



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, February 3, 2015
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Vice-Chairperson Gerald Luhr
Commissioner Richard Sadowski

Commissioner Michael Lucas
Commissioner Katherine Sorenson

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Public Services' Office Assistant at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Approval of minutes from the Planning Commission meeting of January 6, 2015
Staff Recommendation: Approve minutes as submitted.

A-2 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** #UP0-399

Site Location: 430 Nassau, Morro Bay, CA

Proposal: Request for conditional use permit for an addition of more than 25% of existing floor area to a nonconforming single-family dwelling. The applicant proposes to add a second floor addition of 1,200 square feet of habitable floor area, a 71 square-foot second story deck, 122 square feet of exterior open staircase, and a 622 square-foot roof deck. The project proposal also includes the conversion of 241 square feet of existing first floor living area to create a second single-car garage.

CEQA Determination: The project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3. That exemption applies to new single-family residences located in residential zone.

Staff Recommendation: Approve with conditions.

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

C. UNFINISHED BUSINESS - None

D. NEW BUSINESS

D-1 Consideration of Planning Commission letter to City Council requesting inclusion in Department work program the development of commercial and solar guidelines

D-2 Review of 2014 Annual Water Report - *Report to be provided at the February 3 Planning Commission meeting*

E. PLANNING COMMISSIONER COMMENTS

F. DIRECTOR AND PLANNING MANAGER COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on February 17, 2015, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Public Services Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Public Services Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Public Services Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Public Services Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after

publication of the Agenda packet are available for inspection at the Public Services Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Public Services Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

AGENDA ITEM: A-1

DATE: February 3, 2015

ACTION: _____

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – JANUARY 6, 2015
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Robert Tefft	Chairperson
	Gerald Luhr	Vice Chairperson
	Richard Sadowski	Commissioner
	Michael Lucas	Commissioner
	Katherine Sorenson	Commissioner
STAFF:	Rob Livick	Public Services Director
	Scot Graham	Planning Manager
	Cindy Jacinth	Associate Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

Livick announced the following:

- Survey for the new City Seal. People will have the chance to vote on the new logo.
- The 2014-2015 Paving Project will be starting this week.
- The downtown paving project will also be starting this week. On Thursday Harbor will be closed from Market to Monterey from 8 AM-5 PM and on Friday Harbor will be closed from Monterey to Piney.

PUBLIC COMMENTS

Chairperson Tefft opened Public Comment period.

Cruz Reyes, Morro Bay resident, requested the City place two stop signs at Main and Pacific, noting cars are speeding in the area and he is concerned someone might get killed.

Betty Winholtz, Morro Bay resident, read an article regarding property setbacks, noting Morro Bay is not the only City going through these problems. She stated concern about the Main Street project going on, noting no public review was given and she feels this alienated the surrounding businesses.

Livick commented on the stop sign request stating there was a traffic analysis done in the area a couple of years ago and there was not enough traffic flow to meet the requirements, so a four-way stop was not warranted in the area.

Livick commented on the Main Street project stating there is construction on Main Street for a parklet with full knowledge of the City Council. He added the project is taking up some of the parking spaces, noting the structure is for demonstration purposes and will be up for six months.

Cruz Reyes stated since the traffic analysis was done two years ago couldn't the City request another one be done. Livick stated Cruz Reyes should appear at the City Council meeting regarding his issue and to also write a letter to their Council Person to place on the agenda so

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –JANUARY 6, 2015

staff could take a look at again. Chairperson Tefft suggested bringing it back to City Council. Commissioner Sorenson stated she wanted to know what the process was in order to bring the issue to City Council. Livick responded with the speed bump settings in the City and other alternatives to reduce speeds in certain areas in the City.

Chairperson Tefft closed Public Comment period.

PRESENTATIONS – NONE

A. CONSENT CALENDAR

A-1 Approval of minutes from the Planning Commission meeting of December 16, 2014
Staff Recommendation: Approve minutes as submitted.

A-2 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

MOTION: Chairperson Tefft moved to approve the Consent Calendar and Current and Advanced Planning Processing List. Vice Chairperson Luhr seconded the motion and the motion passed unanimously. (5-0)

B. PUBLIC HEARINGS

B-1 **Case No.:** #CP0-412

Site Location: 356 Yerba Buena, Morro Bay, CA

Proposal: Request for coastal development permit for major expansion of existing single family home adjacent to environmentally sensitive habitat (ESH). The applicant proposes to increase an existing single family residence from 1,022 square feet to 2,767 square feet of habitable space on two levels, with an additional 415 square feet of attached deck and patio space, a 599 square foot 2-car garage, 302 square foot second floor deck, 113 square foot covered porch and 278 square feet of enclosed storage.

CEQA Determination: Mitigated Negative Declaration; State Clearinghouse No. 2014111065

Staff Recommendation: Review the project and Mitigated Negative Declaration (MND) and adopt the attached Resolution adopting the MND and approving the project

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

Jacinth presented the staff report.

Vice-Chairperson Luhr asked Jacinth if the storage area was in the original lot coverage and about the fence line setback. Jacinth replied the storage area was included in the original lot coverage and stated the fence line meets the requirements in the rear area.

Vice-Chairperson Luhr asked staff if the purpose of the buffer area was to allow for biological protection or a separation between built environment and riparian area. Jacinth stated the buffer is to ensure protection of the riparian habitat..

Commissioner Sadowski stated he had a conversation with the architect about the gate area noting the architect stated it would be an access gate. Sadowski stated he would like to see more of a natural type of material used for the fencing, but agrees on the design of the house.

Commissioner Sorenson stated she was concerned with the removal of the trees but is pleased with the replacement trees.

Chairperson Tefft opened Public comment period.

Chris Parker, Architect of the project, stated he was here to answer any questions on the project. Vice-Chairperson Luhr asked Parker about the solar panel placement and the reason for placement. Parker stated this was labeled incorrectly noting the condo development would block access to the solar panels. He does not know if there would be an increase in the budget for solar panels. Vice-Chairperson Luhr suggested placing an upgraded conduit.

Chairperson Tefft closed Public Comment period.

Commissioner Lucas questioned staff if anything was written in the requirements that there be no vehicle access to the rear yard. Jacinth stated staff required plan revisions to the project so that there is no vehicle access and the plans now show the gate as a “man-gate”.. Commissioner Lucas stated he is concerned about this due to the ESH area and doesn’t want to see it abused. Jacinth stated they could add a written condition to be explicit about no vehicle access to the rear area of the property. Jacinth suggested under Planning Condition number 10, adding a condition regarding no vehicle access to rear of the property. Graham stated the vehicle gate was removed from the plans..

Vice-Chairperson Luhr asked what the standard was for placing the front access gates near the street. Parker stated the applicants were fine with removing the front gate. Graham stated Planning Condition 5 states to remove chain linked fence. Jacinth stated the Planning Commission could add a specific condition regarding prohibiting a gate in front of the driveway, but currently condition 5 states only fencing consistent with Zoning Ordinance is included. . Vice-Chairperson Luhr stated this would be good for future projects. Chairperson Tefft concurred with Commissioner Lucas .

Chairperson Tefft asked the Planning Commission how they felt about the use of different types of materials being used in the context of design guidelines. Commissioner Lucas stated it didn’t matter because you could only see the front and back of the structure. Graham stated the guidelines did require the type of materials being used. Commissioners Sadowski and Sorenson both concurred on materials being used.

Jacinth stated she wanted to be sure the wording on number ten was captured correctly and confirmed this with the Planning Commission. Vice-Chairperson Luhr stated he would like to see the removal of the front gate extending across the driveway. Graham stated he will alter Planning Condition number 5 to read “No fencing shall be permitted to extend across the driveway”. Luhr concurred with Graham.

MOTION: Vice-Chairperson Luhr moved to adopt Resolution PC 1-15 with amended conditions. Commissioner Lucas seconded the motion and the motion passed unanimously. (5-0)

B-2 **Case No.:** #CP0-443

Site Location: 420 Island, Morro Bay, CA

Proposal: A Mitigated Negative Declaration and Coastal Development Permit for construction of a new 2,160 square foot residence (including garage) on a vacant 2,290 square foot lot at 420 Island. The home is 24.38 feet in height and is proposed on a lot that sits adjacent to environmentally sensitive habitat (ESH).

CEQA Determination: Mitigated Negative Declaration; State Clearinghouse No. 2014111006

Staff Recommendation: Review the project and Mitigated Negative Declaration (MND) and adopt the attached Resolution adopting the MND and approving the project.

Staff Contact: Scot Graham, Planning and Building Manager, (805) 772-6291

Commissioner Sadowski recused himself as the proposed project is close to his residence.

Graham presented the staff report.

Commissioner Lucas asked staff if there was a summary regarding ESH areas in general City-wide. Graham stated the environmental documents usually don't provide any information because it is located in the middle of the city. Commissioner Lucas and Graham discussed protecting the ESH area.

Chairperson Tefft opened Public Comment period.

Daniel Sotelo, applicant, thanked Graham and Jacinth for their help with the project.

Commissioner Sorenson stated she was concerned about the plans because of the narrow lot noting the structure is overwhelming for the property.

Vice-Chairperson Luhr stated the structure fits with the adjacent properties and is within the guidelines.

Commissioner Lucas stated this was a good example of pulling in mass on the corners and is a reasonable size home noting he likes the driveway and supports the project.

Chairperson Tefft encouraged the applicant to look for ways to preserve the permeable areas.

Chairperson Tefft closed Public Comment period.

MOTION: Vice-Chairperson Luhr moved to adopt Resolution PC 2-15 with no amendments. Commissioner Sorenson seconded the motion and the motion passed unanimously. (4-0)

C. UNFINISHED BUSINESS - None

D. NEW BUSINESS – None

E. DIRECTOR AND PLANNING MANAGER COMMENTS

Vice-Chairperson Luhr asked staff what was needed to place conditions with the Building and Planning Department for solar ready projects. Graham stated conditions would have to be done under the direction from City Council.

Commissioner Lucas asked staff where the ESH area would fall under. Graham stated the ESH area would be considered an overlay in the City policies and would have to be looked at again individually.

Chairperson Tefft asked staff if they could present the solar ready conditions to City Council. Graham stated he will look into this.

Commissioner Sorenson asked staff about the start and end time for construction of the two projects discussed earlier. Her concern would be the noise due to the close proximity of the other properties. Graham stated the neighbors could contact the City with a complaint on noise issues.

Chairperson Tefft stated there wasn't an area to place comments on the agenda and suggested to add an area in the agenda for comments. Livick reminded the Planning Commission this is not the point where they should go into long discussions because these are not agendized items. The purpose is not for discussions of non agendized items.

Commissioner Sorenson asked staff what the plan for the plan meeting date was. Graham stated he is receiving feedback from the consultant noting he has a meeting with the consultant on Thursday to review the draft documents and will schedule a Joint Planning Commission City Council Meeting once there is a final draft.

Commissioner Lucas asked staff if there was any economic development meeting. Livick stated there will be a LEAP meeting on January 21st, at the Veteran's Memorial Building at 6 P.M.

Commissioner Lucas asked staff about the preferred WRF site. Livick stated the City Council expressed their preference for the Rancho Colina site.

Livick announced the Cayucos Sanitary District owns a pipeline north of Morro Bay on Main Street and will be extending the force main down. Instead of digging up the roads they will be sliding piping through their existing gravity line. The City will have permitting authority for encroachment permits only.

Graham announced the following items at the next City Council:

- Parking exception for the 1000 Ridgeway Project.
- Beach Street area parking requirements.

Graham announced the following items at the next scheduled Planning Commission Meeting:

- Additions for 176 Java
- Additions for 510 Fresno.

F. ADJOURNMENT

The meeting adjourned at 7:42 p.m. to the next regularly Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on January 20, 2015 at 6:00 p.m.

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –JANUARY 6, 2015

Robert Tefft, Chairperson

ATTEST:

Rob Livick, Secretary



City of Morro Bay
 Public Services/Planning Division
 Current & Advanced Project Tracking Sheet
 This tracking sheet shows the status of the work being processed by the Planning Division
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.
 Approved projects are deleted on next version of log.

Agenda No: A-2
 Meeting Date: February 3, 2015

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Hearing or Action Ready									
1	Garcia	430 Nassau	12/3/14	UP0-399	Addition to Non-conforming House	Under review. Complete. 2/3/15 PC hearing date. JG	Fire- conditionally approved 12/10/14	BCR for rvw 12/15/14	
2	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. C.J. Met with environmental consultant to review CEQA requirements 4-17-14. Seeking additional fee estimate for CEQA review. Met with consultant 7-2-14. Revised fee estimate provided to applicant 7-25-14. Draft environmental MND received from consultant and under review for completeness. Info hold letter sent 9-2-14. Resubmitted 10-28-14. Initial Study/MND complete & routed to State Clearinghouse 1-2-15. Anticipate 2-17-15 PC hearing. C.J.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP- Disapprove 11/19/13.	PW requirements will be addressed with Building Permit review	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
3	Verizon / Knight	750 Radcliffe	8/13/14	CP0-449/ UP0-385	CDP and CUP for upgrades to telecommunications facility	Correction letter sent 9-17-14. C.J. Resubmittal received 12-16-14 and response given. Project complete and ready for PC hearing. C.J.	BC- conditionally approved.		
30 -Day Review, Incomplete or Additional Submittal Review									
	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines.			
	Frederick/Haseley/Dunn	413 Shasta	1/14/15	CP0-458	Admin Coastal Development Permit for Demo/Reconstruct SFR				
	T-Mobile West LLC	1245 Little Morro Creek Rd (aka 750 Radcliffe)	1/8/15	Modification of UP0-245 & CP0-279	Upgrade of existing wireless facilities at PG&E lattice tower.				
12	Chivens	431 Kern	1/6/15	CP0-456	Admin Coastal Development Permit. Demo existing structure. New 3,000+/- SF SFR. Development of 2nd home where previous CDP for 431 Kern approved 9-2014. WM				
3	Groom	3039 Ironwood	12/4/14	Modification to CP0-422	Modification to Coastal Permit for a change in exterior finish.	Under review for parking conformance. JG. Need copy of prelim. title report and easement report. 12/5. JG. Approval pending page revisions from contractor. 1/15. Approved. Waiting on recorded covenant before signing off on Building permit. JG			

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
2	Appleby	381 Fresno	11/26/14	UP0-398	Conditional Use Permit for construction of a 15' x 35' storage shed & 37' x 15'6" carport	Under review. JG. Incomplete letter sent. Resubmittal rcv'd, under review. JG			
3	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation. 1/26. JG		RPS disapproved on 12/15/14 since proposed pole site will be removed during undergrounding project	
4	Verizon / Knight	1111 Main	11/19/14	UP0-395	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Denied due to future loss of pole. Spoke with Tricia Knight. Waiting on her decision as to how to move forward. Deny the project outright. JG		Rps disapproved location on 12/15/14 since no parking is available for maintenance vehicles	
5	Garcia	500 Kings	11/19/14	UP0-393/CP0-455	Conditional Use Permit and Coastal Development Permit. Initial Review: 6 dwelling units on two adjoining lots	Under Review. WM/JG. Incomplete letter sent. WM			
6	Najarian	2295 Juniper	10/13/14	CP0-454	Administrative Coastal Development Permit for a new SFR on vacant land	New SFR on vacant lot. Very incomplete plans. Correction letter sent 10-21-14. Resubmittal received 11-2014. WM	BC- incomplete	ME/DH - conditionally approved 10/23/2014. Comments in memo. Resubmitted 11/25/14	
7	Christensen	670 Shasta	10/9/14	UP0-390/ AD0-095	Conditional Use Permit and Parking Exception for SFR Addition of greater than 25%	Addition greater than 25% to a nonconforming structure plus parking exception to allow a single car garage where two spaces are required. Needs historical eval. Incomplete letter sent 10/23. JG	BC- conditionally approved.	RPS - Conditionally Approved per memo of 10/23/14	
8	Fowler	1185-1215 Embarcadero	10/6/14	UP0-058	Precise Plan submittal for landside improvements	Under review. Incomplete letter 11-5-14. CJ. Fire comments emailed to applicant 11-26-14. Resubmittal received 12/29/14.			
9	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story building (retail/restaurant use) & outdoor improvements	Under review. Deemed incompletd. Letter sent 10-13-14. CJ Waiting on resubmittal	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14	
4	Salin	845 Ridgeway	8/8/14	CP0-448	Admin Coastal Development Permit for new SFR	Correction letter sent 8-28-14. with follow-up direction emailed 9/10/14. Confirmed with Applicant's Representation 9-30-14. Property older than 50 years requires historical evaluation per CEQA. Historical study in progress. Received neighborhood letter/emails. CJ.	BC- conditionally approved.	DH/ME- Began resubmittal review 10/28	
5	Wordeman	2900 Alder	7/28/14	CP0-447	Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.	Under Review. Correction letter sent 8-27-14. Resubmittal received 1-26-15. JG	BC- conditionally approved.		
6	Romeiro	219 Marina	7/22/14	CP0-446	CDP: Addition > 10% to Non conforming SFR in Coastal Appeals Jurisdiction	Addition that exceeds 10% in appeals area requires CDP. Incomplete letter sent 9-23-14. WM.	BC- conditionally approved.		
7	Johnson	301 Little Morro Creek Rd	6/26/14	CP0-442 & UP0-081	Coastal Dev. Permit and Special/Interim Use Permit for new BMX Bike Park	Under Review. Correction letter sent 8-26-14. Meeting held 9-9 w/ Applicant to discuss outstanding issues. CJ. Waiting on resubmittal	BC- incomplete	BCR- Conditionally improved with stonwater exemption. Needs floodplain dev. Permit	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
8	Frye	250 & 244 Shasta Street	6/17/14	CP0-213 Amendment	Amendment to CP0-213 (amendment to original 2006 CDP for 250 Shasta)	Amendment to Administrative Coastal Permit CP0-213 to allow a north side yard setback of less than the required 5 feet at 244 Shasta. Including encroachment of garage into required side yard setback and allow home at 0 ft. setback where 2006 CDP included demolition in the project description. Correction letter sent 8-28-14. 2nd letter sent 9-18-14 regarding administrative permit modification for a non-conforming structure. Spoke with applicant 10-27. Resubmittal received 1-14-15. Asked for building floor plans 1-26-15. CJ.	BC- incomplete	BCR_ 7/8/13 cond appr. Complete frontage improvements required	
9	Hough	289 Main	10/16/13	CP0-410 & UPO-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ. Visited site to review project 10-24-14. Concurrent request sent re bluff to Coastal Commission 10-27-14. Discussed project with Coastal staff 11-18-14 with referral to CCC Geologist 1-2015. CJ.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	
10	Sonic	1840 Main St.	8/14/13	UPO-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15. CJ.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13	RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17. 7/22/14 Resubmittal review underway	
11	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing.Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	See above	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
13	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant is preparing Biological Report. Biological report received 3/13 and under review. Project referred to environmental consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ environmental consultant re completion of environmental 4/7 C.J. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. C.J. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Waiting on run-up report and plan revisions. C.J.	Review complete, applicant to obtain building permit prior to construction.	DH comments submitted 1/18/2012. Provide EC, drainage report, SW mgmt.	No Comments to date
Planning Commission Continued projects									
14	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 C.J. Met w/ Applicant 2-28-14 to review process - C.J. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7. Draft initial study under review and plans resubmitted 6/25/14. WM. MND routed to State Clearinghouse with tentative PC hearing date for 9/2/14. Correspondence received from Coastal Commission and Ca Dept of Fish and Wildlife regarding environmental. Applicant addressing concerns. PC continued to date uncertain. Met with Applicant 9-30-14. Addendum to Bio report received 11/11. Need to revise and recirculate MND. Discussed project with Coastal staff in meeting 11-18-14. WM	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RS/DH 7/22/14 under review	
15	Gonzalez	481 Java	12/30/13	UP0-374	Conditional Use Permit for non-conforming single-family residence. Addition of 578 sf plus 112 sf of decking	KM - Under initial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC. Continued to a date uncertain by Planning Commission at the 6/3 meeting to address parking non-conformities. WM. Resubmitted 9/26/14. Met with applicants regarding need to provide workable parking on site. WM	BC- conditionally approved.	BCR - Began resubmittal review 9/30/14	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
16	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW-Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	
Environmental Review									
17	City of Morro Bay	N/A			MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	N/R	
Grants									
18	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A	
19	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14.	No review performed.	N/R	
20	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.			
Project requiring coordination with another jurisdiction									
21	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
22	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.	
Preapplication projects - None currently									
Final Map Under Review									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
23	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive									
24	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07. Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
25	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	Parcel Map. 3 parcels and an open space parcel. A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14. Sent Intent to Deem Withdrawn letter on 9-2-14. JG. Request to keep project open 10/2014	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
26	Lucky 7	1860 Main	3/12/13	CP0-394	Construct Fuel Island Canopy & Initial Study/MND	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. Waiting on Applicant to sign mitigations. WM. Sent Intent to Deem Withdrawn letter 8-28-14. JG.	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
27	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	Upgrade of unmanned telecommunications facility	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM. Intent to Deem Withdrawn letter sent 8-28-14. JG. Spoke with applicant 9-16, intends to resubmit. JG.	BC- conditionally approved.	BCR- ADA ramp upgrade required	
28	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. Applicant requested to keep project open 9-25-14.	Please route project to Building upon resubmittal.	N/A	
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing									
29	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
30	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review performed.	N/A	
Projects Appealed or Forwarded to City Council									

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
31	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Scheduled for 5/10/11 CC meeting, item was continued. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report on the status of this project brought to PC on 2/7/2011. The item to be back to City Council first meeting in Nov. Workshops scheduled 9/29/11 & 10/6/11 -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Currently an intern is working on the Sign Ordinance. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 PC meeting scheduled to review North Main Street District. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop to be held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R	
Projects in Building Plan Check									
32	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmit received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	
33	Hill	445 Arcadia	7/8/14	B-30204	SFR Carport/ Deck	CJ - Corrections sent 7-14-14. Left msg w/ applicant requesting site visit 9/25/14. Approved 10/14/14. CJ.	BC- Resubmitted 9/10/14. Approved 9/26	JW-Disapproved, Correction Memo filed 7/18/2014; JW-Approved 10/28/2014	
34	Hibbard	990 Balboa	12/22/14	B-30343	SFR Addition	Approved 1-6-15. JG			
35	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt. EC.	
36	Beckett	175 Easter	8/19/14	B-30245	SFR Add: 735 sf living, 419 sf garage, 285 sf decking	Approved 8-21 CJ	BC- under review.	JW- 10/21/14 corrections needed.	
37	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14. Pending CDP approval. CJ. Correction letter sent. JG.	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed. JW- 9/9/14 2nd Submittal: Corrections and SWR Video needed. JW- 12/16/14 SWR Video needed	
38	Caldwell	801 Embarcadero	8/18/14	B-30250	Commercial Hood System		BC- returned for corrections 10/8/14.		
39	Fowler	1213 Embarcadero	9/11/14	B-30270	Phase 1-B Water Site Improvements	Requested correction 10-7-14 - CJ	BC-under review.	RPS - Disapproved per memo of 10/31/14	
40	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation or stabilization of excavated area	
41	Buquet	647 Estero	3/14/14	B-30129	New SFR: 1662 sf living, 577 sf garage, 564 sf unfinished space, and 230 sf deck	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
	Osborn	2810 Fir	1/26/15	B-30362	Install Sunroom / patio room				
42	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG	BC-on hold pending Planning process.	RPS - No PW comments if street access is not required for storage	
43	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car gargaes (508 sf) w/ storage (383 sf) above, and 93 sf deck	Corrections sent 8-11-14. WM.	BC- returned for corrections 8/22/14.	Assigned to ME/DH for review	
44	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit: 300 sf attached studio (27 new sf and convert 273 sf)	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.		
45	Meissner	1387 Hillcrest	7/31/14	B-30226	New SFR: 2,073 sf with 570 sf garage, 108 sf deck, and 975 sf of unconditioned under floor area.	Corrections sent 8-22-14. WM.	BC- under review		
46	Romero	2931 Ironwood	12/12/14	B-30339		Corrections sent 12-18-14. CJ	Code check corrections 1-21-15.	To BCR for review 12/15/14	
47	Groom	3039 Ironwood	1/15/14	B-30084	New SFR: 2205 sf living, 510 sf garage, and 290 sf decking	Needs CDP.	BC-Ready to Issue 7/10/14.	BCR-7/1/14 approved. SW O&M plan rec'd 7/10/14	
48	Sotello	420 Island	6/30/14	B-30192	New SFR: 1678 sf living, 482 sf garage, 106 sf decking	Needs CDP.	BC- Returned for correction 10/2/14.		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
49	McCallister	176 Java	6/3/14	B-30179	SFR Remodel	Project exceeds 10% in coastal appeals area. Will require a CDP prior to Building. CJ	BC-Returned for corrections 6/18/14.	BCR- under review	
50	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Return for resolution of Planning issues	
51	Castro	1105 Las Tunas		B-30342	Change flat roof to 4/12 pitch and electrical	Approved 1-9-15. JG.			
52	AT&T	788 Main	6/23/14	B-30194	Recycling Facility and Site Improvements	Correction sent 7-14-14. WM	BC-under review.	RPS -Conditional Approval with modifications per memo of	
53	Dyson	1177 Main	8/18/14	B-30248	Covered Patio	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.		
54	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13. Approved 12-15-14. CJ.	BC-returned for corrections 12/16/13.	N/R	
55	Kolb	685 Morro	12/22/14	B-30344	Clinic accessibility remodel & HVAC upgrade	Approved 1-6-15. WM.	Approved 1-13-15. JJ		
56	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved	BC-returned for corrections 10/2/14.		
57	Hammond	2621 Nutmeg	1/13/15	B-30355	Remove top half of retaining wall due to stem wall failure and new wood deck				
58	Najarian	471 Nevis	11/14/14	B30324	New SFR			ME: Needs erosion control plan & sewer video	
59		433 Oahu	11/10/14	B30280		Approved. 11-19-14. JG		ME Conditionally approved 12/2	
60	Wikler	405 Pacific	12/11/14	B-30338		Corrections 12-18-14. WM		To BCR for review 12/15/14	
61	Nagy	371 Piney	8/11/14	B-30237	New SFR: 3,022 square-foot SFR and garage, plus deck and balcony.		BC-out for corrections.		
62	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
	Lindsey	413 Shasta	1/14/15	B-30357	Demo / Reconstruct SFR.	Needs CDP.			
63		60 State Park Rd	11/3/14	B-30312	Public Area Remodel - Phase 2	Approved 11-6-14. CJ.		RPS - Architectural remodel only. No utility or PW improvements warranted for this phase	
64	Williams	429 Tulare	12/29/14	B-30346	Remodel & SFR Addition of 269sf				
65	Wammack	505 Walnut	12/31/13	B-30076	New SFR: 2611 sf living, 489 sf garage, 190 sf decks and covered porch	CJ - needs CDP. Appealed. Building permit on hold pending appeal outcome.	BC-on hold pending Planning process.	BCR sidewalk deferral agreement	
66	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition: 594 sf living and 340 sf decking	NC - Corrections sent 4/25. Corrections sent 12/18/14 WM.	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	
67	Nucci	529 Zanzibar	12/9/14	B-30337	SF Addition	Planning corrections 12-11-14. WM.		ME - Needs driveway profile. See memo 12/23/14.	
Projects & Permits with Final Action									
1	McCallister	176 Java St.	7/21/14	CP0-444	Coastal Dev. Permit for addition of > 10% to existing SFR within ESH Overlay and Coastal Appeals Jurisdiction.	Addition that exceeds 10% in appeals area requires CDP. Correction letter sent 8-25-14. corrections and bio report submitted 10/16/14. Under review. JG. Correction letter sent 10/24. JG. Met with applicant 11/10/14. Resubmitted and anticipate 1-20-15 PC hearing date. JG. Approved with conditions 5-0 vote	BC- conditionally approved.		
2	Lowe	510 Fresno	10/20/14	UP0-391	Conditional Use Permit for Addition to a Non conforming single family residence: add 508 sf 2-car garage, 383 sf storage room above, with 93 sf deck.	Addition of 2 car garage 508sf and 383 sf 2nd story storage room above w/ 93sf deck. Sent incomplete letter 11-13-14. Needs site survey and color and materials. Project complete and ready for noticing for 1-20-15 PC. Approved with conditions on a vote 4-1		JW - This project is conditionally approved for PW.	



AGENDA NO: B-1

MEETING DATE: February 3, 2015

Staff Report

TO: Planning Commissioners **DATE:** February 3, 2015

FROM: Joan Gargiulo, Contract Planner

SUBJECT: Conditional Use Permit (#UP0-399)
Request to allow an addition exceeding 25% of existing floor area to a single-family residence with nonconforming lot coverage and front setback at 430 Nassau.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting Planning Commission Resolution 05-15 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated November 26, 2014.

APPLICANTS: Ryan and Nessa Garcia

ARCHITECT: Clint Iwanicha

APN: 065-061-026

ADDRESS: 430 Nassau Street

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit approval to add a 1,200 square-foot second story addition, a 71 square-foot second story deck, 122 square feet of exterior open staircase, and a 622 square-foot roof deck. The project proposal also includes the conversion of 241 square feet of existing first floor living area to create a second single-car garage. The residence is considered nonconforming because the front setback is 9'6" where ten feet is required and the lot coverage is 56% where 50% is the maximum.

Prepared By: JG

Department Review: SG



Street View Looking East



430 Nassau Street



Street View Looking West

PROJECT SETTING:

The project is located in a residential neighborhood in North Morro Bay, East of Highway 1 and North of Del Mar Park and Elementary School. The 2,400 square-foot lot is designated Low-Medium Density Residential and zoned R-1/S.1. Housing in the surrounding area includes a mix of one- and two-story homes ranging from approximately 900 to 2,000 square feet.

Adjacent Zoning/Land Use			
North:	R-1/S.1 Residential Use	South:	R-1/S.1 Residential Use
East:	R-1/S.1 Residential Use	West:	R-1/S.1 Residential Use

Site Characteristics	
Site Area	Approximately 2,400 square feet
Existing Use	Single family residential
Terrain	Nearly level and developed
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	n/a
Access	Nassau Street

General Plan, Zoning Ordinance & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1 Single-Family Residential
Zoning Overlay District	S.1
Special Treatment Area	n/a
Combining District	n/a
Coastal Zone	Located outside of the Coastal Appeal Jurisdiction

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing house was built in 1986 and included 906 square feet of habitable living area with a 293 square-foot single-car garage. The existing garage is in conformance with Zoning Ordinance Section 17.40.050.B.6 which allows a single-car garage for residences under 1,000 square feet in the R-1/S.1 zoning district. All proposed development complies with the requirements set forth in the Morro Bay Municipal Code

Zoning Ordinance Standards			
	Standards	Existing	Proposed
Front-Yard Setback	10 feet	9'8"	10 feet
Side-Yard Setback	3 feet	3 feet	3'2"
Rear-Yard Setback	5 feet	5'2"	5'2"
Lot Coverage	50% Allowed	56%	55.9%
Height	25 feet	15'6"	24'3"
Parking	2 covered and enclosed spaces	1 covered and enclosed space	2 covered and enclosed spaces

Setbacks

The existing front setback is 9'6" where 10 feet is required. The applicant proposes to demolish the front wall of the existing garage which encroaches into the setback, and rebuild within the requirements set forth in the zoning ordinance in order to bring the front-yard setback into conformity.

Lot Coverage

The proposed project will result in a *slight* reduction to the existing nonconforming lot coverage percentage. Currently, the lot coverage is 56.4%; however pursuant to MBMC Section 17.40.050.B.7, the maximum lot coverage allowed in the R-1/S.1 zone for lots less than 4,000 square feet is 50%. The proposed project reduces the lot coverage area by 11 square feet (due to the relocation of the front wall), thereby slightly reducing the lot coverage to 55.9% and somewhat improving the nonconformity.

Parking

Two covered and enclosed parking spaces are required for single-family residences over 1,000 square feet located within the R-1/S.1 zoning district. To adjust for the planned increase in square-footage, the applicant proposes to convert 241 square-feet of existing habitable floor area to a second single-car garage.

Conditional Use Permit Requirement

Zoning Ordinance, subsection 17.56.160B, requires approval of a conditional use permit for projects proposing additions in excess of 25% of the existing floor to a nonconforming structure subject to certain findings. The project proposes to add 957 square feet to an existing 906 square-foot structure, an increase of approximately 105%. As noted above, the structure is nonconforming with regard to lot coverage and the required front setback. Approval of this use permit requires the following findings to be made:

Findings Required for Conditional Use Permit:

1. The project will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of the project.
2. The project will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. The project is in conformance with the General Plan and Local Coastal Program.

Findings Required for Additions Greater than 25% to a Nonconforming Structure:

4. The enlargement, expansion, or alteration is in conformance with the Zoning Ordinance;
5. The project satisfies all other provisions of Zoning Ordinance Chapter 17.56 (Nonconforming Uses and Structures), as applicable;
6. The expansion meets applicable Title 14 requirements for a conforming use;
7. The expansion is suitable for conforming uses and will not impair the character of the zone in which it exists; and
8. The Planning Commission finds that it is not feasible to make the structure conforming without major reconstruction of the existing structure.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on January 24, 2015, and all property owners of record within 300 feet and occupants within 300 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3. That exemption applies to new single-family residences located in residential zone.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures upon approval of a conditional use permit (Section 17.56.160). It is also important to note that the proposed project improves the nonconformity of the structure.

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-399 for the proposed addition to a nonconforming structure for the project at 430 Nassau Street, as shown on plans dated November 26, 2014, by adopting Planning Commission Resolution 05-15 which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A - Planning Commission Resolution 05-15

Exhibit B - Plan Reductions dated November 26, 2014

EXHIBIT A

RESOLUTION NO. PC 5-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING THE CONDITIONAL USE PERMIT (UP0-399) FOR AN ADDITION OF MORE THAN 25% OF EXISTING FLOOR AREA FOR A NON-CONFORMING SINGLE-FAMILY RESIDENCE LOCATED AT 430 NASSAU STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on February 3, 2015, for the purpose of considering Conditional Use Permit #UP0-399 for a proposed addition of more than 25% of the existing floor area to a non-conforming single-family residence outside of the Coastal Commission Appeals Jurisdiction located at 430 Nassau Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Planning Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 3: new single-family residences located in a residential zone.

Conditional Use Permit Findings

1. The project will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of the project.
2. The project will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. The project is in conformance with the General Plan and Local Coastal Program.

4. The enlargement, expansion, or alteration is in conformance with the Zoning Ordinance;
5. The project satisfies all other provisions of Zoning Ordinance Chapter 17.56 (Nonconforming Uses and Structures), as applicable;
6. The expansion meets applicable Title 14 requirements for a conforming use;
7. The expansion is suitable for conforming uses and will not impair the character of the zone in which it exists; and
8. The Planning Commission finds that it is not feasible to make the structure conforming without major reconstruction of the existing structure.

Section 2: Action. The Planning Commission does hereby approve Conditional Use Permit #UP0-399 for property located at 430 Nassau subject to the following conditions:

STANDARD CONDITIONS

1. Description of Project Approved: This permit is granted for the land described in the staff report dated February 3rd, 2015, for the project at 430 Nassau Street depicted on plans dated November 26, 2014, on file with the Public Services Department, showing a 1,200 square-foot second story addition, a 71 square-foot second story deck, 122 square feet of exterior open staircase, and a 622 square-foot roof deck. The project proposal also includes the conversion of 241 square feet of existing first floor living area to create a second single-car garage. Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Public Services Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Manager. Any changes to this approved permit determined, by the Department Manager, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.

4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance and a Certificate of Occupancy, as may be required. Deviation from this requirement shall be permitted only by written consent of the Department Manager or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Department Manager, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using

equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Public Services Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.

3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official. (MBMC Section 17.52.070)
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Inspection: The applicant shall comply with all Planning conditions listed above and obtain a final inspection from the Planning Division at the necessary time in order to ensure all conditions have been met.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

FIRE DEPARTMENT CONDITIONS

1. Compliance with California Fire Code (Section 903), California Residential Code (Section R313), and Morro Bay Municipal Code (Section 14.08.090(L)(1)) shall be required.

Note: Plan does call out for sprinklers on Sheet T 1.0 and shall submit plans to Morro Bay Public Services for review.

2. Carbon monoxide alarms in new and existing dwelling units and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

Applicant shall install carbon monoxide alarms in accordance with California Residential Code, (Section R315.2).

PUBLIC WORKS CONDITIONS

1. Include the locations of all proposed utilities, gas, sewer, water etc. Indicate on the plans the location of the lateral and if the sewer lateral is proposed or existing. If the existing sewer lateral is going to be used, conduct a video inspection of the conditions of existing sewer lateral prior to building permit issuance. Submit a DVD to City Public Services Department. Repair or replace as required to prohibit inflow/infiltration.
2. Sewer Backwater Valve: If not already installed, a sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project. (MBMC 14.07.030) Indicate on the plans.
3. Provide a standard erosion and sediment control plan: The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. Use the City of Morro Bay's Erosion and Sediment control handout as a guide.

Add the following Notes to the Plans:

1. No work within nor any use of any public rights of way shall occur without an encroachment permit. Encroachment permits are available at the City's Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.
2. Any damage to any of the City's facilities (such as curb/berm, street, sewer line, water line, or any public improvements) resulting, directly or indirectly from construction operations related to this project shall be repaired at no cost to the City.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 3rd day of FEBRUARY, 2015 upon motion of Commissioner _____ and seconded by Commissioner _____ on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson Robert Tefft

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 3rd day of February, 2015.

architect seal:



project type:
remodel & addition

project address:
430 nassau
morro bay, california

client:
the garcia family
430 nassau
morro bay, california

Sheet Title:
existing & proposed
site plan

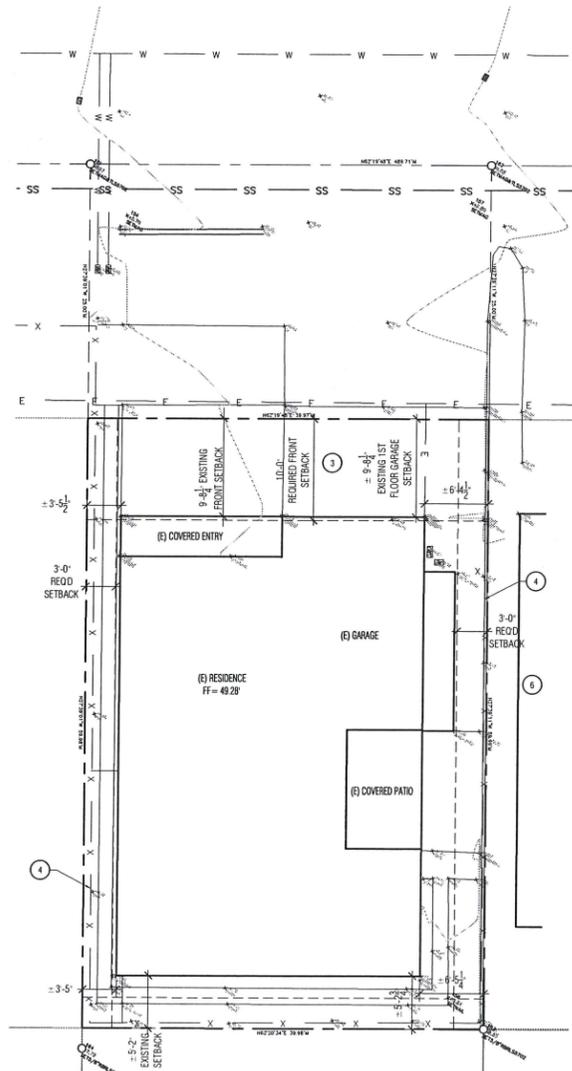
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plot date: 11.10.14

rev.	description	date

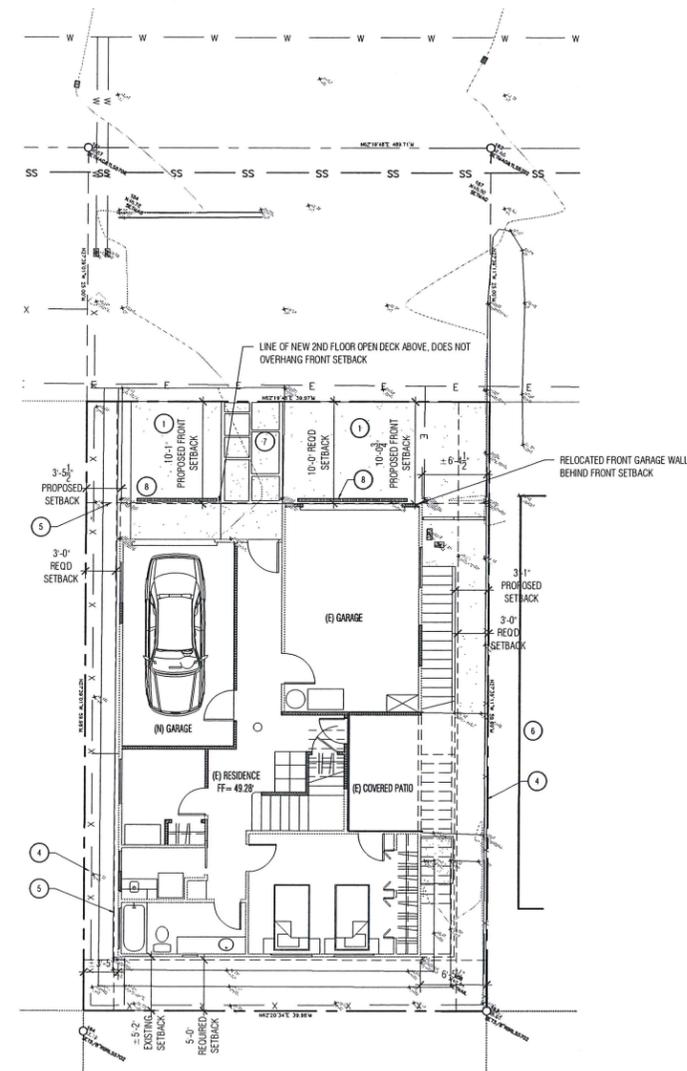
Sheet:

as1.1



existing site plan & topo

SCALE: 1/8" = 1'-0"



proposed site plan

SCALE: 1/8" = 1'-0"



key notes

- ① LINE OF NEW CONCRETE DRIVEWAY
- ② LINE OF EXISTING RESIDENCE
- ③ EXISTING CONCRETE DRIVEWAY TO BE REMOVED
- ④ EXISTING WOOD FENCE
- ⑤ REQUIRED BUILDING SETBACK LINE
- ⑥ LINE OF ADJACENT RESIDENCE
- ⑦ PAVERS & LANDSCAPING PER OWNER
- ⑧ TRENCH DRAIN PIPE TO REAR OF PROPERTY TO SLUMP PUMP. SLUMP PUMP TO DISCHARGE TO STREET FRONTAGE

architect seal:



project type:
remodel & addition

project address:
430 nassau
morro bay, california

client:
the garcia family
430 nassau
morro bay, california

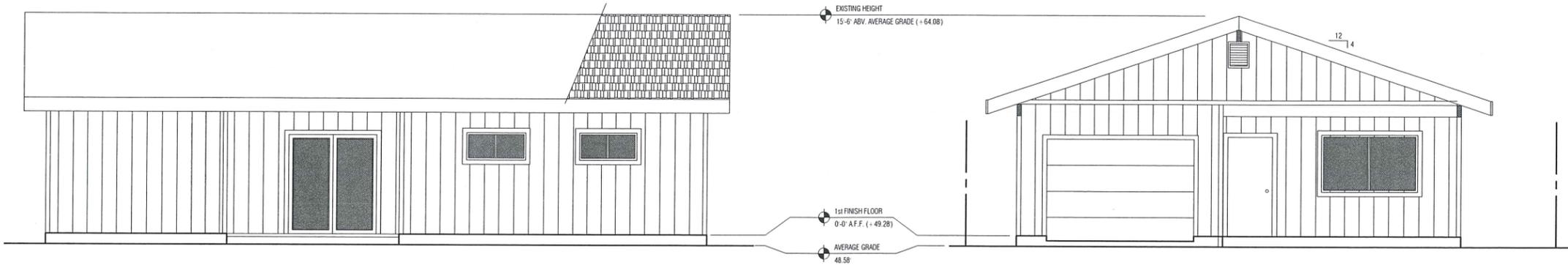
Sheet Title:
existing elevations

Sheet Info.

plot date: 11.10.14

rev.	description	date

Sheet:



east elevation

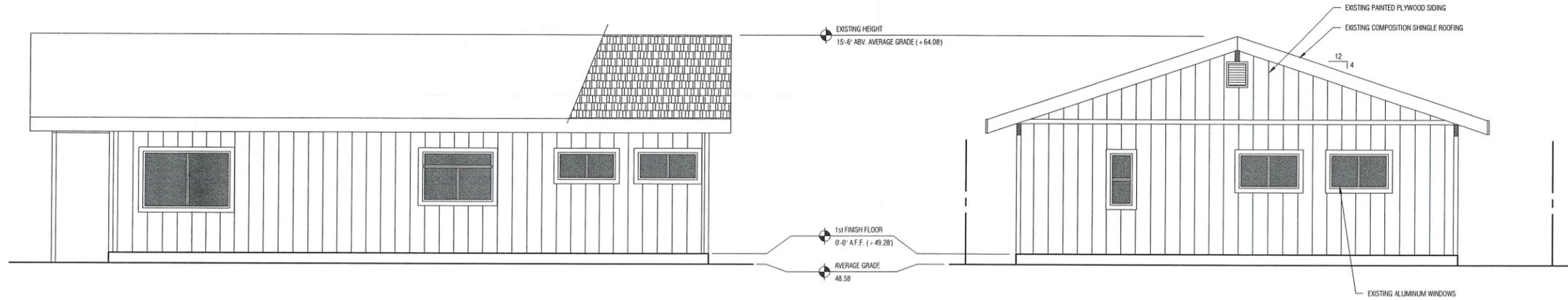
SCALE: 1/4"=1'-0"

C

north elevation

SCALE: 1/4"=1'-0"

A



west elevation

SCALE: 1/4"=1'-0"

D

south elevation

SCALE: 1/4"=1'-0"

B

architect seal:



project type:
 remodel & addition

project address:
 430 nassau
 morro bay, california

client:
 the garcia family
 430 nassau
 morro bay, california

Sheet Title:
 remodeled 1st floorplan
 & 2nd floor addition plan

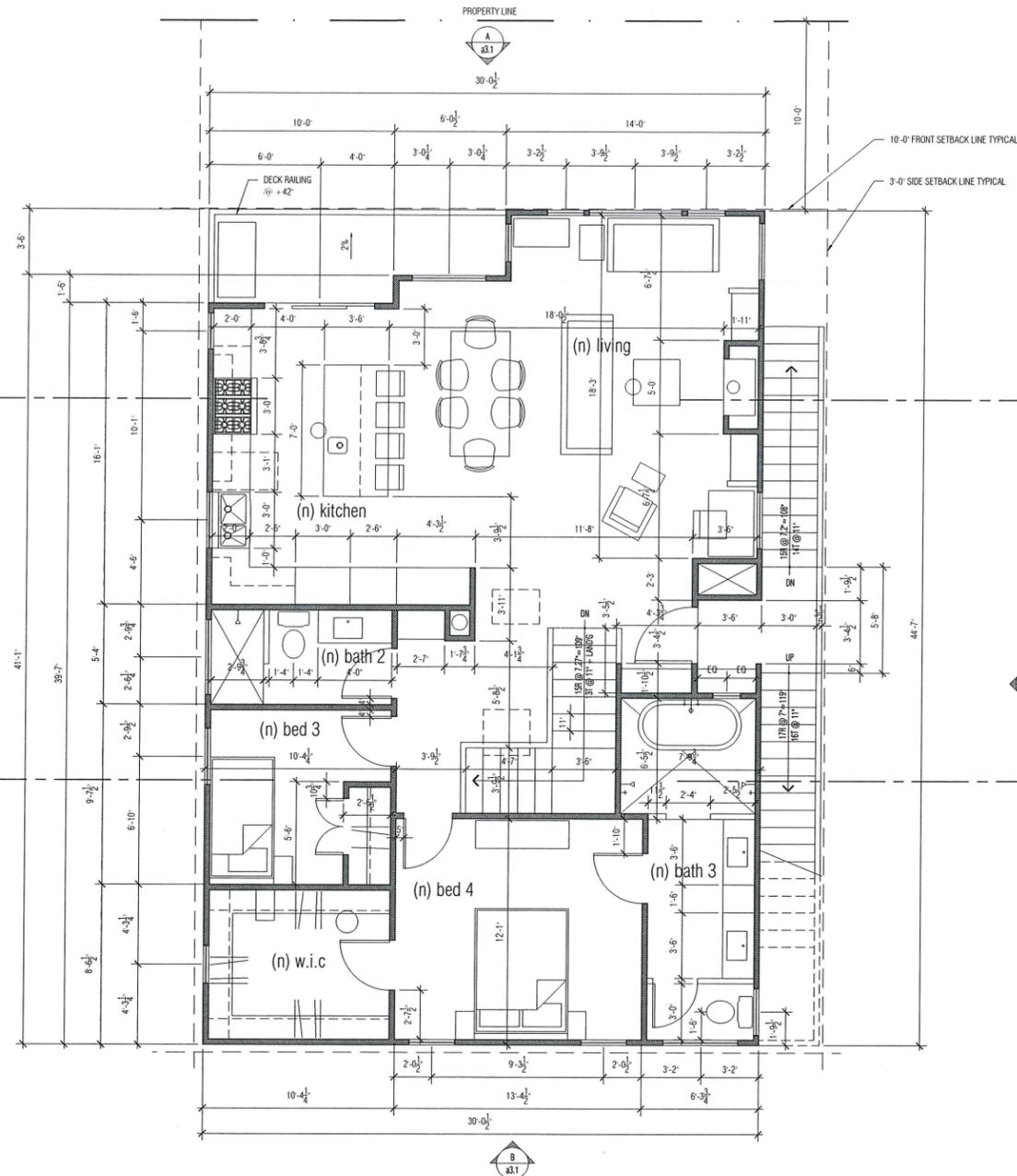
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plot date: 11.10.14

rev.	description	date

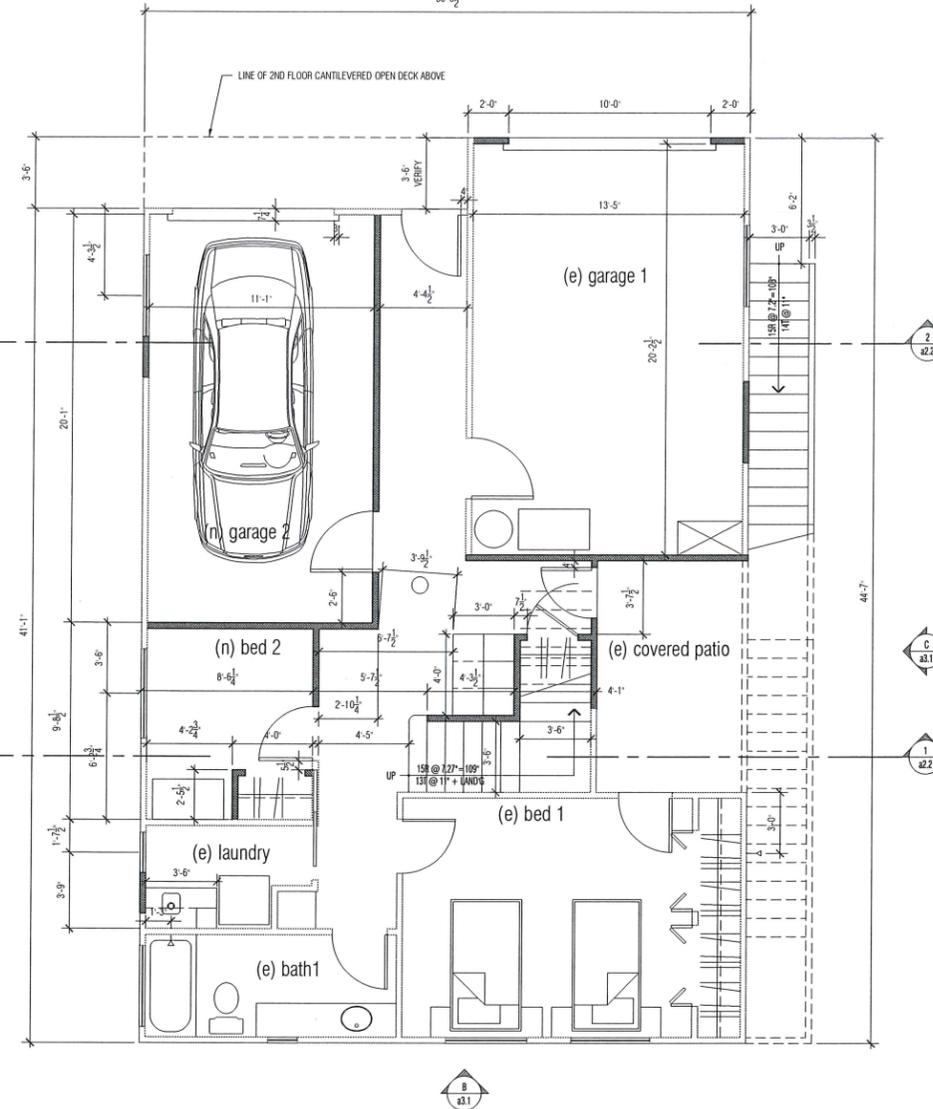
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a2.1



2nd floor addition plan

SCALE: 1/4" = 1'-0"



existing & remodel 1st floor plan

wall legend



SCALE: 1/4" = 1'-0"

key notes

- VALOR FIREPLACE, L2 SERIES MODEL: 1700N 36,000 BTUH (66.9% EFFIC). SURROUND AND FUEL BED PER OWNER. LOCAL DEALER: PACIFIC ENERGY, SLO, 544-4700
 - LINE OF VELLUX SKYLIGHT ABOVE. PROVIDE ELECTRICAL AS NEEDED. REFER TO ROOF PLAN FOR SKYLIGHT CALLOUT
 - STACKABLE WASHER & DRYER. PROVIDE SLOPED FLOOR BELOW WITH DRAIN
 - METER MAN & PANEL
 - WINE FRIDGE PER OWNER
 - CLOSET CABINET PER OWNER
 - LOWER CABINET PER OWNER
 - PREP & LAUNDRY SINK PER OWNER
 - STAIR GUARDRAIL. REFER TO DETAIL ?
 - VANITY, SINKS & FAUCETS PER OWNER
 - TOILET PER OWNER
- * MINIMUM CLEARANCES: 24" FRONT, 30" COMPARTMENT WIDTH
 * NEW WATER CLOSETS AND ASSOCIATED FLUSHMETER VALVES, IF ANY SHALL USE NO MORE THAN 1.2 GALLONS PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A112.19.2, H.S. CODE, SECTION 17921.3 (B) & CAL. GREEN CODE
 * 4" MIN SEWER LINE REQUIRED

- SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 7'-0" ABOVE THE DRAIN OUTLET. TILE PER OWNER FROM TUB DECK TO CEILING
- FAUCETS AND THERMOSTATIC MIXERS PER OWNER. SHOWER HEAD FLOW SHALL NOT EXCEED 2.5 GALLONS PER MINUTE AT 80 P.S.I. & LAVATORY FAUCETS SHALL NOT EXCEED 2.2 GPM @ 60 PSI
- CLOSET ORGANIZER PER OWNER
- COUNTERS & CABINETS STYLES PER OWNER
- PERMANENT ISLAND W/ (1) GFCI OUTLET MIN.
- BUILT-IN CABINETS, SHELVING PER OWNER
- LANDING AT DOOR TO BE 36" WIDE x 36" DEEP MIN. SLOPE 2% AWAY FROM DOOR
- ROOF DOWNSPOUT, TYPICAL. REFER TO ROOF PLAN
- OUTDOOR SHOWER, PLUMBS TO SEWER. PROVIDE DRAIN STOP TO AVOID RAIN INTRUSION

finish schedule

- (ALL ITEMS LISTED AS PER OWNER, TO BE CHOSEN BY OWNER AND INSTALLED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE. IF NOT NOTED PER OWNER, THEN CONTRACTOR PROVIDED AND INSTALLED)
- | | |
|----------------|---------|
| BASE | WALLS |
| FLOOR | CEILING |
| CEILING HEIGHT | |
- | | |
|--|---|
| <p>1. POLISHED CONCRETE</p> <p>2. HARDWOOD FLOOR PER OWNER</p> <p>3. CARPET PER OWNER</p> <p>4. TILE PER OWNER</p> <p>WALLS: (USE DENNISHIELD TILE BACKER IN ALL WET AREAS)</p> <p>1. 1/2" TYPE-X GYP. BD. - SMOOTH TROWEL FINISH & PAINT W/ BENJAMIN MOORE, FINISH PER OWNER (COLOR PER OWNER)</p> <p>2. TILE AND DENNISHIELD TILE BACKER AT TUB AND SHOWER AREAS PER OWNERS DIRECTION. 70" MIN AT SHOWER</p> | <p>1. PRIMED WOOD BASE. STYLE & COLOR PER OWNER</p> <p>2. 4" TILE BASE TO MATCH FLOOR TILE PER OWNER</p> <p>CEILING: (USE DENNISHIELD TILE BACKER IN ALL WET AREAS)</p> <p>1. 1/2" TYPE-X GYP. BD. - SMOOTH TROWEL FINISH & PAINT W/ BENJAMIN MOORE, FINISH PER OWNER (COLOR PER OWNER)</p> |
|--|---|

architect seal:



project type:
remodel & addition

project address:
430 nassau
morro bay, california

client:
the garcia family
430 nassau
morro bay, california

Sheet Title:
remodeled 1st floorplan
& 2nd floor addition plan

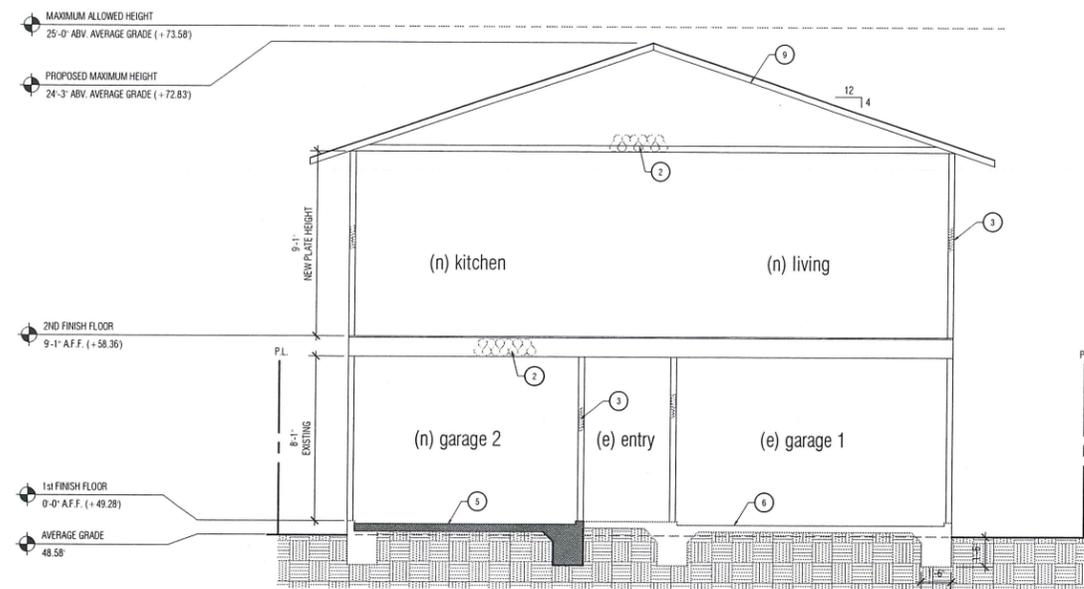
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plot date: 11.10.14

rev.	description	date

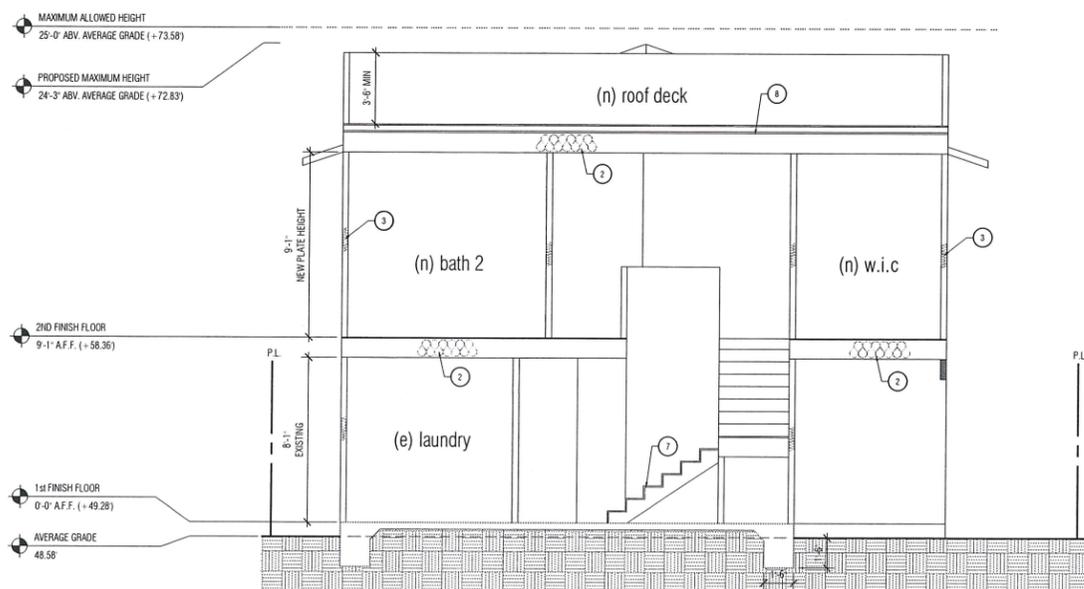
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a2.2



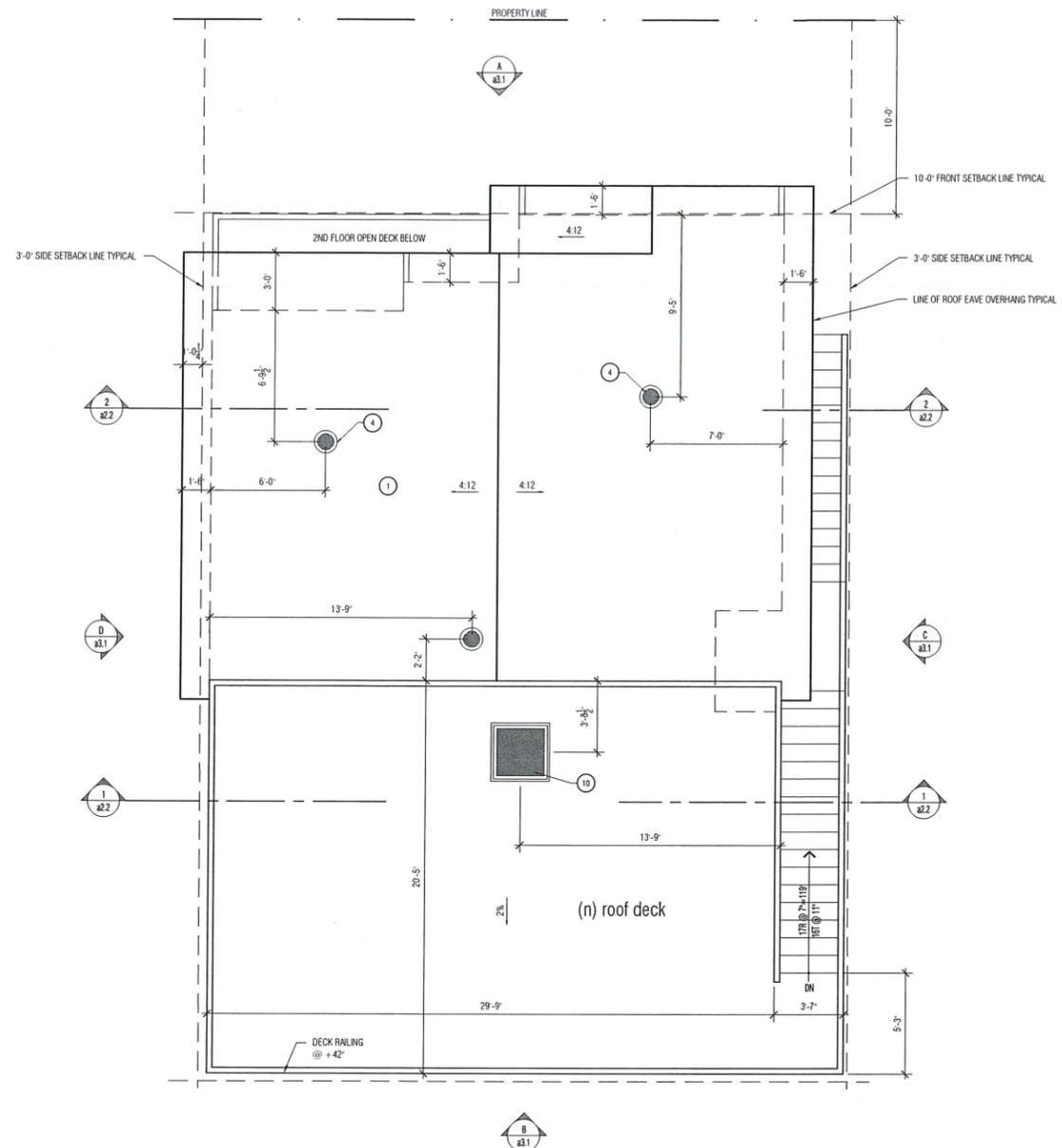
building section 2

SCALE: 1/4"=1'-0"



building section 1

SCALE: 1/4"=1'-0"



new roof & roof deck floor plan

SCALE: 1/4"=1'-0"



key notes

- 1 COMPOSITION SHINGLE OVER WATERPROOF ROOFING MEMBRANE
- 2 CEILING INSULATION: R-30 BATT INSULATION
- 3 WALL INSULATION: R-13 AT 2X4 WALLS & R-19 @ 2X6 WALLS
- 4 10" DIA. VELUX SUN TUNNEL SKYLIGHT W/ LOW PROFILE PLASTIC (AVAILABLE AT LOWES. S168)
- 5 NEW CONCRETE SLAB. REFER TO STRUCTURAL DWGS
- 6 EXISTING SLAB & FOOTINGS TO REMAIN
- 7 NEW STAR FRAMING
- 8 NEW DECK FRAMING PER STRUCT. RIP TO SLOPE 2%
- 9 NEW PREFABRICATED ROOF TRUSSES
- 10 VELUX CURB MOUNTED SKYLIGHT, VCE3030

architect seal:



project type:
 remodel & addition

project address:
 430 nassau
 morro bay, california

client:
 the garcia family
 430 nassau
 morro bay, california

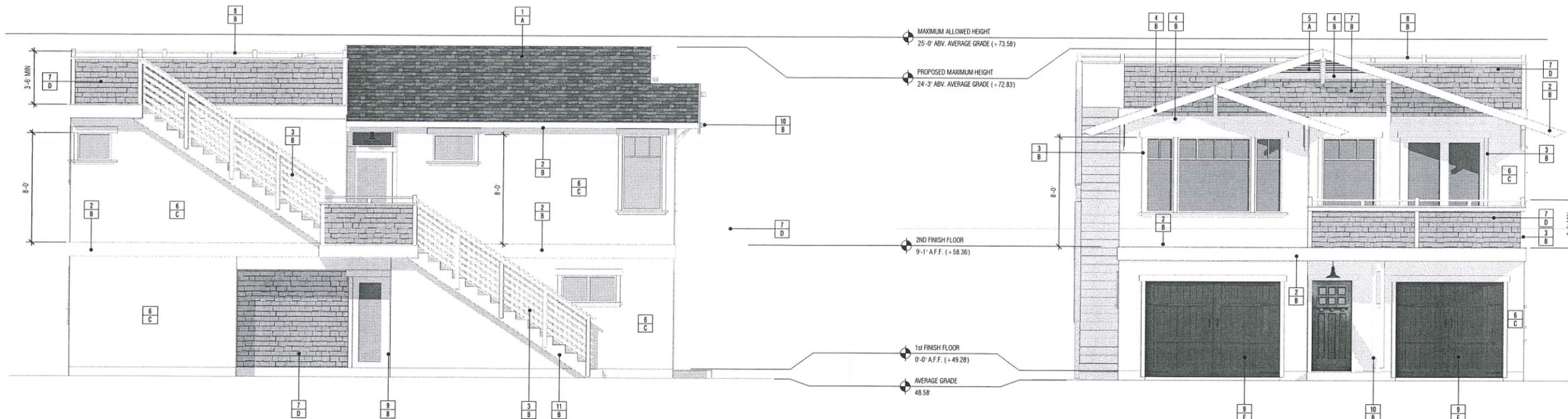
Sheet Title:
 new elevations

Sheet Info.

plot date: 11.10.14

rev.	description	date

Sheet:



east elevation

SCALE: 1/4"=1'-0"

C

north elevation

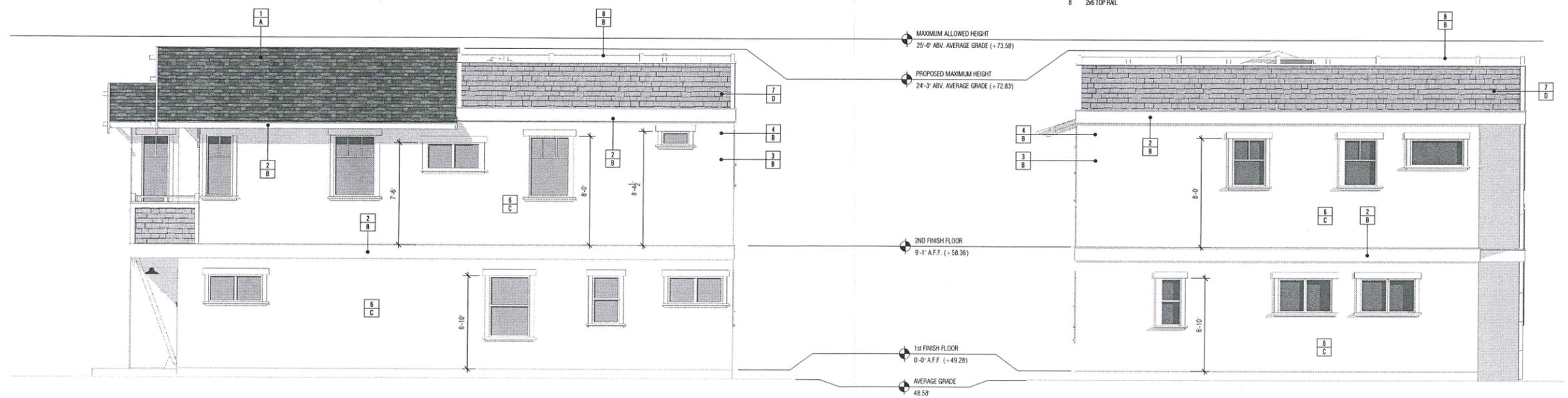
SCALE: 1/4"=1'-0"

A

material

color

- | | | |
|--|----------------------------|------------------|
| 1 COMPOSITION SHINGLE ROOFING | 9 WINDOWS & DOORS PER PLAN | A BLACK |
| 2 FASCIA | 10 4x ANGLE BRACES | B COLOR 1 |
| 3 1x4 HARDIE TRIM | 11 STAIR STRINGER BEAMS | C COLOR 2 |
| 4 1x6 HARDIE TRIM | | D COLOR 3 |
| 5 GALV. SCREEN MESH FOR VENTING, PAINT BLACK | | E COLOR 4 |
| 6 3-COAT CEMENT STUCCO, SMOOTH FINISH | | F STAINED FINISH |
| 7 HARDI SHAKE SIDING | | |
| 8 2x6 TOP RAIL | | |



west elevation

SCALE: 1/4"=1'-0"

D

south elevation

SCALE: 1/4"=1'-0"

B

Draft Memo

To: Morro Bay City Council
From: Morro Bay Planning Commission
Date: January 28, 2015
Re: Adopt Commercial Design Guidelines

Background: Residential Design Guidelines

Last fall, the Planning Commission began the development process of residential neighborhood compatibility policies, including design guidelines. The development process is almost complete and the guidelines will be presented to the City Council shortly.

These guidelines are intended to be interim in nature, lasting for a one year period from adoption by the Council. At the end of this period, staff will report back to both the Planning Commission and Council on the effectiveness of the guidelines and to receive additional direction related to continuation of their use. The hope is that the interim guidelines can be a tool for the Planning Staff and lend direction to residential applicants until the City adopts permanent guidelines through the General Plan/Local Coastal Plan update process.

General Information: Commercial Guidelines:

During the residential planning process, the Planning Commission determined that commercial properties would benefit from similar compatibility policies and design guidelines that encourage commercial neighborhood character. The basic features that contribute to commercial neighborhood character include amenity features, pedestrian and vehicular routes, mixed-use developments, building material, architectural style, and sense of shared community.

The following are draft commercial neighborhoods to be considered:

- Downtown
- Embarcadero
- South Main – State Park to Pacific
- North Main – Avalon to Zanzibar
- Quintana corridor

The development of interim Commercial Design Guidelines are intended to encourage sound and quality commercial development and to coordinate the design approach for the different projects in the City. Similar to the residential project,

these guidelines are intended to be interim in nature, lasting for a one-year period from adoption by the Council. At the end of this period, staff will report back to both the Planning Commission and Council on the effectiveness of the guidelines and to receive additional direction related to continuation of their use. The hope is that the interim guidelines can be a tool for the Planning Staff and lend direction to commercial applicants until the City adopts permanent guidelines through the General Plan/Local Coastal Plan update process.

Suggested Motion: Recommend the City Council direct Planning Staff to develop commercial compatibility policies, including design guidelines.

Draft Memo

To: Morro Bay City Council
From: Morro Bay Planning Commission
Date: January 28, 2015
Re: Adopt a Solar Ready Ordinance

The Morro Bay Planning Commission requests the city council promote solar ready construction by directing the city planning staff to develop a Solar Ready Ordinance requiring all new and major remodel construction to follow solar ready design guidelines.

There have been increased concerns raised both nationally and locally about escalating energy costs and increased global warming. The development of Morro Bay's Climate Action Plan demonstrates the City's commitment to resource conservation and the reduction of greenhouse gas emissions. Inclusion of a best practice, solar ready design and construction ordinance promotes increased energy efficiency, resource sustainability and compliments the Morro Bay Climate Action Plan.

Solar ready requirements are a low cost, but effective, addition to local building codes and/or ordinances. In existing residential structures, structural and solar access issues can prevent a solar project from being cost effective or may make it entirely infeasible; incorporating solar readiness prior to and during construction is a critical component of solar adoption.

The following are examples of sample design guidelines (final guidelines to be developed by staff, recommended by the planning commission to the city council for approval):

- Electrical
 - Open unobstructed west/south roof area that would allow for a minimum of 3.5KW generation capacity or 85% of the structure's projected usage;
 - Electrical conduit with service access from roof area to electrical service panel;
 - Appropriate sized electrical panel with upgraded BUSS BAR;
- Thermal
 - Open unobstructed west/south roof area that would allow for a minimum of ___ thermal capacity.

- Insulated supply and return line from dedicated roof area to the hot water supply.
- Appropriate control and sensor wires need for operation of solar electrical/thermal unit.

Below are examples of other city's mandates/ordinances:

- *Sebastopol, California: Solar Mandate*
 - In March 2013, Sebastopol, California, amended their zoning code to create a solar mandate for new residential and commercial buildings. The mandate also applies for major renovations of existing structures. Permit applicants will be required to submit plans for a solar photovoltaic system along with their construction documents. Sites for which solar is infeasible must pay a fee. The ordinance also outlines minimum sizing requirements for solar installations based on either prescriptive or performance-based measurements.
- *Tucson, Arizona: Citywide Residential Solar Readiness Ordinance No. 10549*
 - The city's 2008 ordinance requires solar stub-ins (i.e., conduit) on all new single-family and duplex residential dwelling units in order to receive a building permit.

Suggested Motion: Recommend the City Council direct Planning Staff to develop a Solar Ready Ordinance requiring all new and major renovated, single family and duplex residential dwelling units include an acceptable method to allow for later installation of a system which utilizes solar energy as the primary means of heating domestic potable water and electrical power.