUSSES SHALL BE BLOCKED AS PER MANUFACTURER'S RECOMMENDATIONS IN ADDITION TO:
 - ALL BEARING POINTS.
 - RIDGE.

LEGEND - FRAMING PLANS

- ROOF FRAMING, FLOOR FRAMING, OR FOUNDATION REFERENCE NOTE
- SHEAR WALL REFERENCE-REFER TO SCHEDULE
- DETAIL NUMBER REFERENCE SHEET NUMBER
- (N) 2x STUD BEARING WALL
- SHEARWALL SHEATHING
- SPAN DIRECTION
- EXTENT OF FRAMING

LEGEND - FOUNDATION PLANS

- ROOF FRAMING, FLOOR FRAMING, OR FOUNDATION REFERENCE NOTE
- DETAIL NUMBER REFERENCE SHEET NUMBER
- 2x STUD WALL ABOVE
- (E) CONC. FTG./FDN. SEE FDN. NOTES
- (N) CONC. FTG./SLAB, SEE FDN. NOTES

DESIGN INFORMATION

TRUSS DESIGN CRITERIA: ROOF DEAD LOAD = LIVE LOAD =	16 PSF 20 P.S.F.
DEFLECTION =	L/240 (D+LL)
FLOOR DEAD LOAD = LIVE LOAD = PARTITION DEAD LOAD = DEFLECTION =	12 PSF 40 PSF 20 P.S.F. L/480 (LIVE LOAD)
WIND: 1. BASIC WIND SPEED = 2. WIND IMPORTANCE FACTOR (I _p) = 3. WIND EXPOSURE = 4. ANALYSIS PROCEDURE USED:	85 MPH 1.0 C WFCM 2001
SEISMIC: 1. SEISMIC IMPORTANCE FACTOR (I _p) = 2. S _s = S ₁ = 3. SITE CLASS = 4. SDS = SD1 =	1.0 1.5g NA D 1.4 NA
5. SEISMIC DESIGN CATEGORY =	D
6. BASIC SEISMIC FORCE RESISTING SYSTEM (ASCE 7-05, TABLE 12-2.1)	A-13
7. DESIGN BASE SHEAR =	17.3 KIPS
8. SEISMIC RESPONSE COEFF. (C _s) =	NA
9. RESPONSE MODIF. FACTOR (R _m) =	6.5
10. ANALYSIS PROCEDURE USED:	SIMPLIFIED DESIGN PROCEDURE



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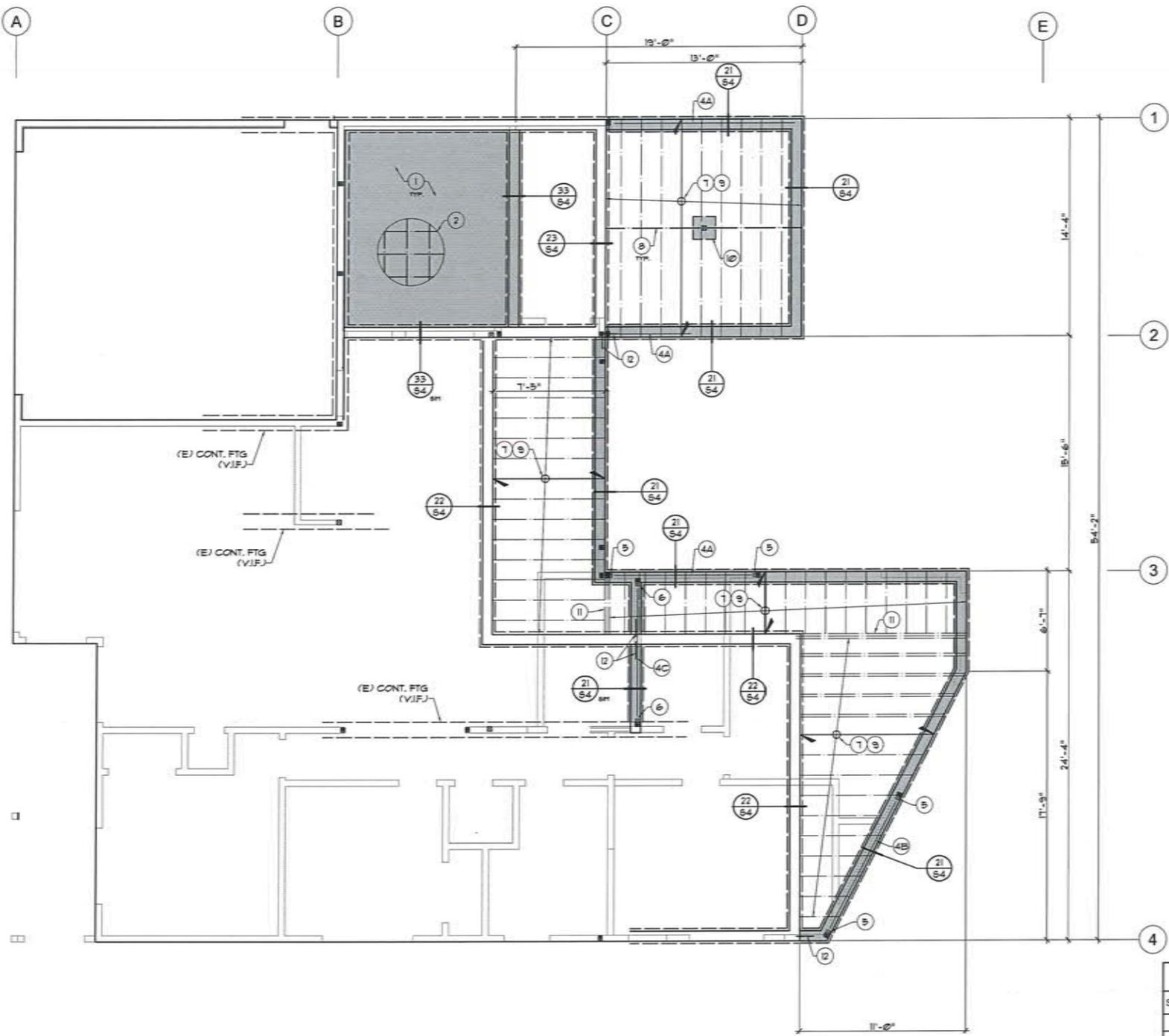
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REVISION:
P.L. CORRECTIONS 05/02/14
PLAN REV. 12/12/14

DATE: 05/02/14
SCALE: AS SHOWN
DRAWN BY: DAN
JOB NO: 14031
SHEET TITLE:

GENERAL STRUCTURAL NOTES

SHEET NUMBER:
S - 1



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

(VERIFY ALL DIMENSIONS W/ ARCHITECTURAL PLANS)

FOUNDATION REFERENCE NOTES

1. GENERAL TYPICAL NOTES: SEE STRUCTURAL NOTES, SHEET S-1. ALL CONCRETE SHALL BE 2500 P.S.I. AT 28 DAYS. SEE ARCHITECTURAL DRAWINGS FOR ALL EMBEDDED ITEMS AND NON-STRUCTURAL COMPONENTS ASSOCIATED WITH CONCRETE WORK.
2. 4" CONCRETE SLAB WITH 3" #18' O.C. AT MID-DEPTH OF SLAB OVER 4" COMPACTED SAND BASE WITH WATERPROOF MEMBRANE AT MID-DEPTH OF SAND.
 - A. SEE DETAIL 13/54.
3. CONCRETE CONTROL JOINT.
 - A. PROVIDE TOOLED EDGE AT JOINT.
 - B. OPTION: SAW CUT. SEE DETAIL 14/54.
4. 2X PTDF SILL WITH 5/8" DIA. ANCHOR BOLTS # 6" O.C. (MINIMUM) PROVIDE 225"x3"x3" STEEL PLATE WASHERS AT ALL ANCHOR BOLTS.
 - A. 5/8" DIA. AB. # 48" O.C. (2 MIN.)
 - B. 5/8" DIA. AB. # 32" O.C. (2 MIN.)
 - C. 5/8" DIA. AB. # 16" O.C. (2 MIN.)
5. SIMPSON HDU2 W/ DOUBLE 2X POST MIN.
 - A. SEE DETAIL 31/54.
 - B. SIMPSON 58TB20 ANCHOR BOLT.
6. SIMPSON HDU5 W/ DOUBLE 2X POST MIN.
 - A. SEE DETAIL 31/54.
 - B. SIMPSON 58TB24 ANCHOR BOLT.
7. 2X6 DF # 2 FLOOR JOISTS # 16" O.C. (USE DEL. JOIS WHERE SPANS EXCEED 9'-0")
 - A. PROVIDE V' TYPE HANGERS AT SUSPENDED CONDITIONS.
8. 4X6 DF # 2 FLOOR GIRDER BEAM.
 - A. PROVIDE V' TYPE HANGERS AT SUSPENDED CONDITIONS.
9. TYPICAL FLOOR SHEATHING: 3/4" T & G PLYWOOD/OSB (EXPOSURE 1) APA RATED (PSI OR PS2)
 - A. PANEL INDEX 48/24.
 - B. GLUED AND NAILED WITH 16d # 6-6" O.C. (TYPICAL UNO.)
 - C. LAY WITH FACE GRAIN PERPENDICULAR TO FRAMING.
 - D. STAGGER SHEETS.
10. 18" 90 X 10" DEEP CONC. FTG W/ 2-M EACH WAY AT BOTTOM.
 - A. SEE DETAIL 32/54.
11. TRIPLE 2X6 FLOOR BEAM.
 - A. NAILED TOGETHER WITH 2-ROUS 10d # 12" O.C. -STAGGERED.
 - B. IF (E) 4X RPT. USE V' TYPE HANGER AT SUSPENDED CONDITION.
 - C. IF (E) 2X RPT. REMOVE AS NECESSARY FOR BEAM TO HAVE BEARING ON (E) 2X PTDF SILL.
12. 4 DOUELS -EPOXY INTO (E) FTG WITH SET-XP HIGH STRENGTH EPOXY. 5/8" DIA. X 4" HOLE INTO EXISTING FTG. -24" MIN LAP W/ (N) FTG REIN.

GENERAL FOUNDATION NOTES

1. THE FOUNDATION DESIGN SHALL BE BASED ON THE MINIMUM REQUIREMENTS AS SET FORTH IN CHAPTER 18 OF THE 1993 EDITION OF THE CALIFORNIA BUILDING CODE IF ANY UNUSUAL CONDITIONS EXIST, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING WITH ANY ADDITIONAL WORK.
2. PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, A SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT:
 - A. THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH CBCG RECOMMENDATIONS.
 - B. THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILL ED AND COMPACTED.
 - C. THE SOILS EXPANSION INDEX IS VERIFIED.
3. HOLDDOWNS, ANCHOR BOLTS, TIEDOWN ANCHORS, FOUNDATION STRAPS, ETC. SHALL BE IN PLACE HELD BY TEMPLATES OR WIRE TIES, PRIOR TO CONCRETE INSPECTION.
4. HOLDDOWN ANCHORS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.

SHEAR WALL SCHEDULE					
SYMBOL	SHTG (1, 5, 6)	NAILING (1)	SILL CONNECTION	SILL ANCHOR BOLTS (4)	REMARKS
1	3/8" PLYUD	16d (1) # 6-2" O.C.	16d # 6" O.C.	5/8" DIA. AB. # 48" O.C. (3)	
2	3/8" PLYUD (1)	16d (1) # 3-2" O.C.	16d # 4" O.C.	5/8" DIA. AB. # 48" O.C. (3)	
3	1/2" PLYUD (1)	16d (1) # 3-2" O.C.	16d # 3" O.C.	5/8" DIA. AB. # 18" O.C. (3)	

SHEAR WALL SCHEDULE NOTES

1. COMMON TYPE NAILS. ALL PLYWOOD NAILS SHALL BE COMMONS FOR THIS SCHEDULE (8d'S-1 1/2" X (3)" DIA. # 16d'S-3" X 1/48 DIA). NAILS SHALL HAVE 1/2" MINIMUM EDGE DISTANCE. NAILS PENETRATING PRESSURE TREATED LUMBER SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL.
2. CDX STRUCTURAL I, C-D, OR C-C PLYWOOD WITH ALL EDGES BEADED.
 - A. OSB 'APARTATED SHEATHING' MAY BE USED IN PLACE OF CDX PLYWOOD.
3. 2X PTDF SILL PLATE MIN. TWO ANCHOR BOLTS PER PLATE WITH ONE ANCHOR BOLT 6" TO 12" FROM EACH END OF PLATE. ANCHOR BOLTS SHALL HAVE 1" MIN EMBEDMENT.
 - A. PROVIDE 225"x3"x3" PLATE WASHERS AT ALL ANCHOR BOLTS.
4. 5/8" DIA. EDGE ANCHORS MAY BE USED IN LIEU OF SPECIFIED ANCHOR BOLTS PROVIDED THE ANCHORS ARE EMBEDDED 4" MIN INTO EXISTING CONCRETE AND MINIMUM EDGE DISTANCE REQUIREMENTS ARE MET.
 - A. PROVIDE 225"x3"x3" PLATE WASHERS AT ALL ANCHOR BOLTS.
5. SHEATHING SHALL BE CONTINUOUS ENTIRE HEIGHT OF WALL (FLOOR TO FLOOR, OR FLOOR TO ROOF).
6. CONTINUE SHEATHING (AND NAILING) OVER SIDE OF POST AT END OF SHEARWALL.
7. 3X (MIN) STUDS AND BLOCKING AT ALL ADJOINING PANEL EDGES. STAGGER NAILING AT ALL ADJOINING PANEL EDGES.



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REVISIONS:
P.L. CORRECTIONS 07/20/14
PLAN REV. 12/12/14

DATE: 05/20/14
SCALE: AS SHOWN
DRAWN BY: DAN
JOB NO.: 14031

FOUNDATION PLAN

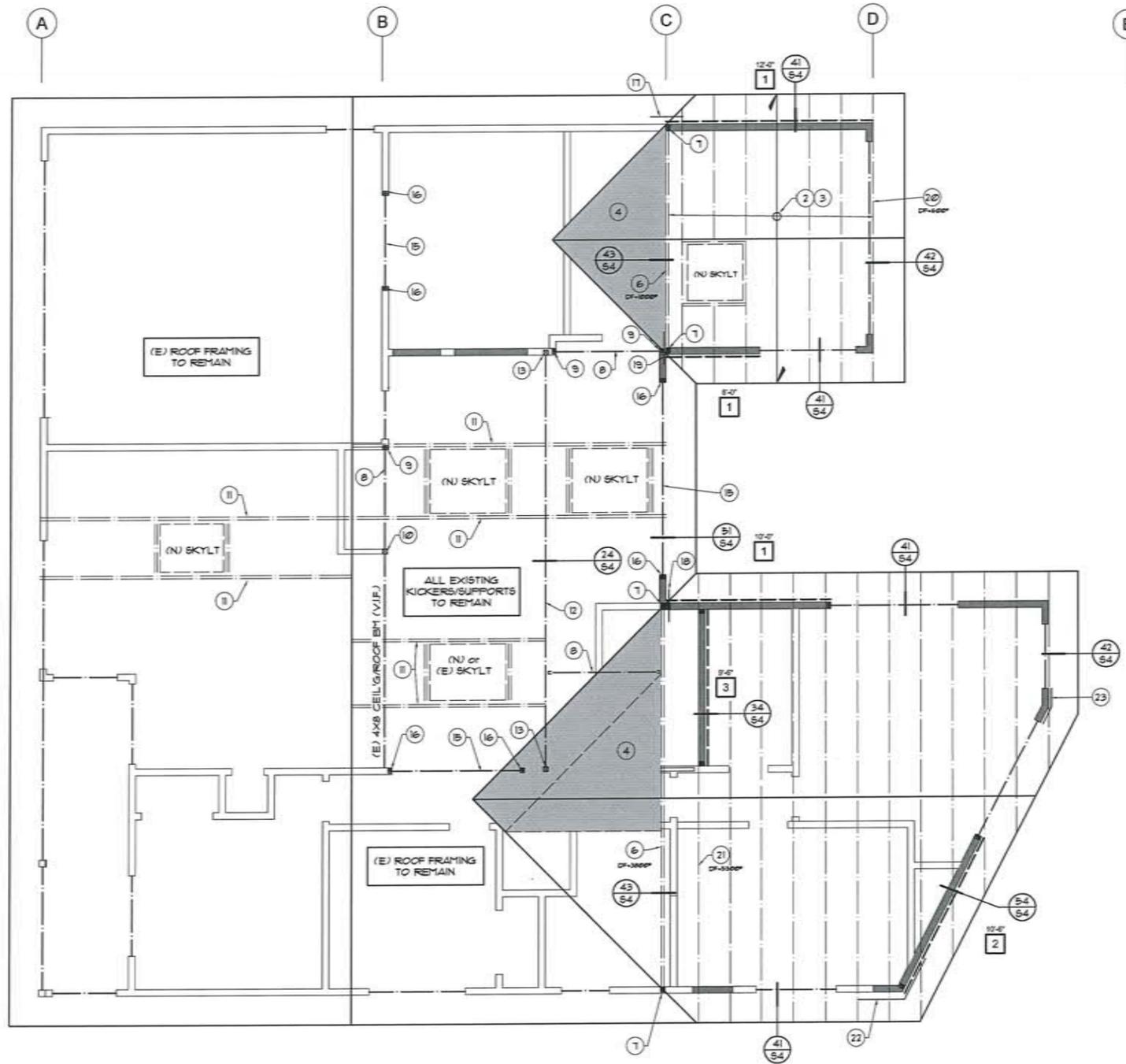
SHEET NUMBER:
S - 2

WALL LEGEND

-  (N) 2X4 BRG WALL - STUDS @ 16" O.C. -SEE REF. NOTE 5.
-  (N) OR (E) 2X4 STUD WALL, SEE ARCH.

ROOF FRAMING REFERENCE NOTES

1. GENERAL TYPICAL NOTES: SEE GENERAL STRUCTURAL NOTES SHEET S-1.
 - A. REFER TO ARCHITECTURAL FLOOR PLANS FOR INTERIOR NON-BEARING WALLS, SOFFITS AND BAYE DETAILS, AND MISCELLANEOUS NON-STRUCTURAL DETAILS AND REQUIREMENTS.
2. TYPICAL ROOF SHEATHING: 3/8" PLYWOOD/OSB.
 - A. APA RATED (PSI OR PS2).
 - B. PANEL INDEX 30/6.
 - C. USE EXTERIOR GRADE WHERE PLYWOOD IS EXPOSED TO WEATHER.
 - D. NAIL WITH 8d @ 8-9" O.C. (TYPICAL JOINT).
 - E. LAY WITH FACE GRAIN PERPENDICULAR TO FRAMING.
 - F. STAGGER SHEETS.
3. PRE-ENGINEERING ROOF TRUSSES AT 24" O.C.
 - A. SEE TRUSS NOTES, SHEET S-1.
 - B. TRUSS MANUFACTURER SHALL DESIGN ALL TRUSS TO TRUSS HANGERS.
4. SHADED AREA INDICATES EXTENT OF CALIFORNIA FRAMING.
 - A. COMPLETELY SHEATH ENTIRE ROOF PRIOR TO CONSTRUCTING CALIFORNIA FRAMING.
 - B. SEE DETAIL 53/54.
5. 2X STUD BEARING WALL.
 - A. 2X4 STUDS @ 16" O.C.
 - B. USE 4X2 DP # 1 (19N) HEADER OVER ALL DOORS AND WINDOWS (10N).
 - C. SEE DETAIL 53/54 FOR TYPICAL TOP PLATE SPLICE.
 - D. BALLOON FRAME WALLS AT ALL VAULTED AREAS.
6. 2-PLY (19N) ROOF GIRDER DRAG TRUSS.
 - A. SEE NOTE 5.
 - B. TO RECEIVE ROOF SHTG EDGE NAILING, SEE NOTE 9.
 - C. DRAG FORCE - SEE PLANS.
7. DBL 2X POST IN WALL DIRECTLY BELOW GIRDER TRUSS.
 - A. 4X8 DP # 1 CEILING BEAM.
 - B. TO RECEIVE ROOF SHTG EDGE NAILING, SEE NOTE 9.
 - C. DRAG FORCE - SEE PLANS.
8. 4X8 DP # 1 CEILING BEAM.
 - A. SIMPSON H48 HANGER AT SUSPENDED CONDITIONS.
 - B. USE U TYPE HANGER FOR (E) CEILING JOISTS TO (N) CEILING BEAM.
9. DBL 2X POST.
 - A. 4X4 POST (OR VERIFY EXISTING).
10. (N) OR (E) DBL 2X ROOF RAFTER AT (N) SKYLIGHT.
 - A. DBL 2X BLOCK OUT SKYLIGHT AS REQ'D. (2X EACH END TO DBL RAFTER).
 - B. STITCH NAIL TOGETHER WITH 2 ROUS 8d @ 2" O.C. + STAGGERED.
11. 3 1/2" X 16 1/2" GULLAM CEILING BEAM (24F-V4)
 - A. STANDARD CARBER.
12. 4X4 POST IN WALL.
 - A. SIMPSON EPC44 CLG BEAM TO TOP PLATE (N) POST.
 - B. PROVIDE 4X4 SQUASH BLOCK IN FLOOR DIRECTLY BELOW POST, DOWN TO (E) FTG/GRADE BEAM.
13. NOT USED.
14. 4X2 DP # 1 HEADER.
15. DBL 2X TRIMMER POST.
16. SIMPSON S16224 STRAP, (E) TOP PLATES TO (N) TOP PLATES.
17. SIMPSON S16236 STRAP, (E) TOP PLATES TO BOTTOM OF ROOF GIRDER DRAG TRUSS.
18. SIMPSON HT530C TRUSS STRAP, GIRDER TRUSS TO TOP PLATES.
19. ROOF GABLE END DRAG TRUSS.
 - A. TO RECEIVE ROOF SHTG EDGE NAILING, SEE NOTE 9.
 - B. DRAG FORCE - SEE PLANS.
20. ROOF DRAG TRUSS DIRECTLY OVER WALL.
 - A. TO RECEIVE ROOF SHTG EDGE NAILING, SEE NOTE 9.
 - B. DRAG FORCE - SEE PLANS.
21. SIMPSON HT516-6 STRAP, (N) TOP PLATE TO (E) TOP PLATE, BENT AROUND CORNER.
 - A. 1" MIN ON (E) TOP PLATE.
22. SIMPSON S16224 STRAP, TOP PLATE TO TOP PLATE, BENT AROUND CORNER.



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

(REFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS)

SHEAR WALL SCHEDULE					
SYMBOL	SHTG (1, 2, 3, 4)	NAILING (1)	SILL CONNECTION	SILL ANCHOR BOLTS (4)	REMARKS
1	3/8" PLYTD	8d (1) @ 8-9" O.C.	16d @ 6" O.C.	5/8" DIA. AB. @ 48" O.C. (3)	
2	3/8" PLYTD (1)	8d (1) @ 3-2" O.C.	16d @ 4" O.C.	5/8" DIA. AB. @ 48" O.C. (3)	
3	1/2" PLYTD (1)	16d (1) @ 3-2" O.C.	16d @ 3" O.C.	5/8" DIA. AB. @ 18" O.C. (3)	

SHEAR WALL SCHEDULE NOTES

1. "COMMON" TYPE NAILS. ALL PLYWOOD NAILS SHALL BE COMMON FOR THIS SCHEDULE (16D'S-2 1/2" X .31" DIA. & 16D'S-3" X .348 DIA.). NAILS SHALL HAVE 1/2" MINIMUM EDGE DISTANCE. NAILS PENETRATING PRESSURE TREATED LUMBER SHALL BE OF HOT DIPPER ZINC-COATED GALVANIZED STEEL, OR STAINLESS STEEL.
2. CDX STRUCTURAL 1, C-D, OR C-C PLYWOOD WITH ALL EDGES BLOCKED.
 - A. OSB "APARTICATED SHEATHING" MAY BE USED IN PLACE OF CDX PLYWOOD.
3. 2X PTDF SILL PLATE MIN TWO ANCHOR BOLTS PER PLATE WITH ONE ANCHOR BOLT 6" TO 12" FROM EACH END OF PLATE. ANCHOR BOLTS SHALL HAVE 1" MIN EMBEDMENT.
 - A. PROVIDE 279"X 3" X 3" PLATE WASHERS AT ALL ANCHOR BOLTS.
 - B. SAME DIAMETER EDGE ANCHORS MAY BE USED IN LIEU OF SPECIFIED ANCHOR BOLTS PROVIDED THE ANCHORS ARE EMBEDDED 4" MIN INTO EXISTING CONCRETE AND MINIMUM EDGE DISTANCE REQUIREMENTS ARE MET.
 - C. PROVIDE 279"X 3" X 3" PLATE WASHERS AT ALL ANCHOR BOLTS.
4. SHEATHING SHALL BE CONTINUOUS ENTIRE HEIGHT OF WALL (FLOOR TO FLOOR, OR FLOOR TO ROOF).
5. CONTINUE SHEATHING (AND NAILING) OVER SIDE OF POST AT END OF SHEARWALL.
6. 2X (19N) STUDS AND BLOCKING AT ALL ADJOINING PANEL EDGES. STAGGER NAILING AT ALL ADJOINING PANEL EDGES.



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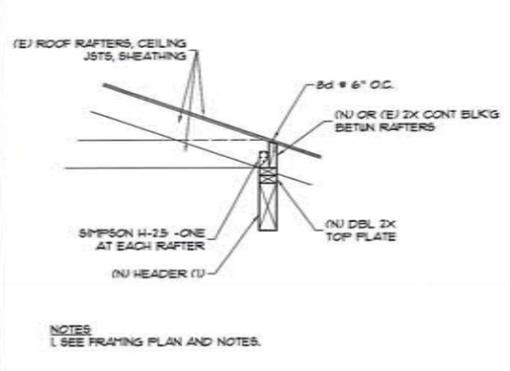


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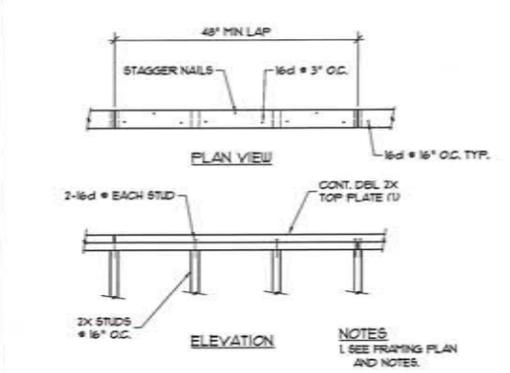
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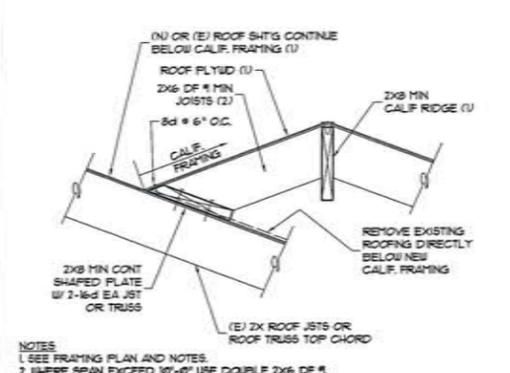
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 SCALE: AS SHOWN
 DRAWN BY: DAN
 JOB NO: 14031
 SHEET TITLE:
ROOF FRAMING PLAN
 SHEET NUMBER:
S - 3



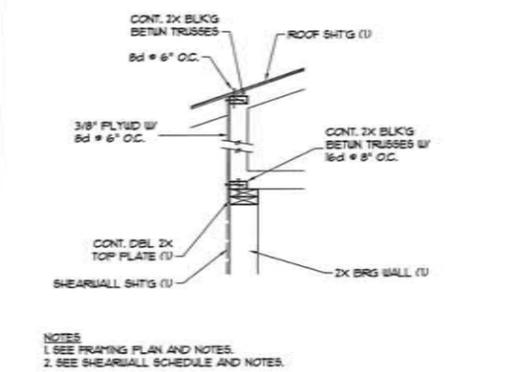
ROOF AT (N) HEADER (51)
N.T.S.



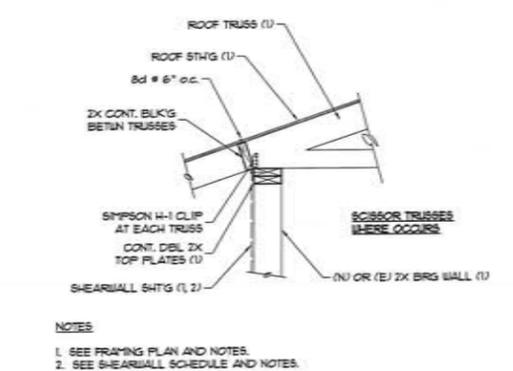
TYP. TOP PLATE SPLICE (52)
N.T.S.



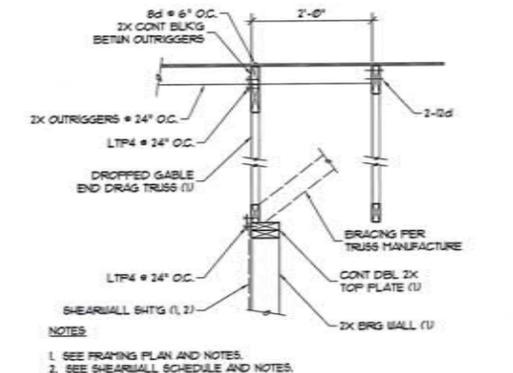
CALIF. FRAMING AT (E) ROOF (53)
N.T.S.



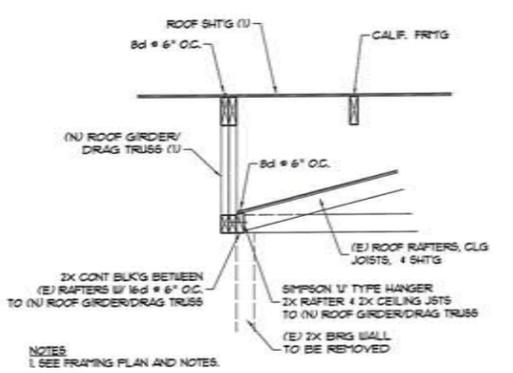
TRUSS BLK'G AT BRG WALL (54)
N.T.S.



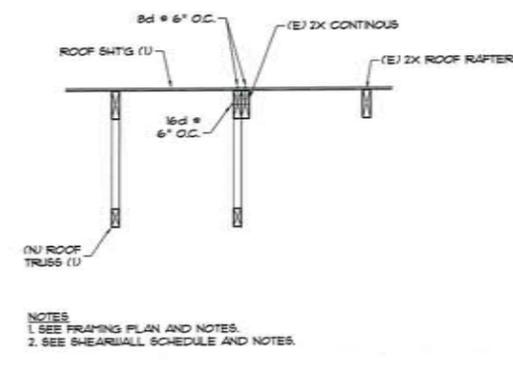
ROOF TRUSS AT BRG WALL (41)
N.T.S.



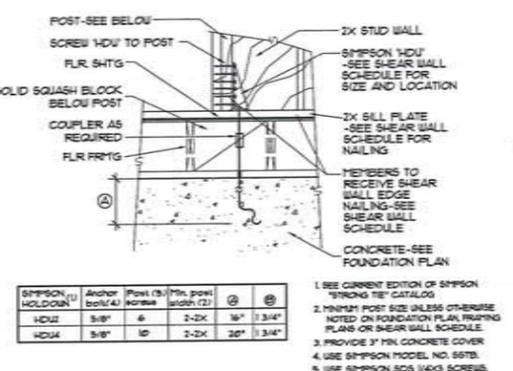
GABLE END (42)
N.T.S.



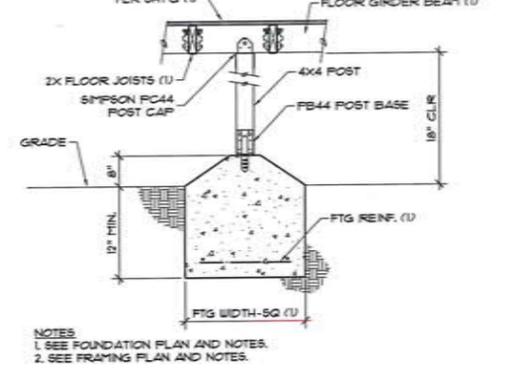
(E) ROOF AT GIRDER TRUSS (43)
N.T.S.



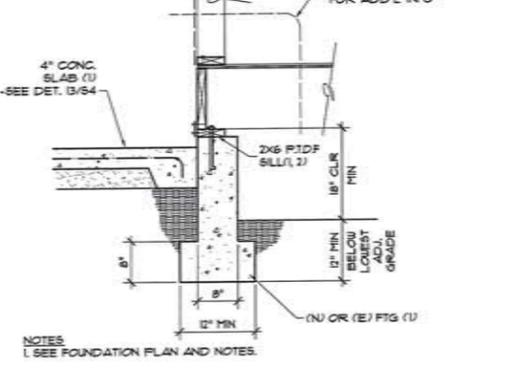
(N) TRUSS AT (E) ROOF (44)
N.T.S.



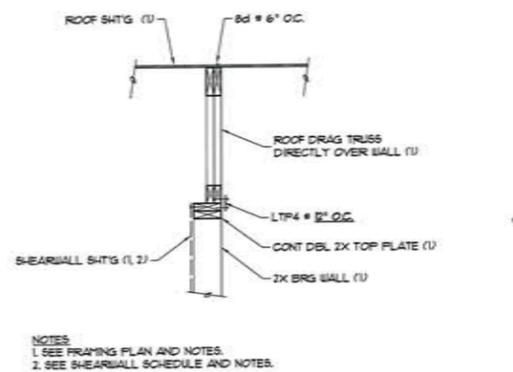
TYP. HOLDOWN AT RAISED FLR (31)
N.T.S.



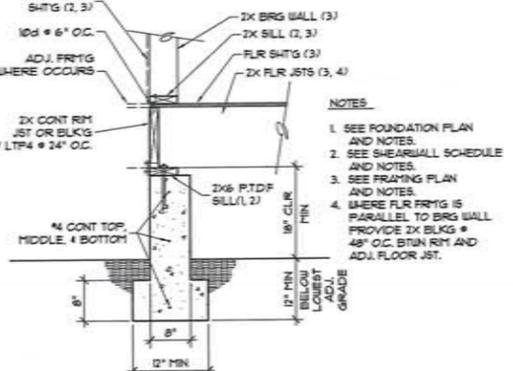
CONC. PIER FTG (32)
N.T.S.



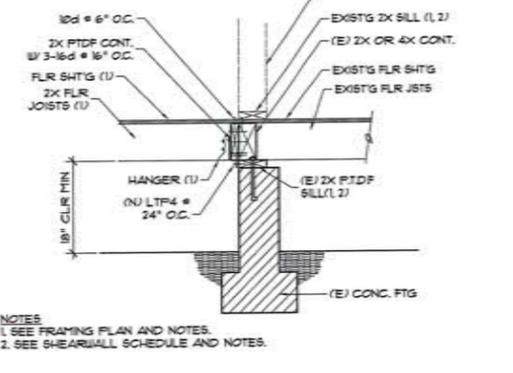
(N) SLAB (E) FLR (33)
N.T.S.



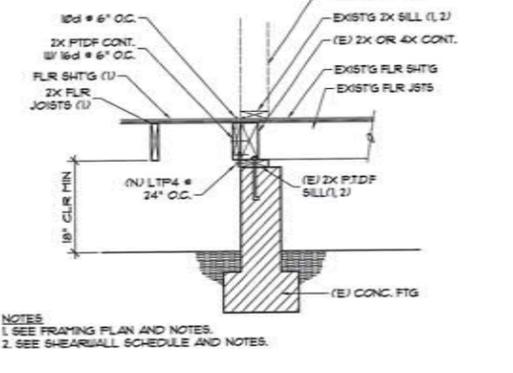
DRAG TRUSS OVER WALL (34)
N.T.S.



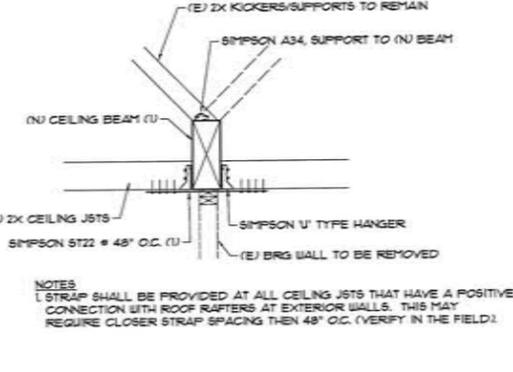
CONT. 'I' FTG (21)
N.T.S.



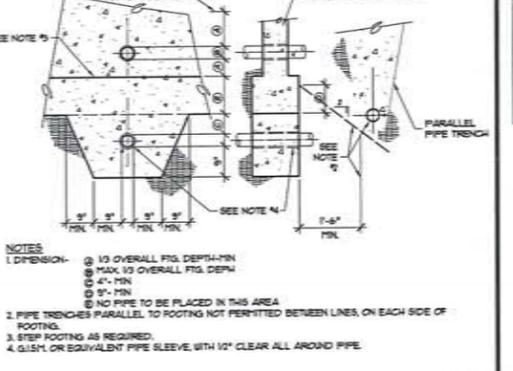
(N) FLR AT (E) FLR/FTG (22)
N.T.S.



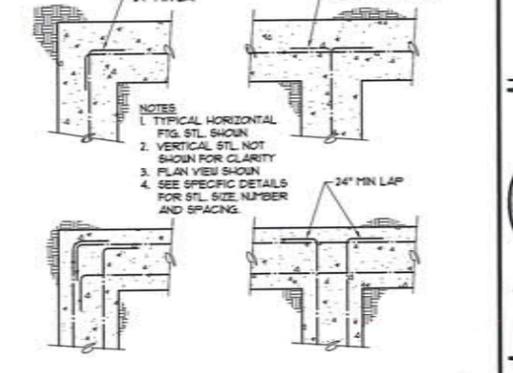
(N) FLR AT (E) FLR/FTG (23)
N.T.S.



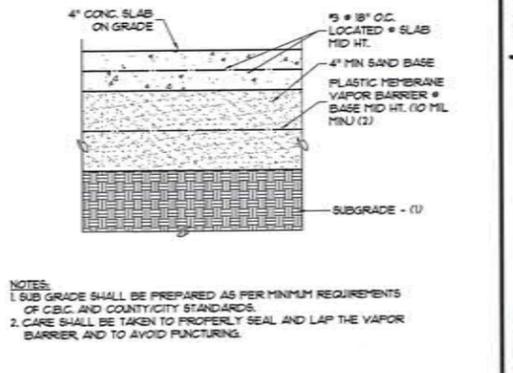
(N) CEILING BEAM (24)
N.T.S.



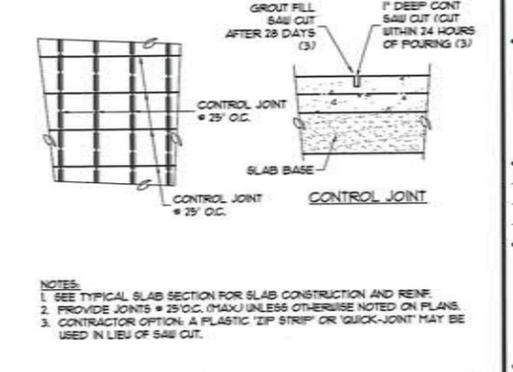
PIPE SLEEVE (11)
N.T.S.



TYP. CONC. CORNER (12)
N.T.S.



SLAB SECTION (13)
N.T.S.



CONTROL JOINT (14)
N.T.S.

SIMPSON HOLDOWN	Anchor bolt (1/4)	Post (2)	Min. post width (2)
HD2	5/8"	6	1-2X 16" 1 3/4"
HD4	5/8"	10	1-2X 20" 1 3/4"



S&E ENGINEERING, INC.
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DATE OF SET:
NOTE:
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PROJECT TITLE:

McALISTER
ADDITION/REMODEL
176 JAVA ST.
MORRO BAY, CA 93455

REVISIONS:
P.C. CORRECTIONS 01/02/14
PLAN REV. 12/12/14
DATE: 05/22/14
SCALE: AS SHOWN
DRAWN BY: DAN
JOB NO: 14031
SHEET TITLE:

STRUCTURAL DETAILS
SHEET NUMBER:
S - 4

FEMA FLOOD DATA



FEMA MAP INFO
 MAP NUMBER 06079C0813G
 MAP REVISED NOVEMBER 16, 2012
 NAVD 88 DATUM

FEMA CONTOUR

ZONE AE
 SPECIAL FLOOD HAZARD
 AREAS SUBJECT TO INUNDATION
 BY THE 1% ANNUAL CHANCE
 FLOOD

ZONE X
 AREAS OF 0.2% ANNUAL CHANCE FLOOD;
 AREAS OF 1% ANNUAL CHANCE FLOOD WITH
 AVERAGE DEPTHS OF LESS THAN 1 FOOT OR
 WITH DRAINAGE AREAS LESS THAN 1 SQUARE
 MILE; AND AREAS PROTECTED BY LEVEES
 FROM 1% ANNUAL CHANCE FLOOD.

EXIST. BLDG
 FINISHED FLOOR OF EXISTING BUILDING
 AT THE THRESHOLD OF THE FRONT DOOR-
 37.60' (NAVD 88)

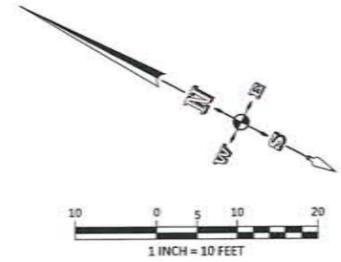
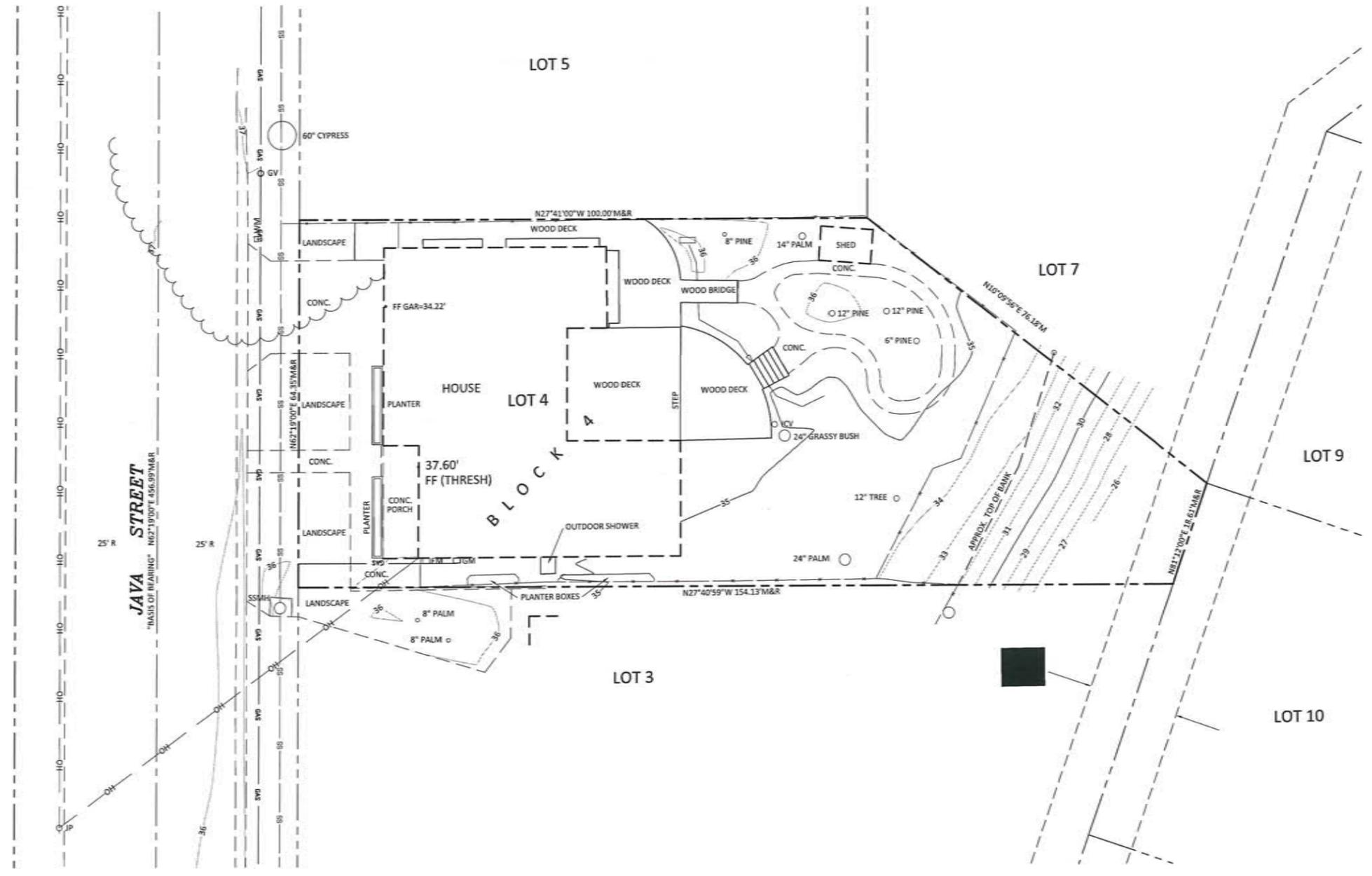
PROJECT BENCHMARK
 FOUND 2 BRASS DISK NEAR THE RIGHT OF WAY FENCE
 FOR STATE HIGHWAY 1 AT THE WESTERLY TERMINUS
 OF JAMAICA STREET IN MORRO BAY, CALIFORNIA.
 ELEVATION 43.05
 CITY OF MORRO BAY DATUM (NAVD 88)

SITE BENCHMARK
 SET P/NAIL AT THE INTERSECTION OF THE WESTERLY
 LINE OF LOT 4, BLOCK 4 OF TRACT NO. 81 AND THE
 CENTER OF JAVA STREET IN MORRO BAY, CALIFORNIA.
 ELEVATION 36.50'
 CITY OF MORRO BAY DATUM (NAVD 88)

NOTE
 BEARINGS AND DISTANCES SHOWN ARE BASED UPON
 FOUND MONUMENTS AND RECORD CALCULATIONS
 A CURRENT TITLE REPORT SHOULD BE REFERENCED FOR
 ANY POSSIBLE EASEMENTS NOT SHOWN ON THIS MAP.

LEGEND

--- 35 ---	CONTOUR INTERVAL
---	PROPERTY LINE
---	BUILDING LINE
---	CENTERLINE
---	FENCE LINE (FNL)
---	CONCRETE EDGE
---	EDGE OF PAVEMENT (EP)
---	WEEPLINE
CONC	CONCRETE
D/W	DRIVE WAY
FF	FINISHED FLOOR
FF GAR	FINISHED FLOOR GARAGE
FF THRESH	FINISHED FLOOR THRESHOLD
TOC	TOP OF CONCRETE
TC	TOP OF CURB
TD	TOP OF DECK
TP	TOP OF PAVEMENT
TS	TOP OF STEP
TWL	TOP OF WALL



SURVEYOR'S STATEMENT
 THIS TOPOGRAPHIC MAP CORRECTLY REPRESENTS A SURVEY
 MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST
 OF JOE CANNON IN SEPT., 2014.

BY: *Terri A. Green*
 TERRI A. GREEN P.L.S. 7868

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 723 E. Grand Ave, Arroyo Grande Ca 93420
 Ph: 805-481-0330 / greenlandsurveys.com

TOPOGRAPHIC SURVEY
OF 176 JAVA STREET
 065-117-021
 LOT 4 IN BLOCK 4 OF
 TRACT NO. 81
 (5 MB 111)

City of Morro Bay
 County of San Luis Obispo
 State of California

DECEMBER 2014

SHEET 1 OF 1

OLS JOB NO. Cannon14003