



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, March 17, 2015
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Vice-Chairperson Gerald Luhr
Commissioner Richard Sadowski

Commissioner Michael Lucas
Commissioner Katherine Sorenson

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

ELECTION OF CHAIR AND VICE CHAIR

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** CP0-446 and UP0-406

Site Location: 219 Marina Street, Morro Bay, CA

Proposal: Request for a Coastal Development Permit and Conditional Use Permit to remodel and add to an existing nonconforming 2,204 square-foot, two-story dwelling. The existing structure is nonconforming with regard to height and front setback. Plans show an addition of 1,759 square feet plus a 700 square-foot roof deck. The project will increase lot coverage from 17% to 49%. This project is located in the Coastal Commission appeal jurisdiction on property zoned Duplex Residential/Planned Development (R-2/PD) with an S-4 overlay requiring special design review to maintain and enhance the character and visual quality of the area. The project is also subject to bluff development standards for bluffs in the Embarcadero Area.

CEQA Determination: Categorically Exempt, Section 15303 Class 1

Staff Recommendation: Conditionally Approve

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

C. UNFINISHED BUSINESS - None

D. NEW BUSINESS

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on April 7, 2015, at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission

after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Public Services/Planning Division
 Current & Advanced Project Tracking Sheet
 This tracking sheet shows the status of the work being processed by the Planning Division
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.
 Approved projects are deleted on next version of log.

Agenda No: A-1
 Meeting Date: March 17, 2015

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
Hearing or Action Ready									
1	Romeiro	219 Marina	7/22/14	CP0-446 & UP0-406	CDP: Addition > 10% to Non conforming SFR in Coastal Appeals Jurisdiction	Addition that exceeds 10% in appeals area requires CDP. Incomplete letter sent 9-23-14. Resubmittal received and anticipate PC hearing 3-17-15. WM	BC- conditionally approved.	ME returned for correction per memo of 2/3/15	
2	Salin	845 Ridgeway	8/8/14	CP0-448	Admin Coastal Development Permit for demo of existing SFR and construction of new 2,420 sq. ft. SFR w/766 sq. ft. garage	Correction letter sent 8-28-14. with follow-up direction emailed 9/10/14. Confirmed with Applicant's Representation 9-30-14. Property older than 50 years requires historical evaluation per CEQA. Historical study in progress. Received neighborhood letter/emails. CJ. Noticed 2/13. Admin CDP Issued 2/24. Appealed to PC. meeting date 4/7. JG	BC- conditionally approved.	DH/ME- returned for correction 11/24/14	
3	Gonzalez	481 Java	12/30/13	UP0-374	Conditional Use Permit for non-conforming single-family residence. Addition of 578 sf plus 112 sf of decking	KM - Under initial review. GN - Incomplete letter sent 1/30/14. Met w/ applicant 4/3 WM/GN. Applicant resubmitted 4/3/14. GN - Third incomplete letter sent 4/8/14. Project does not conform to standards. Applicant responded 5/1/14 wishes to proceed to PC w/ project as submitted. WM. Noticed 5/23 NC. Continued to a date uncertain by Planning Commission at the 6/3 meeting to address parking non-conformities. WM. Resubmitted 9/26/14. Met with applicants regarding need to provide workable parking on site. WM Resubmittal 2/3/15. PC hearing date 4/7/15.	BC- conditionally approved.	BCR - Began resubmittal review 9/30/14. Begin 2nd resubmittal review 2/3/15	
4	Jeffers	2740 Elm	8/29/14	CP0-450	Demo 1 of 2 existing single units, construct new 1,522 sq. ft SFR w/ 508 sq. ft. garage as the primary unit	Project application denied due to proposed location of rear yard garage entry. Agent wants to appeal decision. PC date 4/7/2015. JG			
5	Johnson	301 Little Morro Creek Rd	6/26/14	CP0-442 & UP0-081	Coastal Dev. Permit and Special/Interim Use Permit for new BMX Bike Park	Under Review. Correction letter sent 8-26-14. Meeting held 9-9 w/ Applicant to discuss outstanding issues. CJ. Received resubmittal 2-2015 and under review.	BC- incomplete	RPS - Plans approved as revised 2/24/15	
30 -Day Review, Incomplete or Additional Submittal Review									
6	Held	901-915 Embarcadero	2/25/15	UP0-342	Precise Plan approval for New Docks, Retail Unit, Public Access and Façade Changes at Harbor Center	Concept Plan approval received by Council in 2012. CDP approval received by Coastal Commission. Precise Plan approval to be reviewed by PC. Project under initial review for completeness.			
7	Aryaud	966 Pecho	2/24/15	UP0-407	Addition to Non-conforming House. Addition of 575sf of living area to existing 956sf home.				
8	Hsiao	341 Rennel St	2/11/15	CP0-463	Admin. Coastal Development Permit - Construct 1 story 917sf SFR with 283 SF garage	Under initial review. WM		BCR- Begin review 2/23/15	
9	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG		JW approved	
10	Volk	800 Quintana	1/29/15	CP0-461 & UP0-405	CDP /CUP for Verizon wireless telecommunications facility	CJ - under review. Incomplete letter sent 3-2-15		RPS approved	
11	Knight / Verizon	485 Piney Way	1/29/15	CP0-460 & UP0-402	CDP /CUP for Verizon wireless telecommunications facility (panel antennas & equipment cabinet)	CJ - RF Compliance Report under review. Incomplete letter sent 3-2-15.		ME conditionally approved per memo fo 2/3/15	
12	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
13	Frederick/Haseley/Dunn	413 Shasta	1/14/15	CP0-458	Admin Coastal Development Permit for Demo and Reconstruction of 2,195 sq. ft. SFR w/546 sq. ft. garage	Under Review. JG. Correction letter sent 2/23. JG. Email correspondence w/ agent 3/2. JG		RPS returned for clarification 2/20/15	
14	T-Mobil e West LLC	1245 Little Morro Creek Rd (aka 750 Radcliffe)	1/8/15	Modification of UP0-245 & CP0-279	Upgrade of existing wireless facilities at PG&E lattice tower.	Requested proposed visual simulation 2-11-15. CJ.		RPS - Encroachment Permit required for Work w/ ROW	
15	Chivens	431 Kern	1/6/15	CP0-456	Admin Coastal Development Permit. Demo existing structure. New 3,000+/- SF SFR. Development of 2nd home where previous CDP for 431 Kern approved 9-2014. WM	Incomplete letter sent 2/3/15.	2/23/15 FD Cond App TP	RPS has approved plans 2/23/15 pending submission of sewer video and ECP prior to Building Permit.	
16	Appleby	381 Fresno	11/26/14	UP0-398	Conditional Use Permit for construction of a 15' x 35' storage shed & 37' x 15'6" carport	Under review. JG. Incomplete letter sent. Resubmittal rcv'd, under review. JG. Incomplete letter sent 2/24. JG.		RPS returned resubmittal for same corrects 2/20/15	
17	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG		RPS disapproved on 12/15/14 since proposed pole site will be removed during undergrounding project	
18	Garcia	500 Kings	11/19/14	UP0-393/CP0-455	Conditional Use Permit and Coastal Development Permit. Initial Review: 6 dwelling units on two adjoining lots	Under Review. WM/JG. Incomplete letter sent. Met with owners 1/10/15 and 1/30/15.	12/12/14 FD Not App TP	ME disapproved plans per memo of 12/12/14	
19	Christensen	670 Shasta	10/9/14	UP0-390/ AD0-095	Conditional Use Permit and Parking Exception for SFR Addition of greater than 25%	Addition greater than 25% to a nonconforming structure plus parking exception to allow a single car garage where two spaces are required. Needs historical eval. Incomplete letter sent 10/23. JG. Waiting on Historic Eval. Spoke with applicant at counter 2/17 JG	BC- conditionally approved.	RPS - Conditionally Approved per memo of 10/23/14	
20	Fowler	1185-1215 Embarcadero	10/6/14	UP0-058	Precise Plan submittal for landside improvements	Under review. Incomplete letter 11-5-14. CJ. Fire comments emailed to applicant 11-26-14. Resubmittal received 12/29/14. Correction sent 1-29-14		RPS provided comments for revision of Precise Plan on 2/11/15	
21	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story building (retail/restaurant use) & outdoor improvements	Under review. Deemed incomplete. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. CJ	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14	
22	Wordeman	2900 Alder	7/28/14	CP0-447	Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.	Under Review. Correction letter sent 8-27-14. Resubmittal received 1-26-15. JG. Correction letter sent. Partial resubmittal rcv'd 2/23. Under Review. JG. Correction letter sent 1/30 JG	BC- conditionally approved.	BCR returned for correction 2/19/15	
23	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ. Visited site to review project 10-24-14. Concurrent request sent re bluff to Coastal Commission 10-27-14. Discussed project with Coastal staff 11-18-14 with referral to CCC Geologist 1-2015. Met w/ Coastal geologist 2-12-15 on site.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13	
24	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13.9/9/14 FD App TP. 2/10/15 FD Not App TP.	RPS: Intial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17. 7/22/14 Resubmittal review underway. Application still incomplete per memo of 2/23/15	

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25	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. J.G. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 6/11/12	
26	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Env. Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant is preparing Bio. Report. Bio. report received 3/13 and under review. Project referred to env. consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ env. consultant re completion of environmental 4/7 C.J. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. C.J. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Waiting on plan revisions. C.J.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 11/20/12	No Comments to date
Planning Commission Continued projects									
27	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. C.J. Met with environmental consultant to review CEQA requirements 4-17-14. Seeking additional fee estimate for CEQA review. Met with consultant 7-2-14. Revised fee estimate provided to applicant 7-25-14. Draft environmental MND received from consultant and under review for completeness. Info hold letter sent 9-2-14. Resubmitted 10-28-14. Initial Study/MND complete & routed to State Clearinghouse 1-2-15. Anticipate 2-17-15 PC hearing. Comments received from Coastal Commission regarding eelgrass mitigation. Dock revision in progress. Project continued to 3-17-15 mtg to ensure legal noticing.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP- Disapprove 11/19/13.	PW requirements will be addressed with Building Permit review	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13
28	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.	Under initial review. Met w/ Applicant 1-17-14 re Incomplete Submittal of Plans. Resubmitted 1-23-14. Correction letter sent 2-20-14 C.J. Met w/ Applicant 2-28-14 to review process - C.J. Correction letter sent 3-28-14. Met w/ environmental consultant 4/7. Draft initial study under review and plans resubmitted 6/25/14. WM. MND routed to State Clearinghouse with tentative PC hearing date for 9/2/14. Correspondence received from Coastal Commission and Ca Dept of Fish and Wildlife regarding environmental. Applicant addressing concerns. PC continued to date uncertain. Met with Applicant 9-30-14. Addendum to Bio report received 11/11. Need to revise and recirculate MND. Discussed project with Coastal staff in meeting 11-18-14. WM	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RPS conditionally approved per memo of 7/20/14	

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29	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	
Environmental Review									
30	City of Morro Bay	N/A			MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review-tentatively scheduled for 10/14/2013.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15	
Grants									
31	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A	
32	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14.	No review performed.	N/R	
33	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.			
Project requiring coordination with another jurisdiction									
34	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond	
35	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.	
Preapplication projects - None currently									
Final Map Under Review									

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36	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.	
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive									
37	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.	
38	Sequoia Court Estates	670 Sequoia	4/3/12	UP0-349 & S00-112	Parcel Map. 3 parcels and an open space parcel. A revised subdivision map was submitted for review on August 6, 2012.	Incomplete letter sent to applicant/agent. Project submitted without necessary materials for processing. Applicant submitted a revised plan reducing the number of lots, and is providing additional information as requested addressing City requested information. Additional information submitted; waiting for biological report. Report should be submitted in September 2012. Needs drainage plans. MR: Second incomplete letter sent 11/13/12. MND in preparation. Susan Craig, Coastal Commission staff confirmed property is entirely outside coastal zone. Met with applicant on 1/30/2013 project moving ahead, staff waiting on resubmittal. Applicant directed to obtain wetland determination. Project waiting on applicant. Resubmittal received 9-10-13. Corrections sent to applicant. Project still does not meet code requirements. Subdivision Review Committee to review project 2/11/14. Sent Intent to Deem Withdrawn letter on 9-2-14. JG. Request to keep project open 10/2014	Review complete, applicant to obtain building permit prior to construction. TP/FD Disapprove SOO-112 w/corrections 10/18/13. FD Disapprove 1/31/14.	BCR- comments submitted 4/17/12. Drainage issues need to be addressed. 1/17/14 Drainage report incomplete. Developer needs to show how water quality requirements will be addressed. Peak flow mitigation not required at this phase.	
39	Lucky 7	1860 Main	3/12/13	CP0-394	Construct Fuel Island Canopy & Initial Study/MND	CJ- Requested additional info. 3-29-13 Resubmittal received 7-22. Project deemed not exempt from CEQA. Initial Study in process. Requested photometric plan for new lighting of canopy via phone 1-28-14 for initial study. Photometric plan and revised plans received 2-10-14. Reviewing new material submitted for inclusion in Initial Study. Initial Study complete and ready for signature 5/1/14. Reviewed with applicant 5/12. Waiting on Applicant to sign mitigations. WM. Sent Intent to Deem Withdrawn letter 8-28-14. JG.	Review complete, applicant to obtain building permit prior to construction. FD Approval CPO 394 8/23/13	Approved BCR 3/18/13	
40	AT&T	590 Morro	1/16/14	CP0-126 / UP0-084	Upgrade of unmanned telecommunications facility	Under initial review. Emailed update to Applicant 3-3-14. Correction letter sent 3-19-14. WM. Intent to Deem Withdrawn letter sent 8-28-14. JG. Spoke with applicant 9-16, intends to resubmit. JG.	BC- conditionally approved.	BCR- ADA ramp upgrade required	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
41	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. Applicant requested to keep project open 9-25-14.	Please route project to Building upon resubmittal.	N/A	
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing									
42	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.		
43	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas" and Modify THE TITLE PAGE TO REFLECT THE NEW CHAPTER.	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review performed.	N/A	
Projects Appealed or Forwarded to City Council									
44	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report brought to PC on 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R	
Projects in Building Plan Check									
45	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
46	Hill	445 Arcadia	7/8/14	B-30204	SFR Carport/ Deck	CJ - Corrections sent 7-14-14. Left msg w/ applicant requesting site visit 9/25/14. Approved 10/14/14. CJ.	BC- Resubmitted 9/10/14. Approved 9/26	JW-Disapproved, Correction Memo filed 7/18/2014; JW-Approved 10/28/2014	
47	Miller	461 Arcadia	2/6/15	B-30370	Single Family Alteration. Interior Structural work. Relocate bedroom & bathroom				
48	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. MR: Met with applicant to go over environmental issues.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC per memo of 1/18/12.	
49	Beckett	175 Easter	8/19/14	B-30245	SFR Add: 735 sf living, 419 sf garage, 285 sf decking	Approved 8-21 CJ	BC- under review.	JW- 10/21/14 corrections needed. JW - 02/18/15 Approved, submit SWR video prior to occupancy	
50	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14. Pending CDP approval. CJ. Correction letter sent. JG. Appealed to PC 4/7	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed. JW- 9/9/14 2nd Submittal: Corrections and SWR Video needed.	
51	Caldwell	801 Embarcadero	8/18/14	B-30250	Commercial Hood System		BC- returned for corrections 10/8/14.	NRR	
52	Fowler	1213 Embarcadero	9/11/14	B-30270	Phase 1-B Water Site Improvements	Requested correction 10-7-14 - CJ	BC-under review.	RPS - Disapproved per memo of 10/31/14	
53		1217 Embarcadero	1/30/15	B-30367	Commercial Alteration. Install sinks, drains, electrical & receptacles			NRR	
54	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation or stabilization of excavated area	
55	Buquet	647 Estero	3/14/14	B-30129	New SFR: 1662 sf living, 577 sf garage, 564 sf unfinished space, and 230 sf deck	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14	
56	Osborn	2810 Fir Ave	2/10/15	B-30362	Install Sunroom / patio room		Plans stamped. Ready to issue. CL.	NRR	
57	Vaughn	325 Fairview Ave	2/10/15	B-30365	Solar System		Plans stamped. Ready to issue. CL.	NRR	
58	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	BC-on hold pending Planning process.	RPS - No PW comments if street access is not required for storage bldg	
59	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car gargaee (508 sf) w/ storage (383 sf) above, and 93 sf deck	Corrections sent 8-11-14. WM.	BC- returned for corrections 8/22/14.	Assigned to ME/DH for review	
60	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit: 300 sf attached studio (27 new sf and convert 273 sf)	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.	NRR	
61	Meissner	1387 Hillcrest	7/31/14	B-30226	New SFR: 2,073 sf with 570 sf garage, 108 sf deck, and 975 sf of unconditioned under floor area.	Corrections sent 8-22-14. WM.	BC- under reivew	BCR approved 2/5/15	
62	Romero	2931 Ironwood	12/12/14	B-30339		Corrections sent 12-18-14. CJ.	Code check corrections 1-21-15.	BCR conditionally approved per memo of 12/31/14	
63	Sotello	420 Island	6/30/14	B-30192	New SFR: 1678 sf living, 482 sf garage, 106 sf decking	Needs CDP.	BC- Returned for correction 10/2/14.	BCR conditionally approved plans per memo of 9/10/14	
64	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	KM - Disapproved due to nonconforming issues 10/22/13. GN - Sent out incomplete letter 1/30/14 with revisions. Resubmitted 4/3/14. Third incomplete letter sent 4/8/14.	BC- on hold pending planning process.	Return for resolution of Planning issues. BCR - Conditionally approved per memo of 10/9/14	
65	Herrera	2820 Juniper	2/19/15	B-30375	New 203 sf deck addition to front of residence	Approved 3/4/15 JG			
66	Rockenbach	2670 Juniper	3/4/15	B-30387	Bathroom remodel				
67	Castro	1105 Las Tunas		B-30342	Change flat roof to 4/12 pitch and electrical	Approved 1-9-15. JG.		RPS - Resubmittal approved 2/20/15.	
68	Candy Fish Sushi	898 Main	2/23/15	B-30380	Demise wall to add inside seating in restaurant	Approved 2/26/15 JG			
69	AT&T	788 Main	6/23/14	B-30194	Recycling Facility and Site Improvements	Correction sent 7-14-14. WM	BC-under review.	RPS -Conditional Approval with modifications per memo of 10/14/14	
70	Dyson	1177 Main	8/18/14	B-30248	Covered Patio	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR	
71	Naran	2176 Main	5/13/13	B-29918	Partial change of occupancy	CJ - Corrections sent 5-29. Resubmittal received 11-20 and corrections sent 12-10-13. Approved 12-15-14. CJ.	BC-returned for corrections 12/16/13.	NRR	
72	Kolb	685 Morro	12/22/14	B-30344	Clinic accessibility remodel & HVAC upgrade	Approved 1-6-15. WM.	Approved 1-13-15. JJ	NRR	
73	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved	BC-returned for corrections 10/2/14.	RPS returned for corrections per memo of 9/25/14	

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations
74	Hammond	2621 Nutmeg	1/13/15	B-30355	Remove top half of retaining wall due to stem wall failure and new wood deck			ME conditionally approved pending detail of drainage system at retaining wall per memo of 2/3/15	
75	Wikler	405 Pacific	12/11/14	B-30338		Corrections 12-18-14. WM		BCR returned for corrections per memo of 12/19/14	
76	Dennis	270 Piney	2/13/15	B-30383	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG			
77	Dennis	280 Piney	2/13/15	B-30384	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG			
78	Dennis	290 Piney	2/13/15	B-30382	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG		ME - Needs Eroision control plan & sewer backwater valve per 3/6/2015 memo.	
79	Nagy	371 Piney	8/11/14	B-30237	New SFR: 3,022 square-foot SFR and garage, plus deck and balcony.		BC-out for corrections.	JW returned for corrections per memo of 8/14/14 w/ Sample Offer of Dedication. Reviewed Findings & Conditions of Approval 11/13/14. Provided Sample Covenant to Defer Public Improvements 2/19/15.	
80	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. Wayne Adams submitted a letter 1/6/14 requesting that the City determine the remaining permit considered abandoned.	BC- on hold pending planning process.	BCR-approved 5/13/13	
81	Lindsey	413 Shasta	1/14/15	B-30357	Demo / Reconstruct SFR.	Needs CDP.		RPS returned for correction per memo of 2/20/15	
82	Williams	429 Tulare	12/29/14	B-30346	Remodel & SFR Addition of 269sf			BCR returned for correction per memo of 1/16/15	
83	Wammack	505 Walnut	12/31/13	B-30076	New SFR: 2611 sf living, 489 sf garage, 190 sf decks and covered porch	CJ - needs CDP. Appealed. Building permit on hold pending appeal outcome.	BC-on hold pending Planning process.	BCR sidewalk deferral agreement	
84	Haeuser	501 Zanzibar	3/21/14	B-30133	SF Addition: 594 sf living and 340 sf decking	NC - Corrections sent 4/25. Corrections sent 12/18/14 WM.	BC-Returned for corrections 4/28/14.	RS: Comments provided 3/21/14	
85	Nucci	529 Zanzibar	12/9/14	B-30337	SF Addition	Planning corrections 12-11-14. WM.		Repair Lateral and install backflow prevention per memo of 2/3/15	
Projects & Permits with Final Action									
1	Frye	250 & 244 Shasta Street	6/17/14	CP0-213 Amendment	Administrative Amendment to CP0-213 (amendment to original 2006 Admin CDP for 250 Shasta)	Amendment to Administrative Coastal Permit CP0-213 to allow a north side yard setback of less than the required 5 feet at 244 Shasta. Including encroachment of garage into required side yard setback and allow home at 0 ft. setback where 2006 CDP included demolition in the project description. Correction letter sent 8-28-14. 2nd letter sent 9-18-14 regarding administrative permit modification for a non-conforming structure. Spoke with applicant 10-27. Resubmittal received 1-14-15. Reviewed building floor plans with building inspector. Project ready for administrative amendment to permit. 2-26-15. CJ.	BC- incomplete	BCR_ 7/8/13 cond appr. Complete frontage improvements required	



AGENDA NO: B-1

MEETING DATE: March 17, 2015

Staff Report

TO: Planning Commissioners

DATE: March 6, 2015

FROM: Whitney McIlvaine, Contract Planner

SUBJECT: Coastal Development and Conditional Use Permit (CP0-446 & UP0-406) to allow an addition to an existing nonconforming residential structure on a property in the Embarcadero bluff area at 219 Marina Street.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by adopting Planning Commission Resolution 07-15 which includes the Findings and Conditions of Approval for the project depicted on revised site development plans dated January 10, 2015.

APPLICANT/AGENT:

David and Sheryl Costa, Owners
Chris Parker, Architect

LEGAL DESCRIPTION/APN:

066-301-059

PROJECT DESCRIPTION:

Plans show a 1,759 square-foot addition to and existing 2,024 single-family structure.

A north and west facing 699 square-foot

roof deck is also proposed. The existing structure is considered nonconforming because it has a

15-foot front setback where 20 feet is required and a building height of 26.49 feet where bluff standards specify maximum heights of 17 and 25 feet, based on distance from the bluff edge.



PROJECT SETTING:

The project is located on a 6,023 square-foot lot on a bluff above and to the east of the Embarcadero. Most of the lot is fairly level but slopes steeply at the westerly edge. The property is zoned Duplex Residential with Planned Development and S-4 overlays, which require additional architectural review. The new structure will be clearly visible from the Embarcadero, especially since the property immediately below the project site is vacant.

Prepared By: WM

Department Review: SG

<u>Adjacent Zoning/Land Use</u>			
North:	R-2/PD/S-4 Residential	South	R-2/PD/S-4 and CVS/PD/S-4 Residential and Retail
East:	R-2/PD/S-4 Residential	West:	CVS/PD/S-4 Vacant (parking lot)

<u>Site Characteristics</u>	
Overall Site Area	6,023 Square Feet
Existing Use	Single Family Residential
Terrain	Nearly level to steeply sloping
Vegetation	Ornamental
Access	Marina Street

<u>General Plan, Zoning Ordinance & Local Coastal Plan Designations</u>	
General Plan/Coastal Plan Land Use Designation	Low Medium Density Residential Planned Development and Mixed Use Area "A"
Base Zone District	Duplex Residential (R-2)
Zoning Overlay District	Planned Development (PD)
Special Treatment Area	Special Design Criteria (S-4)
Coastal Zone	Located in the Coastal Zone within appeals jurisdiction
Bluff Property	Subject to Bluff Development Standards

<u>Zoning Ordinance Standards</u>		
	Standards	Proposed
Front-Yard Setback	20 feet	<i>Existing:</i> 15 feet <i>Addition:</i> 40 feet
Side-Yard Setback	10% of average lot width with 5 feet maximum and 3 feet minimum In this case, 5 feet	<i>Existing:</i> 10 feet on the west side & 23 feet on the east side <i>Addition:</i> 6 feet on the west side & 5 on the east
Rear-Yard Setback	5 feet	6 feet 6 inches
Lot Coverage	50% allowed	From 17% to 49%
Height	14 –17' within 50' of bluff edge 25' beyond 50' of bluff edge	<i>Existing:</i> 26.49 feet <i>Addition:</i> 17 and 25 feet
Parking	2 covered and enclosed spaces	2 covered and enclosed spaces

PROJECT ANALYSIS:

Background

City records indicate the existing house with a two-car garage was built in 1982. At that time the site was zoned R-4 (Multiple Residential), which allowed for a 15-foot minimum front setback and a maximum building height of 35 feet. However, the R-4 zoning did not allow for single family houses. The house was proposed and built as the first phase of a triplex. No further application was made for the second phase.

Permit Requirements

Title 17 of the Morro Bay Municipal Code (MBMC) establishes land use and zoning permitting requirements. The project at 219 Marina Street proposes an addition of 87% of the gross floor area to an existing single-family house on a bluff top property in the Coastal Commission appeal jurisdiction with a Planned Development (PD) overlay. This project requires Planning Commission approval of both a coastal development permit and a conditional use permit.

Projects within the Coastal Commission appeal jurisdiction require a regular coastal development permit for an addition of more than 10% of the gross floor area to an existing single-family house (MBMC Section 17.58.020).

Additions of more than 25% of floor area to a nonconforming structure require a conditional use permit (MBMC Section 17.56.160).

Development within the Planned Development overlay zone and requests to modify development standards on projects within a PD overlay zone require a conditional use permit (MBMC Section 17.40.030).

Development on bluff properties requires a conditional use permit (MBMC Section 17.45.030).

Land Use Designation and Zoning Overlays

Mixed Use Overlay: The site's Low/Medium density land use designation also has a Mixed Use Area "A" overlay. Land Use Element Policy LU-69 states that major developments involving new structures or additions of more than 50% of the existing total floor area or 2,000 square feet, whichever is greater, shall have priority for visitor serving uses. Existing uses are allowed to remain subject to that development standard. This project proposes an addition of less than 2,000 square feet so is allowed to remain a residential use.

Planned Development: The project site has a Planned Development (PD) overlay. This overlay is applied to parcels, which because of location, size, or public ownership warrant special review. The overlay is applied to several residential parcels in the southwest area of the City overlooking the Embarcadero. The PD overlay allows for modifications to certain zoning site development standards where the modification results in a better design or other public benefit. This flexibility could be applied to allow a height exception for the glass railings around the edge of the roof deck if the Planning Commission finds the glass railing results in a better design. (See *Height Limits* discussion under **Bluff Development Standards** below.)

S.4 Overlay: The S.4 Overlay is applied to maintain and enhance the visual quality of an area and requires special design review of architecture, lighting, landscaping and views.

Setbacks

The current R-2 zoning establishes the minimum front, side, and rear setbacks for the site, as noted in the *Zoning Ordinance Standards* table above. The addition will meet or exceed current requirements. The westerly side setback is also subject to bluff development standards.

Bluff Development Standards

Geologic Report: Chapter 17.45 of the Zoning Ordinance establishes bluff development standards and requires use permit approval for development of bluff properties. The project site is within the Embarcadero Bluff Area, which allows for development within the bluff buffer (typically a minimum of 20 feet from the bluff edge) and on the bluff face, subject to setback and/or construction recommendations in the required geologic report to ensure structural stability without altering bluff landforms or requiring protective devices such as extensive retaining walls.

Because the westerly side of the lot approximately follows the top of a bluff, a geologic report was required for development of this site.

The applicant submitted both a soils report and a geologic report, prepared by GeoSolutions. The geologic report notes that the bluff face is unstable and recommends three options for mitigation of the potential for slope instabilities affecting proposed development: helical piers, re-grading of the entire slope, and a greater setback from the westerly property line (approximately 22 feet). The applicants are proposing a westerly side setback of 6 feet from the property line and the use of helical piers. Planning condition #10 in the resolution requires the applicant to comply with all recommendations contained in the soils and engineering/geologic reports prepared for this project.

Height Limits: New development within 50 feet of the bluff edge is limited to a maximum height of 14 feet; however, for peaked roofs with a minimum pitch of 4 in 12 and other architectural features, a height of up to 17 feet may be permitted. The proposed glass railing at

the edge of the roof deck extends approximately 2 feet above the 14-foot height limit. “Other architectural features” is a term not specifically defined in the zoning ordinance. A similar height standard is called out in the S-2 Overlay, which specifically prohibits roof deck railings from exceeding the 14-foot height limit.

The Planned Development zoning allows for site development exceptions subject to Planning Commission approval. The purpose of the height limit is to minimize adverse visual impacts to public coastal views. In this case, public coastal views would not be affected by the glass railings. Planned development finding #1 and planning condition #13 in the resolution for approval support use of the glass panel railing as shown on the plans. If the Planning Commission does not support the height exception, those two items should be eliminated from the resolution.

Public Coastal Views: Development on bluff properties is also subject to visual analysis of potential impact on public coastal views. The addition and remodel is not likely to impact public coastal views any more than existing on-site and surrounding development. Please refer to the visual simulation prepared by the architect. (Exhibit C)

Architectural Design

The project will be an improvement over the appearance of the existing structure which is dated in terms of its design and in need of renovation. A color and material board submitted by the architect shows a dark gray standing seam metal roof, tan cement horizontal siding, gray fascia, new windows and white trim for both the existing structure and the new addition. Glass panels at railing height are proposed for the roof deck as discussed above.

Landscaping

Bluff development standards state that landscaping shall be designed to minimize ecological and geologic disturbance and that only plant materials recognized for drought tolerance and erosion control shall be authorized on bluff s and bluff tops.

The conceptual landscape plan indicates a planting area of 1,357 square feet or 23% of the lot area. The remaining lot area is either impervious or covered in permeable pavers. An existing Avocado tree in the northeasterly corner of the site is proposed to be removed. A replacement Avocado is proposed for the one required street tree. Plants shown are generally drought tolerant, non-native species.

Staff recommends replacing 4 feet of the proposed hardscape area along the westerly side of the site with additional landscaping using native, drought tolerant plants to provide erosion control and some screening. In addition to low growing shrubs and groundcover, the landscape plan

submitted with plans for a building permit should include some larger native shrubs to soften the appearance of the structure and enhance views of the project from the Embarcadero. (See planning condition #12 in the resolution.)

Deed Restriction

A wetbar is proposed in the first floor lounge. Zoning Ordinance Section 17.48.325 prohibits sinks, except in bathrooms, kitchens, garages or laundry rooms unless a deed restriction is recorded prohibiting the sink or wet bar from being converted into a sink for a second residential unit. The requirement for a deed restriction is included in the resolution as recommended Planning condition #7.

Additions to Nonconforming Structures

The Planned Development Overlay and the Bluff Development Standards require a conditional use permit for development on this site. Also, Zoning Ordinance subsection 17.56.160B requires approval of a conditional use permit for projects proposing additions in excess of 25% of the existing floor to a nonconforming structure. The project proposes to add 1,759 square feet to an existing 2,024 square-foot structure, an increase of approximately 87%. As noted above, the structure is nonconforming with regard to the required front setback and building height. Approval of the use permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed addition is consistent with zoning ordinance development standards.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes an addition to a single-family dwelling, which is an allowed use in the R-2 zone. There is existing residential development to the north, east, and south of the project site.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary in order for the existing structure to meet required current height and setback standards.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 1. That exemption applies to construction of a limited number of new structures in an urbanized area.

PUBLIC NOTICE:

Notice of a public hearing on this item was published in the San Luis Obispo Tribune newspaper on March 6, 2015, and all property owners of record and occupants within 300 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

CONCLUSION:

The project, as proposed, is consistent with all required development standards of the Zoning Ordinance and all applicable provisions of the General Plan and Local Coastal Plan with incorporation of the recommended conditions of approval.

Staff recommends that the Planning Commission conditionally approve the requested Coastal Development Permit (CP0-446) and Conditional Use Permit (UP0-406) for the project at 219 Marina Street as shown on the project plans dated January 10, 2015 by adopting Planning Commission Resolution 07-15.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 07-15
- Exhibit B – Street View of Existing Residence
- Exhibit C – Street View of Proposed Residence
- Exhibit D – Color Board
- Exhibit E – Plan Reductions dated January 10, 2015

RESOLUTION NO. PC 07-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING COASTAL DEVELOPMENT PERMIT (CP0-446) AND CONDITIONAL
USE PERMIT (UP0-406) TO ALLOW AN ADDITION EXCEEDING 25% OF THE
EXISTING FLOOR AREA TO A NONCONFORMING RESIDENTIAL STRUCTURE ON
A BLUFF PROPERTY IN THE COASTAL APPEAL JURISDICTION
AT 219 MARINA STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on March 17, 2015, for the purpose of considering Coastal Development Permit CP0-446 and Conditional Use Permit UP0-406 for a proposed addition to a nonconforming single-family home at 219 Marina Street, on a bluff property in the Coastal Commission appeal jurisdiction; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

- 1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 1, for construction of a limited number of new structures in an urbanized area.

Coastal Development Finding

- 1. The project is consistent with applicable provisions of the Local Coastal Program for additions exceeding 10% of the gross floor area of the existing structure and for bluff development in the Embarcadero Area.

Conditional Use Permit Findings

- 1. The project is consistent with the General Plan and Local Coastal Program regarding the location of residential uses and development of bluff property in the Embarcadero Area.
- 2. The proposed additions are in conformance with applicable provisions of the Title 17 of the Morro Bay Municipal Code.

3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes additions to a single-family dwelling, which is an allowed use in the R-2 zone.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary in order for the existing structure to meet current required height and setback standards.

Planned Development Finding

1. Pursuant to Zoning Ordinance subsection 17.40.020(D), the Planned Development Overlay allows for modification of certain development standards. Granting an exception to allow a maximum height of 16 feet for the glass paneled roof deck railing where 14 feet is otherwise the maximum height allowed does not conflict with any specific design criteria of the General Plan or the Coastal Land Use Plan regarding coastal view protection.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-446 and Conditional Use Permit UPO-406 for property located at 219 Marina Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated March 6, 2015, for the project at 219 Marina Street depicted on plans dated **January 10, 2015**, as part of Coastal Development Permit CP0-446 and Conditional Use Permit UPO-391, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Manager"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Manager. Any changes to this approved permit determined, by the Manager, not to be minor

shall require the filing of an application for a permit amendment subject to Planning Commission review.

4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Manager or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Manager, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of

public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.

3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Manager.
6. Lot Coverage: The proposed project will result in a lot coverage of 49% where 50% is the maximum allowed coverage. No accessory structures shall be allowed.
7. Deed Restriction: MBMC section 17.48.325 prohibits sinks except in bathrooms, kitchens, garages, or rooms clearly used only for laundry purposes unless a deed restriction is recorded to run with the property, prohibiting the sink in the first floor lounge area from being converted into a sink for a residential unit. Plans submitted for a building permit shall be revised to delete the sink and associated plumbing or a deed restriction shall be recorded prior to issuance of a Building Permit.
8. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Manager. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
9. Building Height Verification: Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Manager certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor shall submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and complies with the maximum height requirements of 14, 17, and 25 feet maximum above the average natural grade of the building footprint.
10. Soils and Engineering/Geologic Reports: The applicant shall comply with all recommendations contained in the Soils Report and Engineering/Geologic Report prepared by GeoSolutions and dated December 19, 2014 and January 9, 2015 respectively.

11. Undergrounding: Prior to final occupancy clearance, the applicant shall install all utility distribution and service lines underground.
12. Landscaping: Reduce the amount of hardscape area along the westerly side of the site and provide additional landscaping using native, drought tolerant plants for erosion control and screening. In addition to lower growing shrubs and groundcover, the landscape plan submitted with plans for a building permit shall include a selection of larger native shrubs to soften the appearance of the structure and enhance views of the project from the Embarcadero to the satisfaction of the Community Development Manager.
13. Glass Panel Railing Height: The glass panel railings at the edge of the roof deck shall not exceed 16 feet in height.

PUBLIC WORKS CONDITIONS

1. Indicate on the plans the installation of a driveway approach which is ADA compliant.
2. Indicate on the plans the location of the sewer lateral and if the lateral is proposed or existing (it appears from our records that the existing lateral is located towards the rear of the property). If a new lateral is to be used, indicate that the existing lateral will be abandoned. If the existing sewer lateral is going to be used the following must be completed prior to building permit issuance:
 - a. Conduct a video inspection of the conditions of existing sewer lateral prior to building permit issuance. Submit a DVD to City Public Works Department. Repair or replace as required to prohibit inflow/infiltration.
3. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.07.030). Indicate on the plans.
4. Provide a drainage plan for the site demonstrating that it does not allow concentrated flow of storm water toward the bluff and complies with the drainage requirements of the Bluff Development Standards (MBMC 17.45.040).
5. Provide a standard erosion and sediment control plan (MBMC 12.04 & 14.48). The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. This Plan shall be provided with the Building Permit application.
6. A special encroachment permit is required for any non-standard improvements in the Public Right of Way, such as a retaining wall. The improvements are subject to the Public Works Director's approval.

Add the following Notes to the Plans:

7. No work within nor any use of any public rights of way shall occur without an encroachment permit. A standard encroachment permit shall be required for the proposed driveway replacement and a special encroachment permit for the retaining wall. Encroachment permits are available at the City's Public Services Office located at 955 Shasta Ave. The Encroachment permit(s) shall be issued concurrently with the building permit.
8. Any damage to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 17th day of March, 2015 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Chairperson Robert Tefft

ATTEST

Scot Graham, Community Development Manager

The foregoing resolution was passed and adopted this 17th day of March, 2015.

EXHIBIT B

COSTA RESIDENCE
219 MARINA, MORRO BAY

EXISTING RESIDENCE

C.P. PARKER
ARCHITECT



EXHIBIT C

COSTA RESIDENCE
219 MARINA, MORRO BAY

PROPOSED RESIDENCE

C.P. PARKER
ARCHITECT

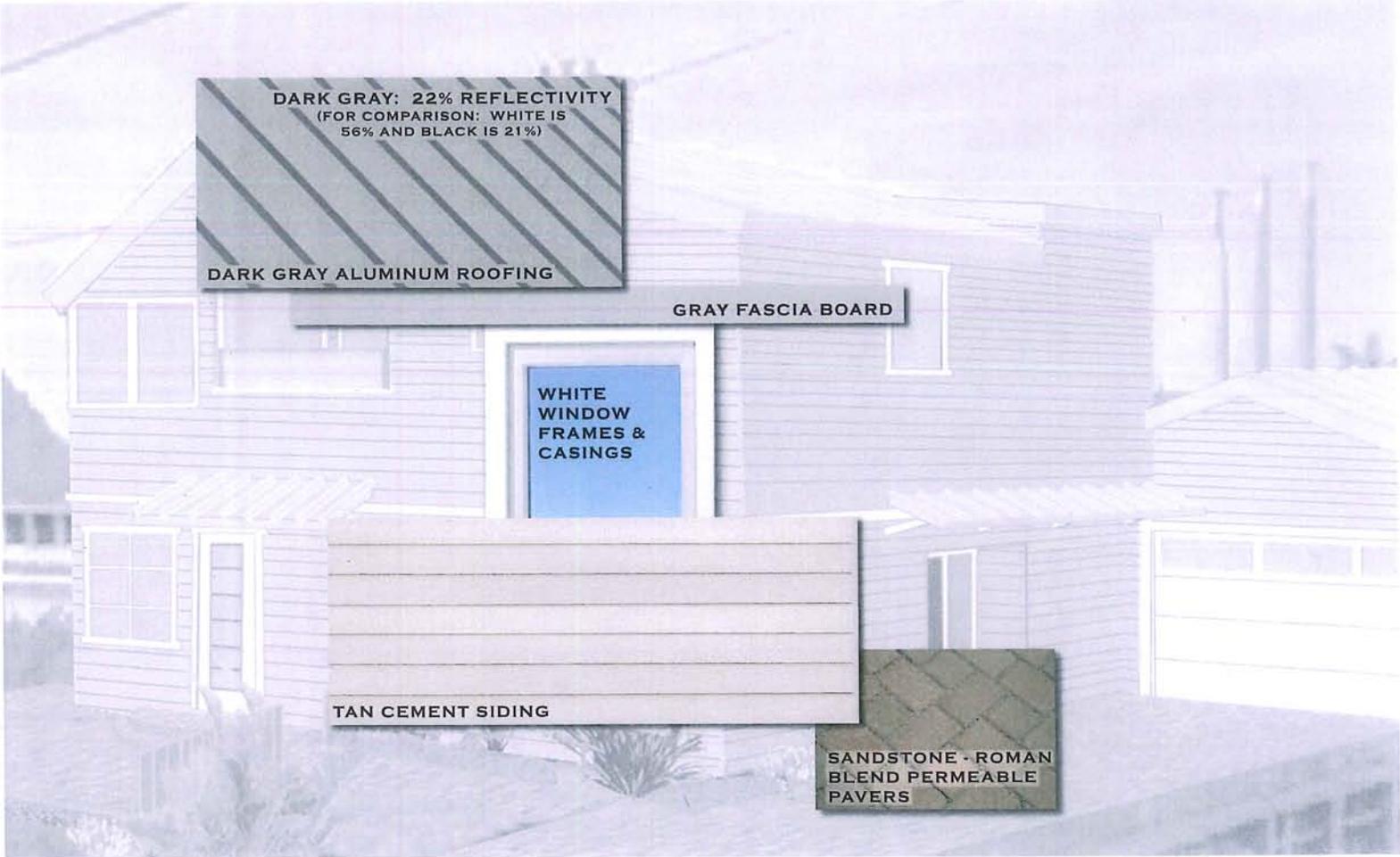


EXHIBIT D

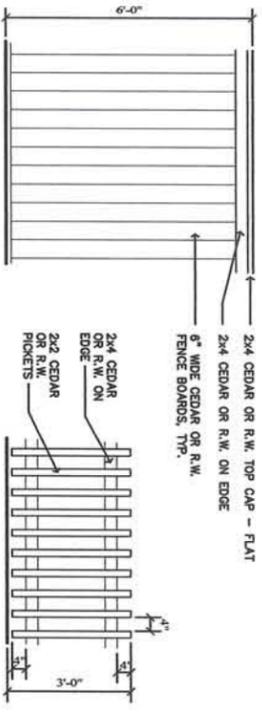
**COSTA RESIDENCE
219 MARINA, MORRO BAY**

COLOR BOARD

**C.P. PARKER
ARCHITECT**



NEW FENCE DETAILING



VICINITY MAP



APPLICABLE CODES

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA ENERGY CODE
- CALIFORNIA GREEN BUILDING CODE
- 2013 CALIFORNIA FIRE CODE
- CALIFORNIA REFERENCE STANDARDS CODE

FOUNDATION DESIGN

PER THE GEOLOGICAL STUDY PERFORMED BY GEOSOLUTIONS, INC., DATED JAN. 9, 2015, THE FOUNDATION WILL BE SLAB ON GRADE WITH THE INCORPORATION OF HELICAL PIERS.

PROJECT INFORMATION

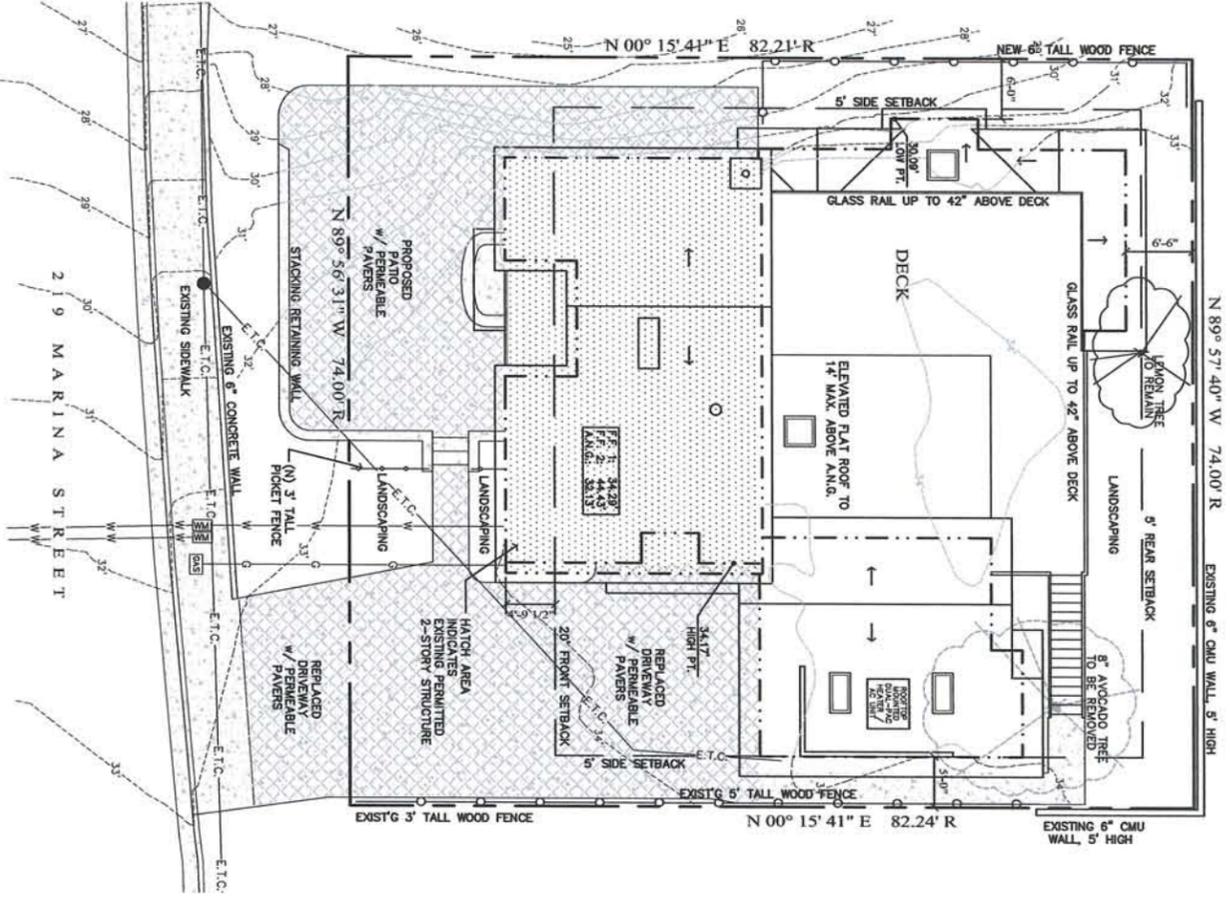
APN:	066-301-039
ZONING:	R-2 / RD / S-4
LOT SIZE:	6,023 SQ. FT.
EXISTING AREAS:	
2-STORY RESIDENCE:	1,465 SQ. FT.
ATTACHED GARAGE:	559 SQ. FT.
PROPOSED PROJECT AREAS:	
LOWER FLOOR CONDITIONED SPACE:	2,275 SQ. FT.
UPPER FLOOR CONDITIONED SPACE:	945 SQ. FT.
TOTAL CONDITIONED SPACE:	3,220 SQ. FT.
ATTACHED GARAGE SPACE:	563 SQ. FT.
SECOND FLOOR OPEN DECK SPACE:	699 SQ. FT.
ALLOWABLE BLDG. LOT COVERAGE:	50%
PROPOSED BLDG. LOT COVERAGE: (2,960 SQ. FT.)	49%
(RESIDENCE, DECK STAIR, COVERED ENTRY AREA, GARAGE)	

IMPERVIOUS AREA CALC'S.

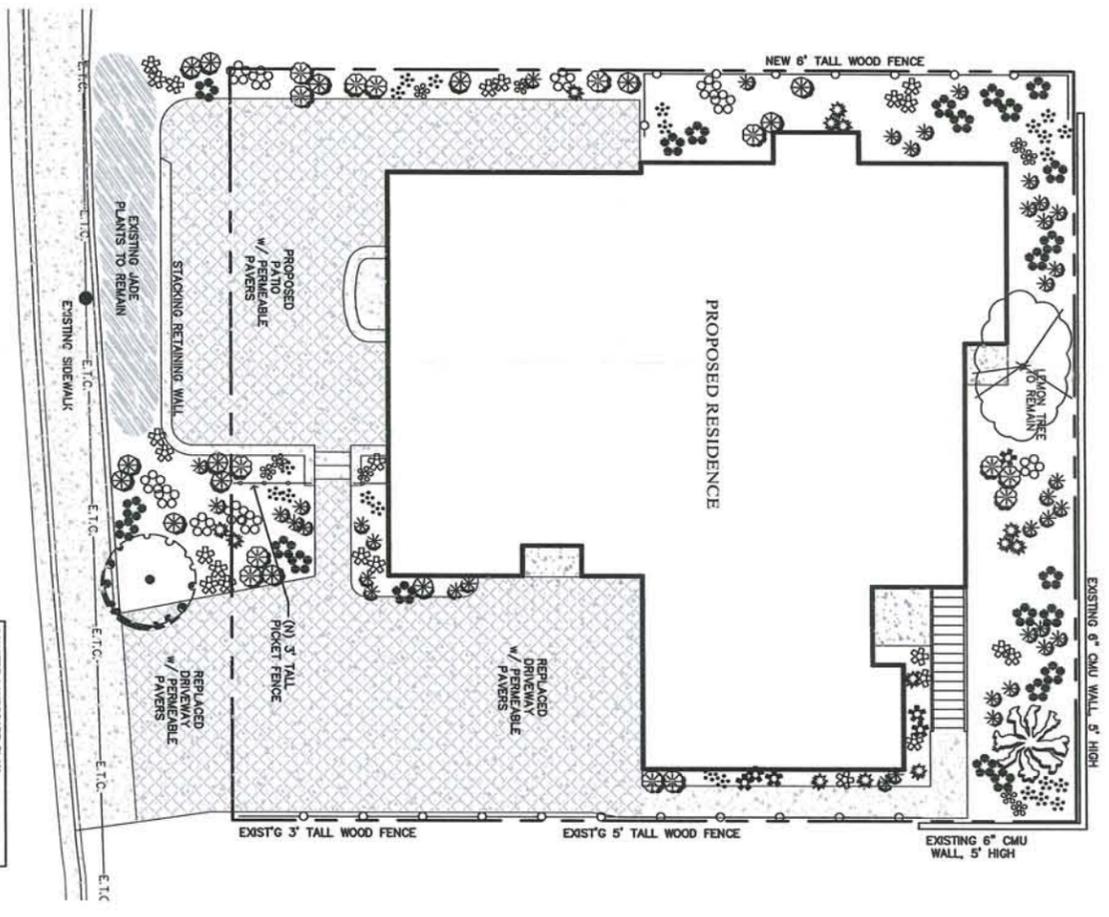
EXISTING IMPERVIOUS AREA:	2,004 SQ. FT.
HOUSE:	1,000 SQ. FT.
ASPHALT DRIVEWAY:	927 SQ. FT.
CONCRETE WALKWAY:	77 SQ. FT.
THE EXISTING IMPERVIOUS AREA INCLUDES THE HOUSE, DRIVEWAY AND WALKWAYS. THE EXISTING DRIVEWAYS AND WALKWAYS WILL BE REPLACED WITH PERVIOUS/PENETRABLE PAVERS TO ALLOW WATER FILTRATION THROUGH THE SURFACES.	
PROPOSED ADDITIONAL IMPERVIOUS AREA:	2,151 SQ. FT.
HOUSE/ROOFTOP:	1,903 SQ. FT.
PATIO WALLS & STOOP:	99 SQ. FT.
CONCRETE WALKWAY:	149 SQ. FT.
OVERALL IMPERVIOUS AREA TOTAL:	3,151 SQ. FT.
PERCENTAGE OF LOT SIZE:	52%

LANDSCAPE PLAN LEGEND

TREES	DESCRIPTION	SIZE
	CITY REQUIRED STREET TREE FRENCH AMERICAN (AVOCADO)	5 GAL.
	HETROKOLETES ABSTRACTA (TORN)	5 GAL.
SHRUBS	DESCRIPTION	SIZE
	SEDUM CAUTICOLA	1 GAL.
	ESCHERICHIA BLUE HORIZON	1 GAL.
	GARGY FLACCA BLUE SEDER	1 GAL.
	PENCIL CACTUS	1 GAL.
	CAPE THATCHING REED	1 GAL.
	KNIPHOFIA EAST CAPE FOKER	1 GAL.
	SEAFOAM STAVICES	1 GAL.
	SPRINGBUI SAPPHIRE BLUE	1 GAL.
	BLUE RUSH	1 GAL.
	LOROPETALUM CHINENSE	1 GAL.



PROPOSE SITE PLAN



PROPOSED CONCEPT LANDSCAPE PLAN

CONCEPT LANDSCAPE PLAN TO INDICATE PLANNING AREAS AND CONCEPT OF PLANTING AND DROUGHT TOLERANT SPECIES

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850 QUINTANA ROAD, #200
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(805) 775-8700



RECEIVED
FEB 02 2015

City of Morro Bay
Public Services Department

COSTA RESIDENCE

219 MARINA MORRO BAY, CALIF. 93942

DESIGN DEVELOPMENT

Project No.	12-108
Drawn By	CPP
Draw Date	07/14/14
Updated	01/10/15
Scale	AS NOTED
REVISIONS	

PROJECT INFO SITE PLAN

SHEET NO.

A1.1

EXHIBIT E

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CONSULTANTS

PROJECT
COSTA RESIDENCE

219 MARINA MORRO BAY, CALIF. 93442

DRAWING PHASE
DESIGN DEVELOPMENT

Project No.	12-108
Drawn By	CPP
Dwg. Date	07/14/14
Updated	01/10/15
Scale	AS NOTED

REVISIONS

SHEET TITLE
EXISTING SITE & FLOOR PLANS

SHEET NO.

A1.2

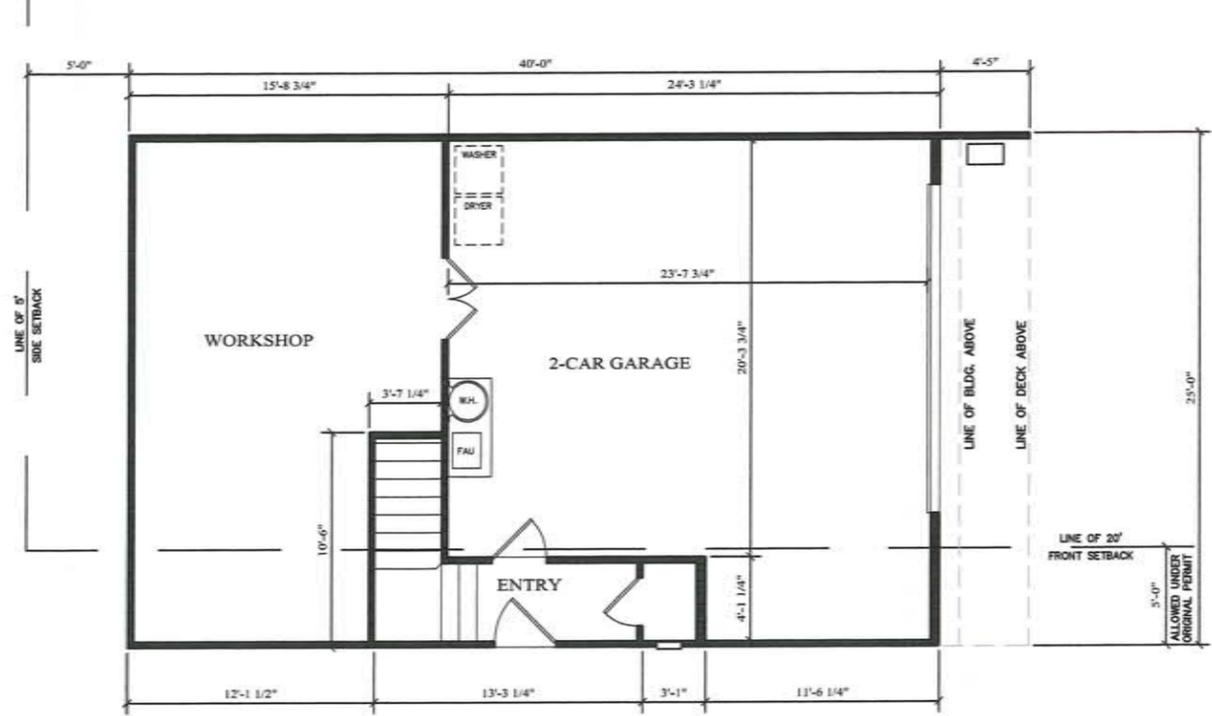
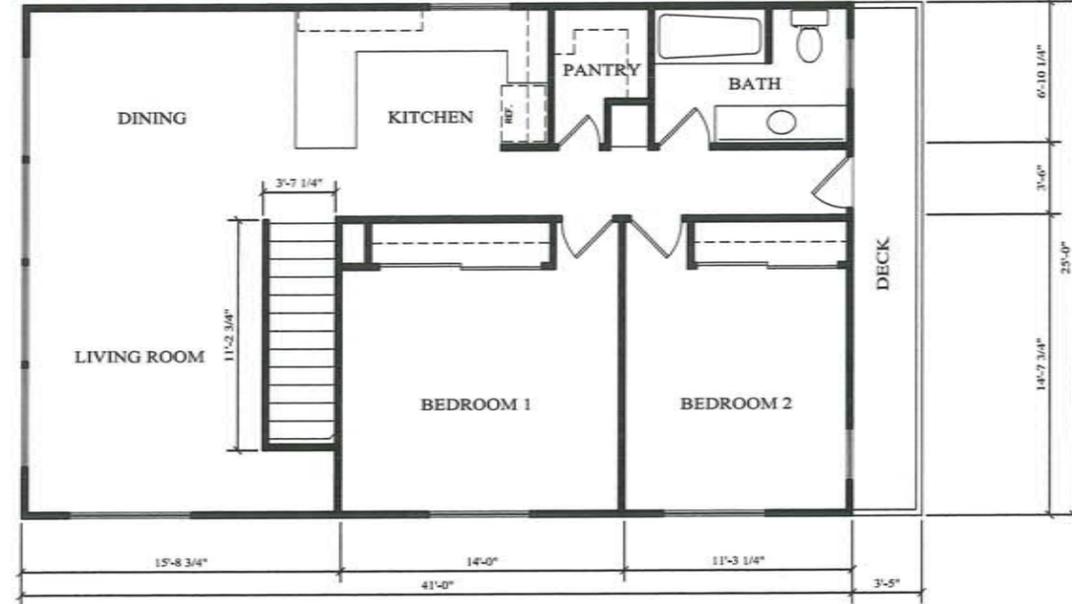
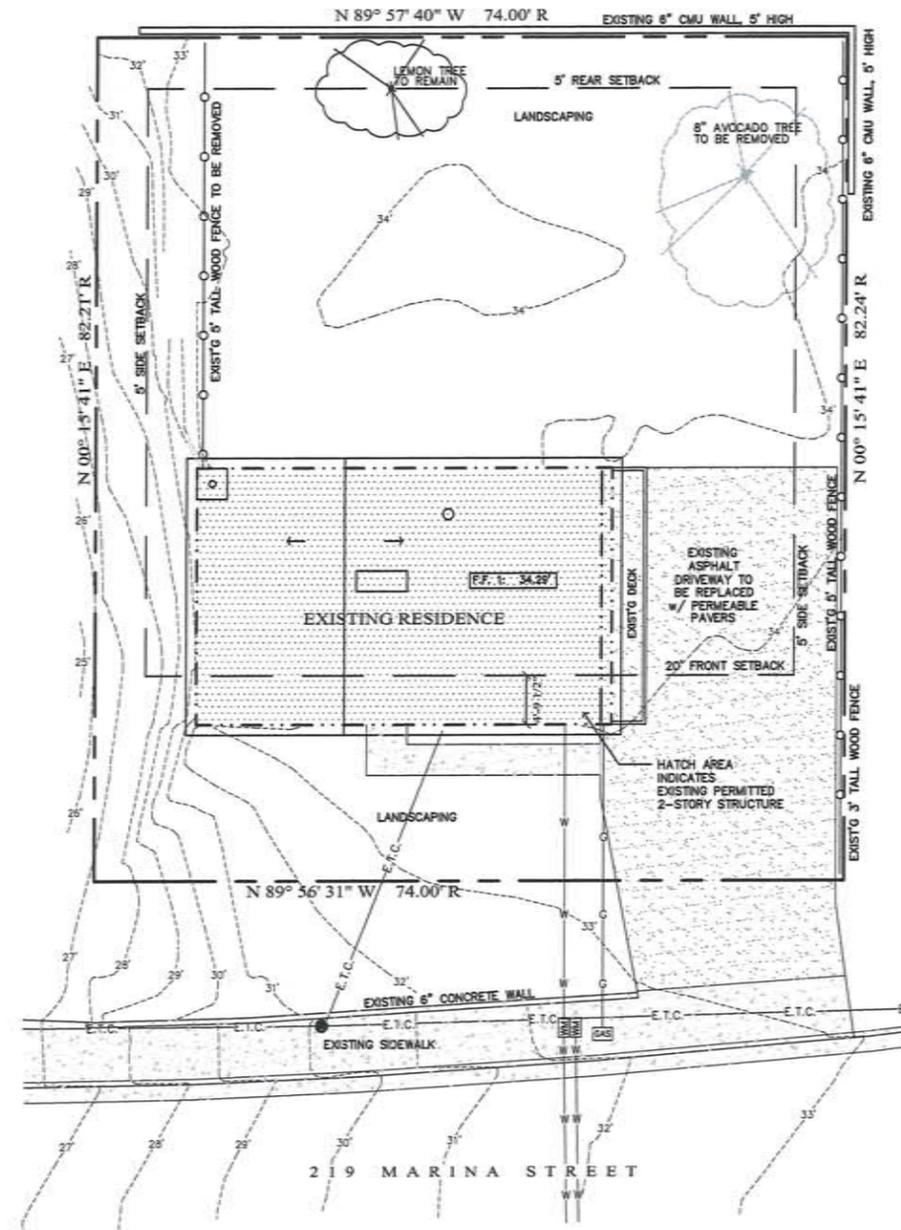


EXHIBIT E

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STAMPS



CONSULTANTS

PROJECT

**COSTA
 RESIDENCE**

219 MARINA
 MORRO BAY, CALIF.
 93442

DRAWING PHASE

**DESIGN
 DEVELOPMENT**

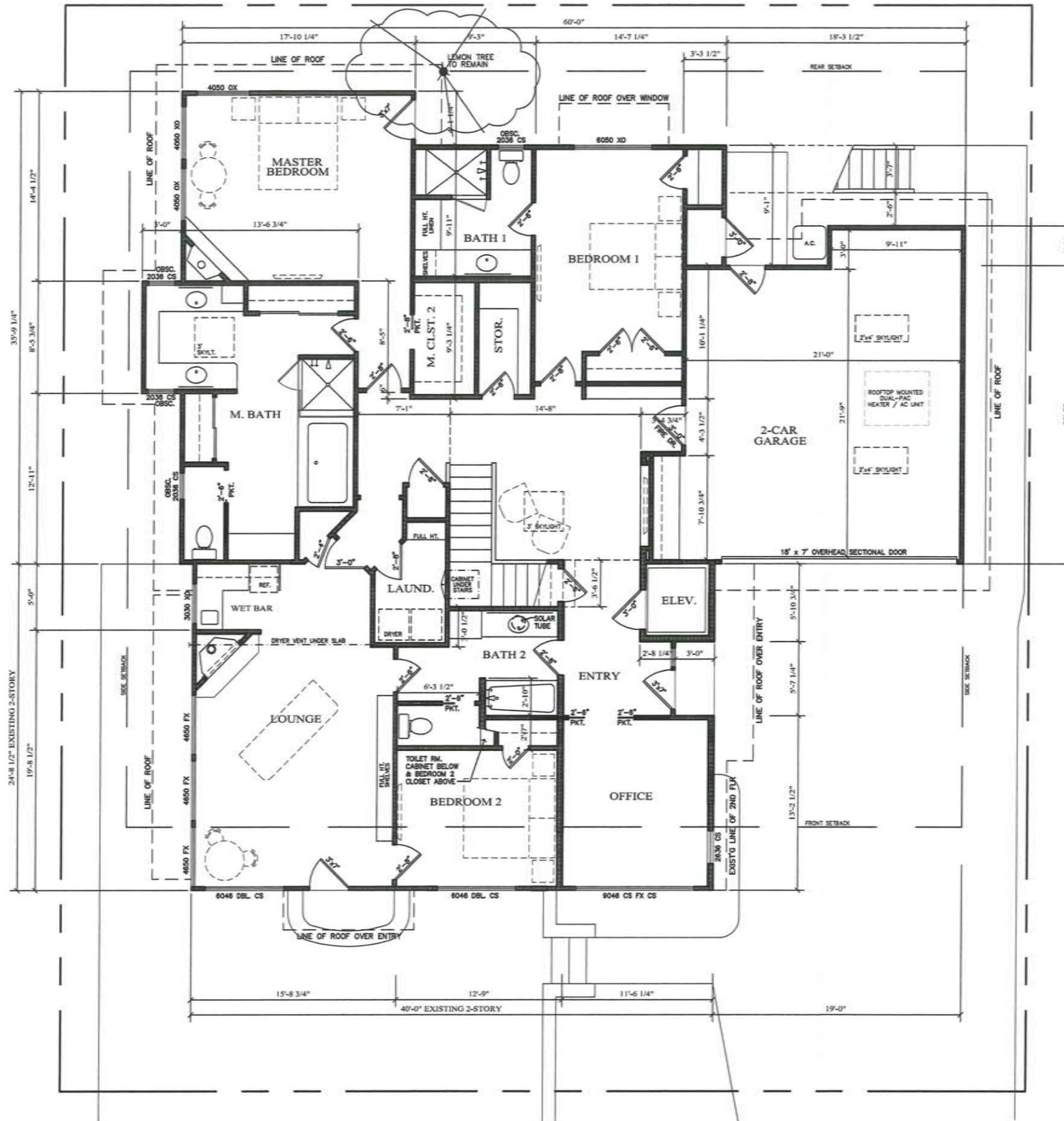
Project No.	12-108
Drawn By	CPP
Dwg. Date	07/14/14
Updated	01/10/15
Scale	AS NOTED

REVISIONS

SHEET TITLE
**LOWER
 FLOOR PLAN**

SHEET NO.

A2.1



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXHIBIT E

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STAMPS



CONSULTANTS

PROJECT

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RESIDENCE

219 MARINA
MORRO BAY, CALIF.
93442

DRAWING PHASE

DESIGN
DEVELOPMENT

Project No.	12-108
Drawn By	CPP
Dwg. Date	07/14/14
Updated	01/10/15
Scale	AS NOTED

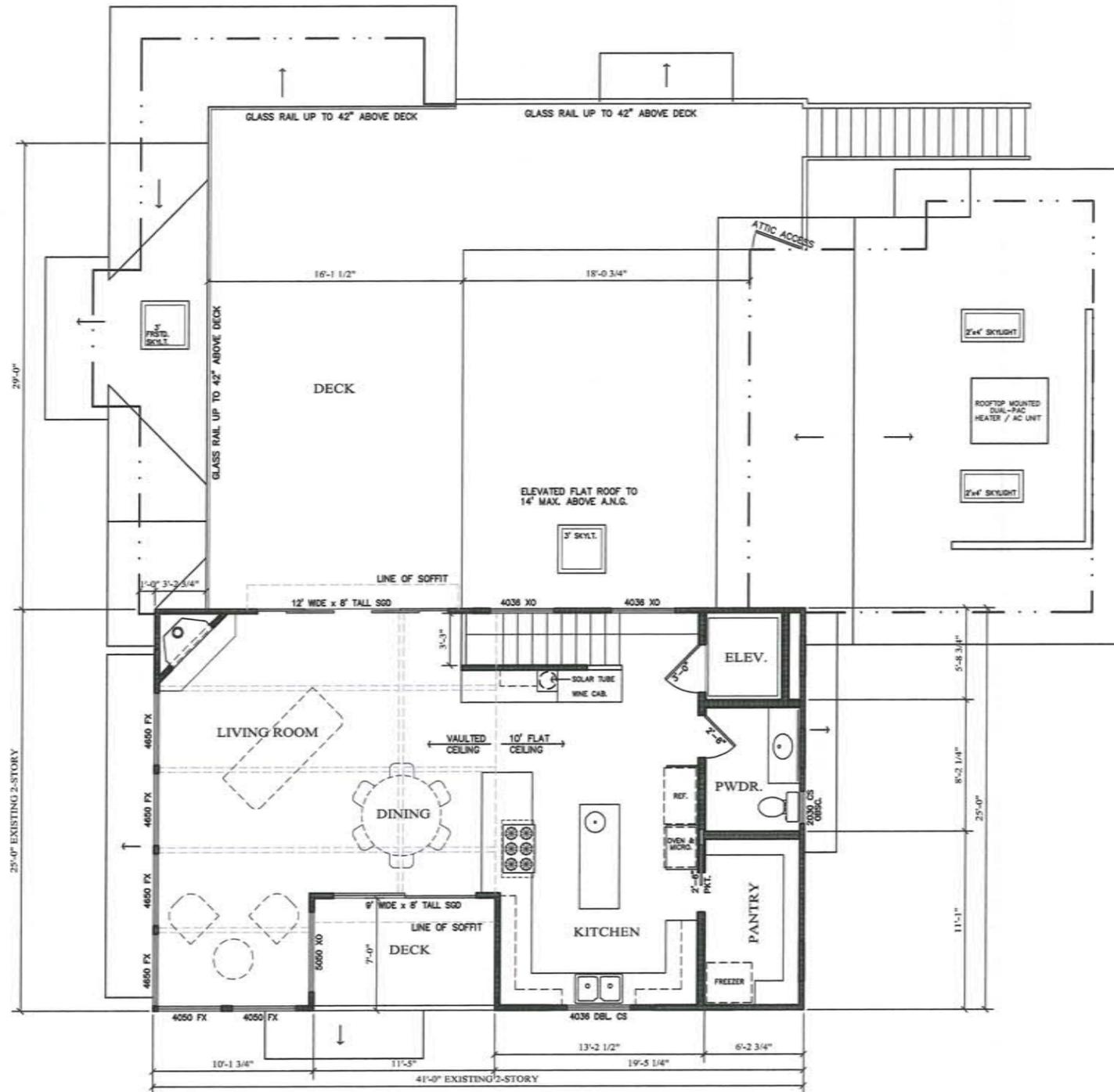
REVISIONS

SHEET TITLE

UPPER
FLOOR PLAN

SHEET NO.

A2.2



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

