



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, June 16, 2015
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Richard Sadowski

Vice-Chair Katherine Sorenson
Commissioner Michael Lucas

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Approval of minutes from the Planning Commission meeting of April 7, 2015 and April 21, 2015.

Staff Recommendation: Approve minutes as submitted.

A-2 Current and Advanced Planning Processing List

Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: UP0-409

Site Location: 2455 Greenwood

Proposal: Conditional Use Permit approval for an addition exceeding 25% of existing floor area for a nonconforming single-family residence. The applicant proposes to add 1,112 sq. ft. of habitable floor area to an existing 1,039 sq. ft. residence, add 65 sq. ft. to the existing garage, and add 80 sq. ft. of deck. Specifically, the project will include 2,151 sq. ft. of habitable floor area, a 465 sq. ft. garage, and 200 sq. ft. of decking. The project is located within the R.1/S.2 zoning district and outside of the Coastal Commission Appeals Jurisdiction.

CEQA Determination: The project meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3. The exemption applies to new single-family residences in residential zones.

Staff Recommendation: Continue to the July 7, 2015 Planning Commission meeting

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

C. UNFINISHED BUSINESS

C-1 Interpretation of View Corridor Requirements in the Waterfront Master Plan

Staff Recommendation: Adopt PC Resolution 22-15

D. OLD BUSINESS

D-1 Design Guidelines Review.

Staff contact: Scot Graham, Community Development Manager

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on July 7, 2015 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$250 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

on a 2,400 square-foot lot in the R-1/S.1 zone. The existing 1,112+/- square-foot house and 200+/- carport are nonconforming with regard to parking, front, rear, and west side setbacks, and lot coverage requirements. The applicants are proposing a 655-square-foot, second-story addition, a remodel of the existing ground level structure, and construction of a new replacement carport. A Conditional Use Permit is requested to allow an addition exceeding 25% of the existing floor area of a nonconforming structure. A Parking Exception is requested to allow a one-car carport and a second open tandem parking space where two covered parking spaces are otherwise required. A Variance is requested to allow construction of the carport in the west side setback and reconstruction of the existing house in the front setback. The project site is located outside the appeal jurisdiction of the California Coastal Commission.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Conditionally approve.

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

Commissioner Sadowski recused himself as the proposed project is close to his residence.

<https://youtu.be/NW-SnblbdCw>

McIlvaine presented the staff report.

Chairperson Tefft opened Public Comment Period.

<https://youtu.be/NW-SnblbdCw?t=24m11s>

Chairperson Tefft closed Public Comment Period.

<https://youtu.be/NW-SnblbdCw?t=29m51s>

MOTION: Commissioner Sorenson moved to approve PC Resolution 08-14 with the amended condition the space be left open for parking free of encumbrances' for additional parking. If the applicant would like to modify the home to accommodate additional parking, the Planning Commission will review. This approval will include PC Resolution 08-15. Commissioner Lucas seconded the motion and the motion passed unanimously (4-0).

<https://youtu.be/NW-SnblbdCw?t=54m15s>

B-2 Case No.: CP0-442 and UP0-381

Site Location: 301 Little Morro Creek Road

Proposal: Coastal Development and Conditional Use Permit to allow a BMX bike park on vacant City-owned property near the intersection of Little Morro Creek, Radcliffe and Main Streets. BMX park to include installation of multiple bike trails and wooden skills features for riders of varying abilities.

CEQA Determination: Categorically Exempt, Section 15304 Class 4

Staff Recommendation: Conditionally Approve

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

<https://youtu.be/NW-SnblbdCw?t=56m7s>

Jacinth presented the staff report.

Chairperson Tefft opened Public comment period.

<https://youtu.be/NW-SnblbdCw?t=1h28m49s>

Chairperson Tefft closed Public Comment Period.

<https://youtu.be/NW-SnblbdCw?t=1h57m59s>

MOTION: Chairperson Tefft moved to adopt Resolution PC 09-15 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated January 14, 2015. Vice-Chairperson Luhr seconded the motion. Motion passed unanimously. (5-0)

B-3 Case No.: CP0-450 Appeal

Site Location: 2740 Elm Street

Proposal: Appeal of Director denial of Administrative Coastal Development Permit. Applicant requests the demolition of one of two existing dwelling units on site and the construction of a new 2,031 square-foot single-family residence with a five foot garage entry setback, where 15 feet is required, at the rear of a street to street lot located in the R-1/S.2 zone. Specifically, the project is 2,782 square feet and includes a 1,523 square-foot single-family residence with a 509 square-foot garage and a 750 square-foot secondary dwelling unit.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Deny the appeal and uphold the Director's denial of the Project.

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

Gargiulo presented the staff report.

<https://youtu.be/NW-SnblbdCw?t=2h48m57s>

Chairperson Tefft opened Public Comment Period.

<https://youtu.be/NW-SnblbdCw?t=2h56m22s>

Chairperson Tefft closed Public Comment Period.

<https://youtu.be/NW-SnblbdCw?t=3h1m16s>

MOTION: Vice-Chairperson Luhr moved to adopt Resolution PC 10-15 to deny the appeal. Commissioner Lucas seconded the motion. Motion passed unanimously. (5-0)

<https://youtu.be/NW-SnblbdCw?t=3h6m10s>

B-4 Case No.: CP0-448 Appeal

Site Location: 845 Ridgeway

Proposal: Appeal of Director approval of an Administrative Coastal Development Permit for the demolition of an existing single-family residence and the subsequent construction of a 3,216 square feet single-family residence at 845 Ridgeway. Specifically, the project includes 2,420 square feet of habitable floor area with a 766 square-foot attached garage, a 30 square-foot front porch, and a 90 square-foot back porch in the R-1 zone.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Deny the appeal and uphold the Director's approval of the project

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

<https://youtu.be/NW-SnblbdCw?t=3h6m51s>

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –APRIL 7, 2015

Gargiulo presented the staff report.

Chairperson Tefft opened Public Comment Period.

<https://youtu.be/NW-SnblbdCw?t=3h17m54s>

Chairperson Tefft closed Public Comment Period.

<https://youtu.be/NW-SnblbdCw?t=4h18m18s>

MOTION: Vice-Chairperson Luhr moved to continue the matter on the Planning Commission Meeting on May 5, 2015. The Planning Commission directed staff to work with the applicant and the appellant. Commissioner Lucas seconded the motion and the motion passed unanimously (5-0).

<https://youtu.be/NW-SnblbdCw?t=4h56m>

C. UNFINISHED BUSINESS - None

D. NEW BUSINESS – NONE

E. PLANNING COMMISSIONER COMMENTS

<https://youtu.be/NW-SnblbdCw?t=4h57m11s>

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

<https://youtu.be/NW-SnblbdCw?t=4h57m27s>

G. ADJOURNMENT

The meeting adjourned at 11:08 p.m. to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on April 21, 2015, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary

AGENDA ITEM: _____

DATE: April 21, 2015

ACTION: _____

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – APRIL 21, 2015
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Robert Tefft Katherine Sorenson Gerald Luhr Richard Sadowski Michael Lucas	Chairperson Vice Chairperson Commissioner Commissioner Commissioner
STAFF:	Scot Graham Joan Gargiulo Cindy Jacinth	Community Development Manager Contract Planner Associate Planner

ESTABLISH QUORUM AND CALL TO ORDER

MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE

PLANNING COMMISSIONER ANNOUNCEMENTS

Commissioner Sadowski announced there will be a Kick-A-Thon sponsored by the American Karate School on May 16, 2015, 10 a.m. at Coleman Park (by the Rock).

https://youtu.be/vnX3z2_g1Ck?t=2m36s

PUBLIC COMMENTS

Chairperson Tefft opened Public Comment period.

https://youtu.be/vnX3z2_g1Ck

Chairperson Tefft closed Public Comment period.

https://youtu.be/vnX3z2_g1Ck?t=3m52s

PRESENTATIONS – NONE

A. CONSENT CALENDAR

https://youtu.be/vnX3z2_g1Ck?t=3m59s

A-1 Approval of minutes from the Planning Commission meeting of February 3, 2015 and February 17, 2015.

Staff Recommendation: Approve minutes as submitted.

https://youtu.be/vnX3z2_g1Ck?t=4m10s

Commissioner Sorenson stated on the February 17th meeting minutes, the Recording Secretary should be changed from Livick to Graham.

Graham stated Livick should also be noted in the February 3rd meeting.

Commissioner Lucas clarified his statements made on the February 3rd & February 17th meeting minutes.

A-2 Current and Advanced Planning Processing List

Staff Recommendation: Receive and file.

MOTION: Commissioner Lucas moved to approve the Consent Calendar with corrections and Current and Advanced Planning Processing List. Commissioner Sorenson seconded the motion and the motion passed unanimously (5-0).

https://youtu.be/vnX3z2_g1Ck?t=7m12s

B. PUBLIC HEARINGS

https://youtu.be/vnX3z2_g1Ck?t=7m29s

B-1 B-1 Case No.: UP0-407 and AD0-097

Site Location: 966 Pecho

Proposal: An application was filed on February 24, 2015 for a Conditional Use Permit and Parking Exception at 966 Pecho. The applicant proposes to add a 575 square-foot single-story addition to an existing 958 square-foot nonconforming single-family residence with an existing 291 square-foot one-car garage. A Parking Exception to allow for tandem parking in the driveway is also being requested. The project is located within the R-1 residential zone and outside of the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15301, Class 1

Staff Recommendation: Conditionally approve.

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

Commissioner Sorenson recused herself because she lives near the project.

https://youtu.be/vnX3z2_g1Ck?t=7m50s

Gargiulo presented staff report.

Chairperson Tefft opened Public comment period.

https://youtu.be/vnX3z2_g1Ck?t=19m54s

Chairperson Tefft closed Public comment period.

https://youtu.be/vnX3z2_g1Ck?t=20m40s

MOTION: Commissioner Sadowski moved to approve Resolution PC 12-15 with added condition to have any additions be brought to the Planning Commission for review, specifically noting the provision of conforming parking. Commissioner Lucas seconded the motion and the motion passed unanimously (4-0).

https://youtu.be/vnX3z2_g1Ck?t=24m25s

B-2 Case No.: CP0-459 and UP0-401

Site Location: 361 Sea Shell Cove

Proposal: Coastal Development Permit and Conditional Use Permit for new construction of a single family residence on lot 4 of the Sea Shell Estates subdivision (Tract 2870) located off Theresa Drive. Proposed home is 2,664sf with 616sf garage with 320sq of decking. The project is located in a R-A zone with Planned Development (PD) overlay. A portion of this project is located within the Coastal Appeals Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Conditionally approve.
Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577
https://youtu.be/vnX3z2_g1Ck?t=26m16s

Jacinth presented the staff report.

Chairperson Tefft opened Public comment period.
https://youtu.be/vnX3z2_g1Ck?t=46m37s

Chairperson Tefft closed Public comment period.
https://youtu.be/vnX3z2_g1Ck

MOTION: Commissioner Luhr moved to continue the item to a date to be determined. Commissioner Lucas seconded the motion. Motion passed unanimously. (5-0)
https://youtu.be/vnX3z2_g1Ck?t=1h49m54s

Commissioners decided to table the discussion for Resolution PC 14-15.
https://youtu.be/vnX3z2_g1Ck?t=1h54m35s

C. UNFINISHED BUSINESS – NONE

D. NEW BUSINESS – NONE

E. PLANNING COMMISSIONER COMMENTS

https://youtu.be/vnX3z2_g1Ck?t=1h54m47s

Commissioner Tefft stated there should be discussions regarding view protection & private view.

Graham stated the issue will be coming back on the May 5th PC Meeting per direction from the City Council.

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

https://youtu.be/vnX3z2_g1Ck

Graham stated the design guidelines are coming up at the next Planning Commission Meeting.

G. ADJOURNMENT

The meeting adjourned at 8:05 p.m. to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on May 5, 2015, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary



City of Morro Bay
 Community Development Division
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning Division
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.
 Approved projects are deleted on next version of log.

Agenda No: A-2

Meeting Date: June 16, 2015

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready										
1	Peck	2455 Greenwood	3/18/15	UP0-409	Conditional Use Permit for an addition over 25% to a nonconforming SFR	Under initial review. JG. Incomplete letter sent. Resubmittal received 4/28. PC meeting on 6/16	4/22/15 FD Cond App TP	JSW conditionally approved per memo 5/29/2015		jg
2	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.	WM. Revising MND. MND complete and routed to State Clearinghouse on 6-6-15. Anticipated PC hearing on August 4, 2015	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RPS conditionally approved per memo of 7/20/14		wm
30 -Day Review, Incomplete or Additional Submittal Review										
1	Martin	454 Yerba Buena	6/8/15	UP0-420 & AD0-102	Conditional Use Permit and Parking Exception to add 195 sf as a second story addition to existing SFR for a total new square footage of 999 sf					
2	Reddell	310 Trinidad	6/1/15	CP0-479	Admin Coastal Development Permit for new SFR on a vacant lot					jg
3	Bellisario	1125 Las Tunas	5/28/15	CP0-478	Admin Coastal Development Permit for new SFR on a vacant lot					jg
4	Smothers/ Fortino	570 Kings	5/27/15	CP0-477	Admin Coastal Development Permit for new SFR and 3 garage on R-2 zoned lot with existing SFR.					cj

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
5	Salwasser	220 Atascadero Road.	5/22/15	UP0-419	Temporary Use Permit for auction sales of surplus material in storage building. Sales to be held on alternating Saturdays between June - August	Spoke with Applicant 5/29 to request parking plan for auction events.				cj
6	Ocean View Manor Apartments	456 Elena Street	5/22/15	UP0-418	Minor Modification to conditional use permit to allow placement of solar panels.	Under review.				cj
7	Gambril	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports.				wm
8	James	2540 Main	5/11/15	CP0-474	Administrative Coastal Development Permit for new construction of duplex in MCR/R-4/SP zone	JG. Under initial review		PN - Conditionally approved with comment-5/28/15		jg
9	James	2500 Main St	5/11/15	CP0-473	Administrative Coastal Development Permit for new construction of duplex in MCR/R-4/SP zone	JG. Under initial review		PN - Conditionally approved with comments-5/28/15		jg
10	Robson	110 Orcas St.	4/24/15	CP0-471 & AD0-100	Coastal Development Permit & Variance for new SFR in S2A overlay. Variance to allow subterranean garage in zone which prohibits 2 story construction	Under review.				cj
11	Boisclair	900 Main St.	4/24/15	CP0-472 & UP0-416	Business change. Combine 2 separate uses, bar & restaurant	JG. Under initial review. Correction letter sent 5/14		JSW - Conditionally Approved with commetns		jg
12	Merrifield	1147 West St.	4/24/15	CP0- 469 & UP0-414	Coastal Development and Conditional Use Permits to construct new SFR subject to bluff development stds.	WM. Under review.		PN - Conditionally approved with comments-6/1/15		wm
13	Wright	1149 West St.	4/24/15	CP0-470 & UP0-415	Coastal Development and Conditional Use Permits to construct new SFR subject to bluff development stds.	WM. Under review.		PN - Conditionally approved with comments-6/1/15		wm
14	DVP, LP	350 Las Vegas	4/21/15	CP0-468	Demo/ reconstruct. Demolish 832 sf SFR and reconstruct 1600sf with 484 sf garage	Under Initial Review. JG. Noticed 6/2/15		DH - Conditionally Approved with commetns		jg
15	Combs	460 & 490 Errol St.	4/19/15	CP0-467	Removal of 2 residential structures on property	Project near archaeologically sensitive area. Incomplete letter sent to applicant 5/13/15. Spoke with Applicant 6/4/15 - Arch monitoring contract in process.				cj

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
16	Verizon / Knight	702 Morro Bay Blvd	4/15/15	UP0-412 & CP0-466	Conditional Use Permit & Coastal Development permit for new Verizon antenna and cabinets, associated facilities	Under review.		ME- Conditionally approved per memo 4/22/2015		jg
17	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM. Incomplete letter sent 4/28/15.				wm
18	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG		JW approved		jg
19	Volk	800 Quintana	1/29/15	CP0-461 & UP0-405	CDP / CUP for Verizon wireless telecommunications facility	CJ - under review. Incomplete letter sent 3-2-15. Revised RF report submitted 6-5-15		RPS approved		cj
20	Knight / Verizon	485 Piney Way	1/29/15	CP0-460 & UP0-402	CDP /CUP for Verizon wireless telecommunications facility (panel antennas & equipment cabinet)	CJ - RF Compliance Report under review. Incomplete letter sent 3-2-15. Revised RF report submitted 6-5-15		ME conditionally approved per memo 2/3/15		cj
21	Frederick/Haseley/Dunn	413 Shasta	1/14/15	CP0-458	Admin Coastal Development Permit for Demo and Reconstruction of 2,195 sq. ft. SFR w/546 sq. ft. garage	Under Review. JG. Correction letter sent 2/23. JG. Email correspondence w/ agent 3/2. JG. Resubmittal rcv'd. Under review. JG. Incomplete letter sent 4/23		RPS returned for clarification 2/20/15		cj
22	Chivens	431 Kern	1/6/15	CP0-456	Admin Coastal Development Permit. Demo existing structure. New 3,000+/- SF SFR. Development of 2nd home where previous CDP for 431 Kern approved 9-2014. WM	Incomplete letter sent 2/3/15. Resubmitted plans 5/15/15.	2/23/15 FD Cond App TP	RPS has approved plans 2/23/15 pending submission of sewer video and ECP prior to Building Permit.		wm
23	Appleby	381 Fresno	11/26/14	UP0-398	Conditional Use Permit for construction of a 15' x 35' storage shed & 37' x 15'6" carport	Under review. JG. Incomplete letter sent. Resubmittal rcv'd, under review. JG. Incomplete letter sent 2/24. JG.		RPS returned resubmittal for same corrects 2/20/15		jg
24	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG		RPS disapproved on 12/15/14 since proposed pole site will be removed during undergrounding project.		jg
25	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story building (retail/restaurant use) & outdoor improvements	Under review. Deemed incompletd. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent. Resubmittal received.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj
26	Wordeman	2900 Alder	7/28/14	CP0-447	Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.	Under Review. Correction letter sent 8-27-14. Resubmittal received 1-26-15. JG. Correction letter sent. Partial resubmittal rcv'd 2/23. Under Review. JG. Correction letter sent 1/30 JG	BC- conditionally approved.	BCR returned for correction 2/19/15		jg

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
27	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Project subject to bluff development standards. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ. Visited site to review project 10-24-14. Concurrent request sent re bluff to Coastal Commission 10-27-14. Discussed project with Coastal staff 11-18-14 with referral to CCC Geologist 1-2015. Met w/ Coastal geologist 2-12-15 on site. Resubmittal received.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13. Began resubmittal review 3/18/15		cj
28	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15. Resubmittal received 5/8/15.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13.9/9/14 FD App TP. 2/10/15 FD Not App TP.	PN- Conditionally approved per memo dated 6/3/2015; RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17.		cj
29	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing.Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 6/11/12		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
30	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Phase 1 Arch Report required and Env. Document. Environmental in process. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Applicant is preparing Bio. Report. Bio. report received 3/13 and under review. Project referred to env. consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ env. consultant re completion of environmental 4/7 C.J. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. C.J. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Waiting on plan revisions. C.J.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 11/20/12	No Comments to date	cj
Planning Commission Continued projects										
31	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. C.J.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj
32	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. Info hold letter sent 9-2-14. Resubmitted 10-28-14. Initial Study/MND complete & routed to State Clearinghouse 1-2-15. Anticipate 2-17-15 PC hearing. Comments received from Coastal Commission regarding eelgrass mitigation. Dock revision in progress. Project continued to 3-17-15 mtg to ensure legal noticing. Applicant submitted revised dock plans based on Coastal Commission feedback re: MND. Supplemental info sent to Coastal on 5/12/15. Revised plan received 6-10-11. C.J.	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	PW requirements will be addressed with Building Permit review	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13	cj

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
32	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		?
Environmental Review										
33	City of Morro Bay	N/A			MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. To be routed to State Clearinghouse for required 30 day review period.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Pre-application										
34		570 Kings			Multi-family in R-2 / WUI	Coordinating with applicant and Fire Department regarding fire protection for property adjacent to a wildland urban interface (WUI).				cj
35		Morro Mist			Final Map questions on 23 lot community housing project.	Received property inquiries from interested parties regarding conditions of approval on final map.				cj
36		Black Hill Villas			Final Map questions on 16 lot tract map approved by Coastal	Coordinating with applicant regarding conditions of approval relative to recent Coastal Commission approval of CDP.				cj
Grants										
37	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A		

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38	City of Morro Bay	City-wide				Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14.	No review performed.	N/R		
39	City of Morro Bay	City-wide				Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				
Project requiring coordination with another jurisdiction											
40	City of Morro Bay	Outfall				Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
41	City of Morro Bay Desal Plant	170 Atascadero				Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		
Preapplication projects - None currently											
Final Map Under Review											
42	Medina	3390 Main		10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.		sg/cj
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive											

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
43	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		
44	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. Applicant requested to keep project open 9-25-14.	Please route project to Building upon resubmittal.	N/A		cj
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing										
45	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.			wm

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46	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review performed.	N/A		sg
Projects Appealed or Forwarded to City Council										
47	Fowler	1185-1215 Embarcadero	10/6/14	UP0-058	Precise Plan submittal for landside improvements	Under review. Incomplete letter 11-5-14. CJ. Fire comments emailed to applicant 11-26-14. Resubmittal received 12/29/14. Correction sent 1-29-14. Resubmittal 3-19-15. PC Agenda 5/19/15. Council date 6/23/15.		RPS provided comments for revision of Precise Plan on 2/11/15		cj
48	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report brought to PC on 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R		sg
Projects in Building Plan Check										
49	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A		
50	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit on hold until Planning process complete. CJ.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC per memo of 1/18/12.		
51	Jeffers	2740 Elm	3/12/14	B-30126	SFR Demo/ Reconstruct	GN - Needs CDP; Correction memo sent 4/10/14. Pending CDP approval. CJ. Correction letter sent. JG. Appealed to PC 4/7. Appeal Denied.	BC-returned for corrections 4/15/14.	JW- 4/7/14 corrections needed. JW- 9/9/14 2nd Submittal: Corrections		
52	Caldwell	801 Embarcadero	8/18/14	B-30250	Commercial Hood System		BC- returned for corrections 10/8/14.	NRR		

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53	Fowler	1213 Embarcadero	9/11/14	B-30270	Phase 1-B Water Site Improvements	Requested correction 10-7-14 - Received resubmitted - applicant will need pre-construction eelgrass survey prior to issuance	BC-under review.	PN - Approved 5.28.15		
54	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation		
54	Buquet	647 Estero	3/14/14	B-30129	New SFR: 1662 sf living, 577 sf garage, 564 sf unfinished space, and 230 sf deck	GN- conditionally approved, need to add conditions as a separate plan sheet. 3/27/14	BC- RTI 5/12/14.	DH - approved 5.8.14		
55	Appleby	381 Fresno	7/31/14	B-30227	Carport & Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	BC-on hold pending Planning process.	RPS - No PW comments if street access is not required for storage bldg		
56	Montecalvo	510 Fresno	5/16/14	B-30212	New 2car garage (508 sf) w/ storage (383 sf) above, and 93 sf deck	Corrections sent 8-11-14. WM.	BC- returned for corrections 8/22/14.	Assigned to ME/DH for review		
57	Conrad	2820 Greenwood	12/30/13	B-30079	SFR Add/ Second Unit: 300 sf attached studio (27 new sf and convert 273 sf)	Under review. 2nd unit will require CDP.	BC- returned for corrections 2/28/14.	NRR		
58	Sotello	420 Island	6/30/14	B-30192	New SFR: 1678 sf living, 482 sf garage, 106 sf decking	Sent corrections 3/18/15. 2nd corrections sent 5/12/15. 3rd correction memo sent 5-28 - met w/ Applicant to review outstanding items.	Corrections 3/23/15. CL.	BCR conditionally approved plans per memo of 9/10/14		
59	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	WM. Expecting Admin Use Permit application for minor revision to approved design.	BC- on hold pending planning process.	Return for resolution of Planning issues. BCR - Conditionally approved per memo of 10/9/14		
59	Herrera	2820 Juniper	2/19/15	B-30375	New 203 sf deck addition to front of residence	Approved 3/4/15 JG				
60	Rockenbach	2670 Juniper	3/4/15	B-30387	Bathroom remodel	Approved 3/5/15. CJ.	Corrections 3/25/15. CL.	Approved. RS 3/4/15		
61	Candy Fish Sushi	898 Main	2/23/15	B-30380	Demise wall to add inside seating in restaurant	Approved 2/26/15 JG				
62	Dyson	1177 Main	8/18/14	B-30248	Covered Patio	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
63	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved 9/25/14. CJ.	BC-returned for corrections 10/2/14.	RPS returned for corrections per memo of		
64	Hammond	2621 Nutmeg	1/13/15	B-30355	Remove top half of retaining wall due to stem wall failure and new wood deck			ME conditionally approved pending detail of drainage system at retaining wall per memo		
64	Wikler	405 Pacific	12/11/14	B-30338		Corrections 12-18-14. WM		BCR returned for corrections per memo of		
65	Dennis	270 Piney	2/13/15	B-30383	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG		ME - Needs Eroison control plan & sewer		
66	Dennis	280 Piney	2/13/15	B-30384	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG		ME - Needs Eroison control plan & sewer		
67	Dennis	290 Piney	2/13/15	B-30382	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG. Approved 3/17 JG		ME approved 4/16/2015		
68	Nagy	371 Piney	8/11/14	B-30237	New SFR: 3,022 square-foot SFR and garage, plus deck and balcony.	WM. CDP and building pans approved.	BC-out for corrections.	JW returned for corrections per memo of 8/14/14 w/ Sample Offer of Dedication. Reviewed Findings & Conditions of Approval 11/13/14. Provided Sample Covenant to Defer Public Improvements		

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69	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
70	Lindsey	413 Shasta	1/14/15	B-30357	Demo / Reconstruct SFR.	Needs CDP. Under review. JG		RPS returned for correction per memo of 2/20/15		
71	Wammack	505 Walnut	12/31/13	B-30076	New SFR: 2611 sf living, 489 sf garage, 190 sf decks and covered porch	WM. CDP and building pans approved.	BC-on hold pending Planning process.	BCR sidewalk deferral agreement		
70	Turner	356 Yerba Buena	5/21/15	B-30490	SF Additon & Alteration addition of 2,026sf	Under review. CJ				
71	Gannage	185 Azure Street	5/1/15	B-30465	SF Additon of 44sf , relocated new kitchen, remodel bathrooms, replace façade, doors, windows, roof & water heater.			PN- Plans not approved, Needs sewer video per memo- 6/1/15		
72	West	341 Rennel Street	5/5/15	B-30408	New SFR: 917sf floor area & 283sf garage.			PN- Plans conditionally approved pending plan corrections per memo dated 6/5/15		
73	Najarian	2295 Juniper	5/5/15	B-30471	New SFR: 2,216sf living, 522sf garage, 121sf patio & entry, and permeable paver driveway.			PN- Plans conditionally approved pending plan corrections per memo dated 6/5/15		
74	Monie	2577 Greenwood Ave.	5/18/15	B-30471	2-story Addition to SFR: 935sf			PN- Plans not approved. Needs sewer video & Erosion control per memo 6/8/15		
Projects & Permits with Final Action										
1	T-Mobil e West LLC	1245 Little Morro Creek Rd (aka 750 Radcliffe)	1/8/15	Modification of UPO-245 & CP0-279	Upgrade of existing wireless facilities at PG&E lattice tower.	Requested proposed visual simulation 2-11-15. Resubmitted 4/2/15. Project noticed and permit modification issued 6-1-15. CJ.		RPS - Encroachment Permit required for Work w/ ROW		cj



AGENDA NO: B-1

MEETING DATE: June 16, 2015

Staff Report

TO: Planning Commissioners

DATE: June 10, 2015

FROM: Scot Graham, Community Development Director

SUBJECT: Conditional Use Permit (#UP0-409) Request to allow an addition exceeding 25% of existing floor area for a single-family residence with a nonconforming side-yard setback at 2455 Greenwood Avenue, located in the R.1/S-2 zoning district and outside of the Coastal Commission Appeals Jurisdiction

RECOMMENDATION:

Staff recommends that the Planning Commission open the public hearing to hear any testimony on the proposed project and then continue this project to the July 7, 2015 Planning Commission meeting for review and discussion at that time.

REASON FOR CONTINUANCE:

The required 10-day notice of a public hearing before the Planning Commission on this project was published in the San Luis Obispo Tribune on June 6, 2015. However, the postcard notices sent to all owners and occupants within a 300 foot range were sent with information for an administrative permit. Postcards did not include the date and time of the Planning Commission meeting and as such did not meet the City's requirements for a duly noticed public hearing.

Since the hearing was publicly noticed in the Tribune newspaper, staff recommends that the Commission open the hearing for testimony by interested persons wishing to speak about the project before continuing review to the July 7, 2015 meeting.

Prepared By: ___CJ___

Department Review: ___SG___



AGENDA NO: C-1

MEETING DATE: June 16, 2015

Staff Report

TO: Planning Commissioners

DATE: June 9, 2015

FROM: Cindy Jacinth, Associate Planner

SUBJECT: Interpretation of View Corridors in Waterfront Master Plan Design Guidelines

RECOMMENDATION:

Staff recommends the Planning Commission review the interpretation for the Waterfront Master Plan Design Guidelines regarding View Corridors and adopt the attached Planning Commission Resolution 22-15 (Exhibit A) approving the interpretation.

BACKGROUND/DISCUSSION:

The City's Waterfront Master Plan (WMP) contains Design Guideline requirements for view corridors as specified on page 5-2 of the WMP.

The Design Guidelines were developed to assist in evaluating the quality of a design submitted. Of this, the guidelines are broken into four categories: Public Visual Access; Site Design and Parking; Architectural Design Character; and Areawide Design Compatibility. Category 1 describes the need to protect existing views to and along the shoreline of the harbor, sandspit, Morro Rock, and the fishing and recreational fleet as seen from the street-ends off the Embarcadero, between buildings or through open areas from the Embarcadero, and from public viewing locations and public right-of-way on the bluff top.

Public Viewshed is defined as:

"...all areas of the bay, harbor, sandspit, and Morro Rock, currently visible from the Embarcadero, the street-ends, public observation points, and public right-of-way at the bluff top; but not including views from private property, businesses, or residences. Figure 5.4 identifies these viewing locations. This definition shall be used in evaluating any development proposal which has the potential to obstruct public views."

View Corridor is defined as:

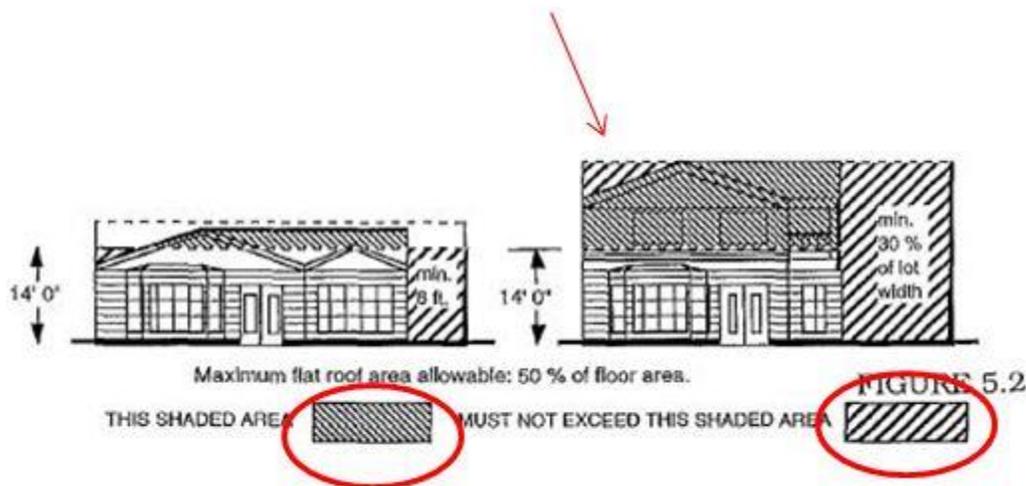
"View corridors shall be open line[a]r spaces located between or adjacent to

Prepared By: CJ

Department Review: SG

buildings affording views from the street of the harbor, bay, sandspit and Morro Rock. Said corridors shall not have visual obstructions except for low shrubs, seating benches and other street furniture of 30 inches in height or less. Taller lighting poles and similar fixtures may be allowed. No overhead structures such as canopies, balconies and pedestrian bridges (other than normal eaves) are permitted within the view corridors unless said structure is offset by additional width of view corridor equal to the vertical dimension of the overhead structure.”

Pages 5-13 to 5-15 of the WMP provide view corridor examples for waterfront lease sites. Specifically, page 5-14 shows visually the minimum “30% of lot width” requirement in site plan view at the top of the page. This is followed by elevation images at the bottom of the page depicting shading which states “this shaded area... must not exceed this shaded area.” See below image. Past City projects have been approved with the understanding that the image represents that vertical area calculation permissible when determining whether an Applicant has met the required view corridor.



The Planning Commission, at their May 19, 2015 meeting, reviewed a conditional use permit (UP0-058) for development on lease site property on the Embarcadero. The project as a lease site of more than 50 feet in width or more is required to have a minimum view corridor of 30% of lot width.

The Concept Plan for this project which was approved in May 2008 deemed the project consistent with this requirement because the City accepted calculation which included adding both the linear spaces as well as vertical view areas adjacent to the roof peak to be included toward the 30% view corridor requirement.

Planning Commission deliberated the view corridor requirement and whether there was sufficient open linear space. Given the past approvals, the Planning Commission made a finding for approval, because there was no reduction in measured width compared to the approved Concept Plan.

However, the consensus of the Commission at the May 19, 2015 meeting was that the intent of the WMP Design Guidelines are clear with respect to “view corridors shall be open line[a]r spaces located between or adjacent to buildings...” The images provided on page 5-14 (See Exhibit B) are shown as view corridor examples and do not negate nor lessen the descriptive text found on page 5-1 which defines a view corridor. The Planning Commission directed staff to return with an interpretation resolution clarifying this section on view corridor requirements.

ZONING ORDINANCE AUTHORITY:

The Planning Commission is authorized, by the Morro Bay City Zoning Ordinance, (the “Zoning Ordinance”) section 17.48.020, to make interpretations of ambiguities found in the Zoning Ordinance. Pursuant to that section, through a reference to section 17.08.020, the Planning Commission shall consider the following factors as criteria for their determination:

- A. Effect upon the public health, safety and general welfare of the neighborhood involved and the city at large,
- B. Effect upon traffic conditions, and
- C. Effect upon the orderly development of the area in question and the city at large in regard to general planning of the whole community.

CONCLUSION:

View corridors both as defined on page 5-1 of the Waterfront Master Plan and as visually depicted in various examples shown on page 5-13, 5-14 and 5-15 provide clear and descriptive language to assist in evaluating visual criteria. The three rows of images shown on page 5-14 illustrate various view corridor examples and are not intended to be used in lieu of the view corridor definition provided on page 5-1. Staff recommends that Planning Commission review the information and attachments presented in this staff report and adopt PC Resolution 22-15 affirming the Planning Commission’s interpretation of required view corridors.

ATTACHMENTS:

- A. PC Resolution 22-15
- B. Page 5-14 of Waterfront Master Plan

RESOLUTION NO. PC 22-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION AFFIRMING THE COMMISSION'S INTERPRETATION REGARDING REQUIRED VIEW CORRIDORS AS DEFINED IN THE CITY OF MORRO BAY WATERFRONT MASTER PLAN DESIGN GUIDELINES

WHEREAS, the Planning Commission is authorized, by the Morro Bay City Zoning Ordinance, section 17.48.020, to make interpretations of ambiguities found in the Zoning Ordinance; and

WHEREAS, the Planning Commission of the City of Morro Bay reviewed the language and view corridor examples regarding required view corridors in the Waterfront Master Plan Design Guidelines, Chapter 5 at their regularly scheduled meeting of June 16, 2015; and

WHEREAS, the Planning Commission desired to clarify requirements for view corridors for future and pending applications so as to avoid confusion in the future and requested staff return with a policy resolution clarifying the intent and meaning of view corridor requirements found in the Waterfront Master Plan; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1. The Waterfront Master Plan Design Guidelines Chapter 5, View Corridors shall be defined as "View corridors shall be open linear spaces located between or adjacent to buildings affording views from the street of the harbor, bay, sandspit and Morro Rock. Said corridors shall not have visual obstructions except for low shrubs, seating benches and other street furniture of 30 inches in height or less. Taller lighting poles and similar fixtures may be allowed. No overhead structures such as canopies, balconies and pedestrian bridges (other than normal eaves) are permitted within the view corridors unless said structure is offset by additional width of view corridor equal to the vertical dimension of the overhead structure." Said defined view corridor shall not be construed to allow for vertical areas adjacent to the roof peak as described in the staff report analysis dated June 9, 2015 to count toward the required minimum view corridor calculations as depicted in Figure 5-2 of the Waterfront Master Plan.

Section 2. Based upon the staff report and other evidence and information considered by the Planning Commission regarding this matter, the foregoing interpretation (i) will not negatively impact the public health, safety and general welfare of neighborhoods that do or may contain storage sheds or the City at large, (ii) will not have any effect upon traffic conditions within the City and (iii) will have a positive effect upon the orderly development of the areas in which storage sheds do and may exist and the City at large in regard to general planning of the whole community.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 16th day of June, 2015 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 16th day of June, 2015.

VIEW CORRIDOR EXAMPLE

Waterfront

Lots or Common Lease Sites of 50 ft. width or more

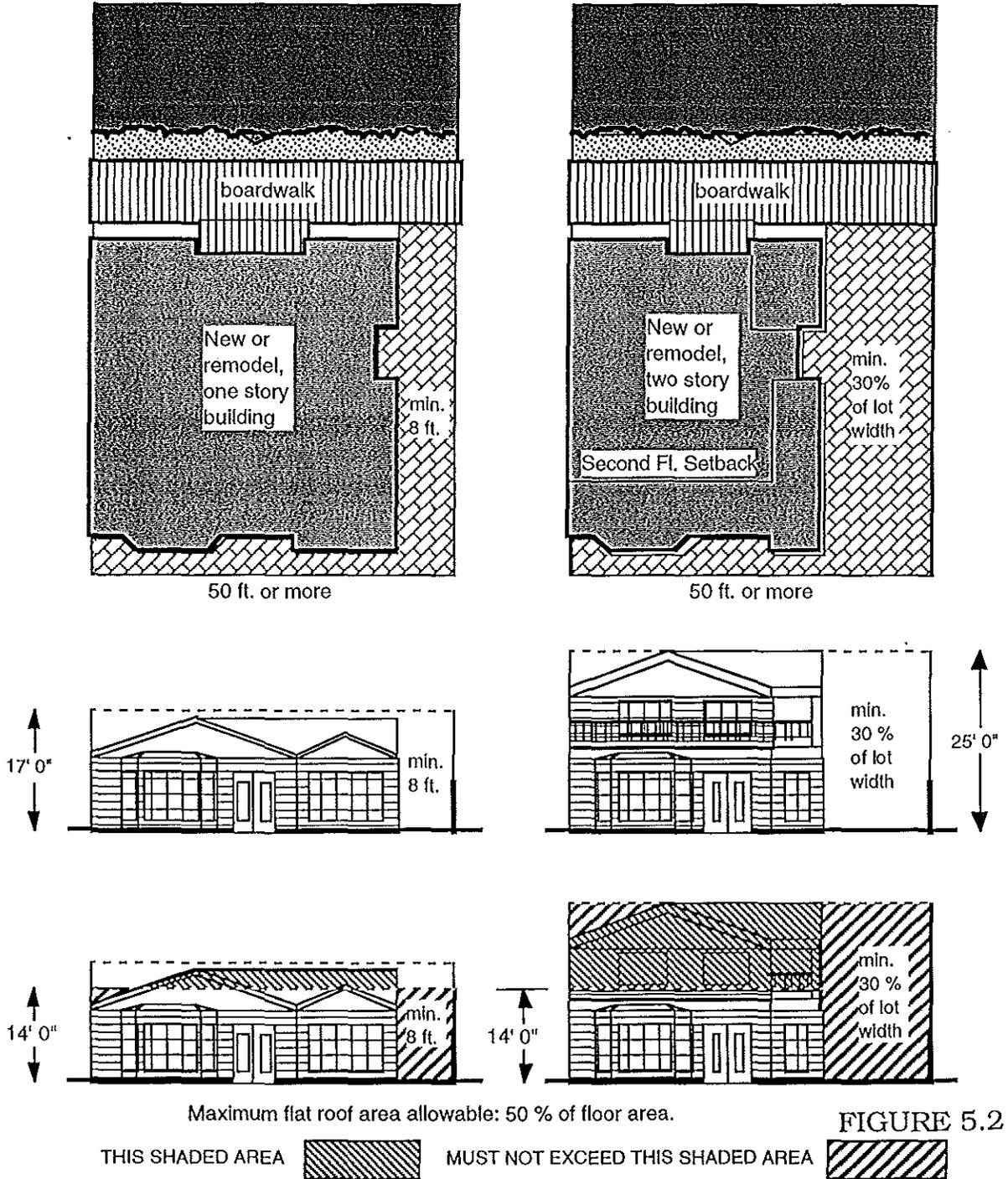


FIGURE 5.2
Waterfront
Master Plan



Staff Report

AGENDA NO: D-1

MEETING DATE: June 16, 2015

TO: Planning Commissioners

DATE: June 12, 2015

FROM: Community Development Manager

SUBJECT: Review of Draft Design Guidelines.

RECOMMENDATION:

Staff recommends that the Planning Commission review the revised Draft Design Guidelines and provide direction to staff.

PROJECT DESCRIPTION:

The Planning Commission reviewed the Draft Design Guidelines at the June 2, 2015 Planning Commission and directed staff to make revisions to the following Guideline sections:

- A: Figure 1 description
- B-1 & 2
- G-2, 3 & 4
- H-2
- I- 2, 3, 4 & 5 and opening paragraph
- J-4
- K-3 & 4, opening paragraph and Figure 28 Title
- L-1, 2, 4 & 8
- M. Glossary

The Planning Commission also requested addition of specific design guidelines related to Solar Water Heating Systems and guidelines for inclusion of pre-plumbing standards for Solar on new homes. Staff when looking into the options for solar water heating systems reviewed City records and found that there has not been any applications for this type of system in the last 10 months. Given that Solar Water Heating Systems are not common staff thought it better to slightly alter the existing solar guidelines to accommodate their installation instead of creating entirely separate guidelines.

Staff also looked into the requirements for pre-plumbing for solar and found the specificity necessary to define the components that would be included in the pre-plumbing of a home would have to be at the Ordinance level of detail. In other words, setting out solar ready requirements

Prepared By: SG

Dept Review: SG

in guidelines is inappropriate. Also, given the ramifications of this type of change to City Policies, any requirement for pre-plumbing should include outreach to the Building industry which would significantly delay the implementation of the guidelines.

Changes directed at the June 2, 2015 Planning Commission meeting are shown in edit format within the Draft Guidelines attached as Exhibit 1.

RECOMMENDATION

Staff completed the edits and additions directed by the Commission at the June 2, 2015 Planning Commission meeting and the recommendation moving forward is to have the Commission adopt the attached resolution found in Exhibit 2 recommending City Council approval of the Interim Residential Design Guidelines.

ATTACHMENTS:

Exhibit 1 – Draft Design Guidelines

Exhibit 2 - Resolution 23-15 recommending City Council adopt the Draft Interim Residential Design Guidelines.



DRAFT City of Morro Bay Interim Design Guidelines

Residential



DRAFT City of Morro Bay Interim Design Guidelines

Residential

Acknowledgements

City Council

Planning Commission

Michael Lucas, Commissioner
Gerald Luhr, Commissioner
Richard Sadowski, Commissioner
Katherine Sorenson, Commissioner
Robert Tefft, Chairperson

City Staff

Rob Livick, Public Services Director/City Engineer
Scot Graham, Community Development Manager

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- J. Landscaping
- K. Hillside Development
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- M. Glossary

INTRODUCTION

Purpose of the Guidelines

The purpose of the Interim Design Guidelines is to maintain the high quality of the City of Morro Bay's neighborhoods by developing reasonable, sound and objective guidance to assist residents, homeowners, and designers in identifying the key design features and components that define the character of a neighborhood that can then be utilized in designing new or remodeled single family homes.

Neighborhood compatibility is generally represented by how a neighborhood looks and feels. The basic features that help define a neighborhood include: landscaping, pedestrian routes, street improvements, building material, architectural style, home size, scale, bulk, proximity of homes to one another, building height, and setbacks.

A majority of the neighborhoods in Morro Bay contain a wide variety of architectural styles, which helps focus policy language on scale, height, bulk and consistency or integrity of the chosen architectural style.

The intent behind implementation of design guidelines is to conduct design review on all single family residential construction (additions included). The

guidelines are meant to implement the neighborhood compatibility policies found in the General Plan and Local Coastal Plan and as such, serve as a basis to provide consistent design review by both City Staff and the Planning Commission.

By applying the Design Guidelines as part of the project review process, The City of Morro Bay, has the opportunity to provide positive, constructive direction to development within the City. The Design Guidelines can save time, facilitate a positive response to community concerns about development proposals, avoid divisive controversy, reduce unnecessary delays and expenses, and most importantly, achieve high quality designs and more livable neighborhoods.

Single Family Residential Design Guidelines

The following guidelines are not meant to encompass the entire range of design possibilities, but instead are meant to provide basic guidance as to what is expected when development is proposed. The policies are not meant to discourage innovative designs nor encourage any specific style or design concept. Variations from these guidelines will be considered when proposed project elements provide for a better project than would be possible adhering to the specific direction provided within the guidelines.

Design Guidelines

A. Relationship to Homes in Immediate Neighborhood

1. The overall design of the home should pay particular attention to the adjacent homes while remaining visually compatible with the immediate neighborhood.
2. Maintain architectural integrity with design and material consistency on all facades.
3. When replacing or changing the exterior materials, use materials compatible with homes in the surrounding area.
4. Entryways or features, such as front doors and porches should be visible from the street. Use of tall walls, fences, landscaping or other design elements that block view of the entry should be avoided.

Utilize figure 1 below when determining what constitutes the immediate neighborhood within a standard subdivision. For consideration of neighborhood compatibility, greater weight should be given to the character of existing development closer to a proposed project than to more distant portions of the

neighborhood. There are in some situation factors may be present which require a definition of the immediate neighborhood that differ from that shown in the diagram. Examples include where the diagram may not be applicable including, but are not limited to, location and visibility of the building (e.g., terrain of the lot, lots with multiple frontages, small lot sizes). **Should questions arise regarding what constitutes the “Immediate Neighborhood” please consult City Staff.**

Figure 1. Immediate Neighborhood Map Example (500~~300~~ Foot Radius).



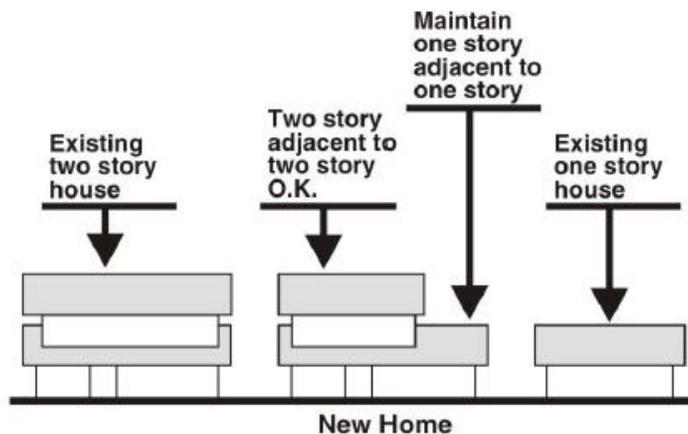
B. *Scale and Mass*

Building scale refers to the proportional relationship of a structure to objects/structures next to it. Mass is basically the size of a structure.

1. Proposed new construction or remodeling projects should be consistent with the overall pattern of perceived scale and mass in the surrounding neighborhood. Compatibility cannot be achieved merely by demonstrating that other selected residences nearby may be similar in size or larger than the proposed project, particularly if the selected examples are atypical of the neighborhood or at a distance from the proposed project. The apparent size, scale, and mass of a proposed project can be affected by thoughtful design, appropriate siting on the lot, landscaping, and other factors as well as by the actual size of the

residences.

Figure 2. Placement options for second story when adjacent to single story home



2. The perceived scale, and mass, and design should be appropriate to of a proposed addition to an existing residence should be of similar form and shape as those of the original home.
3. Blocks where single story houses or small two story homes are the predominant block pattern, a second story may require special attention. Scale may be minimized by employing one or more of the following technique's:
 - a. Limit the house profile of the expanded or new home to an area generally consistent with the profiles of the existing homes.
 - b. Setting the second floor back from the front and sides of the first story a distance sufficient to reduce apparent overall scale of the building.
 - c. Limit the size of the second story relative to the first story.
 - d. Increase the front and/or side setbacks for the entire structure
 - e. Place at least 60 to 70 percent of the second floor area over the back half of the first story.

- f. Slope the new roof away from the adjacent homes.
- g. Incorporate the second story into the roof.

Figures 3 & 4 demonstrate incorporation of second floor into the roof helping to relate larger homes to smaller neighbors



Figure 4.



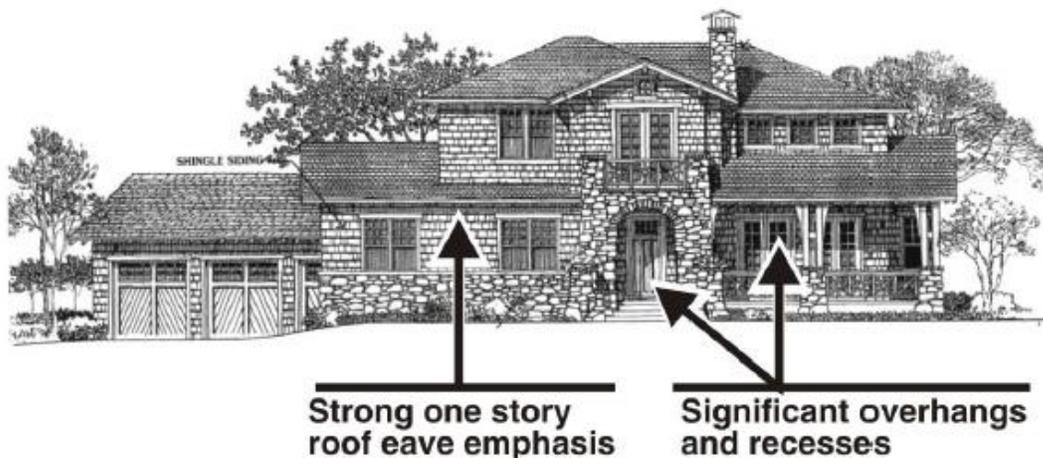
Figure 5. Second floor is pulled into the center of the roof providing a setback from the building edges helping to maintain adequate space, light and sense of openness to the adjacent residences.

C. Surface Articulation

Residences should be designed with relief in building facades. Long unarticulated wall and roof planes should be avoided, especially on two story elevations.

1. Changes within the wall and roof planes can be accomplished when one of the forms is setback several feet or when a gable end fronts the street and through the use of porches that run across the street facing elevation of the home.
2. Changes within the wall and roof planes can also be achieved through the use of various textures and materials. This can be seen in the use of horizontal wood lap siding, wood trim around windows and doors, shingle textures on the roof, deep recessed entries, use of roof segments separating the first and second floor facades.

Figure 6. Changes in wall plane and second floor step backs are utilized as well as a mix of materials and use of recessed areas help achieve relief in the building facade



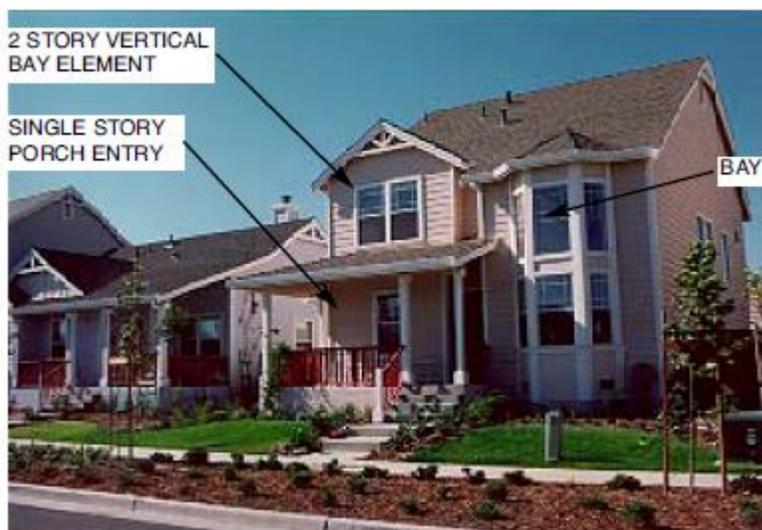


Figure 7. Design exhibits use of differing wall planes, two story entry element and covered porch to break up the front facade.

D. Building Orientation

1. Residences should contain visible front entryways, in scale with neighboring properties and oriented toward the public street.

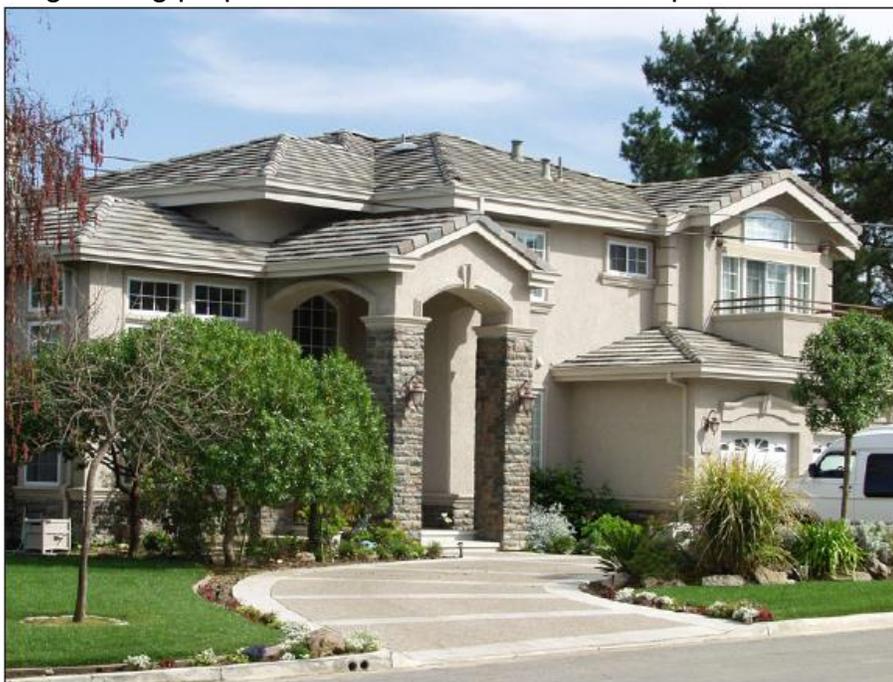


Figure 8. Avoid exaggerated tall entries like this



Figure 9 & 10. Avoid formal entries in neighborhoods with informal homes (above) and in neighborhoods where entries are located under roof eaves as shown in the ranch style example below.



2. New/remodeled structures should not present height or bulk at front and side setback lines which is significantly greater than those of the Adjacent homes.



Figure 11. Homes with differing bulk and massing along front facade

3. Homes should be located on the lot in a similar manner as adjacent homes and within the applicable setback requirements.



Figure 12. Homes with similar setbacks on the street frontage

4. In cases where setbacks are similar in the neighborhood, new homes should match those of adjacent homes.

- Where adjacent homes have differing setbacks, the setback of the new home should be the average of the two on either side.

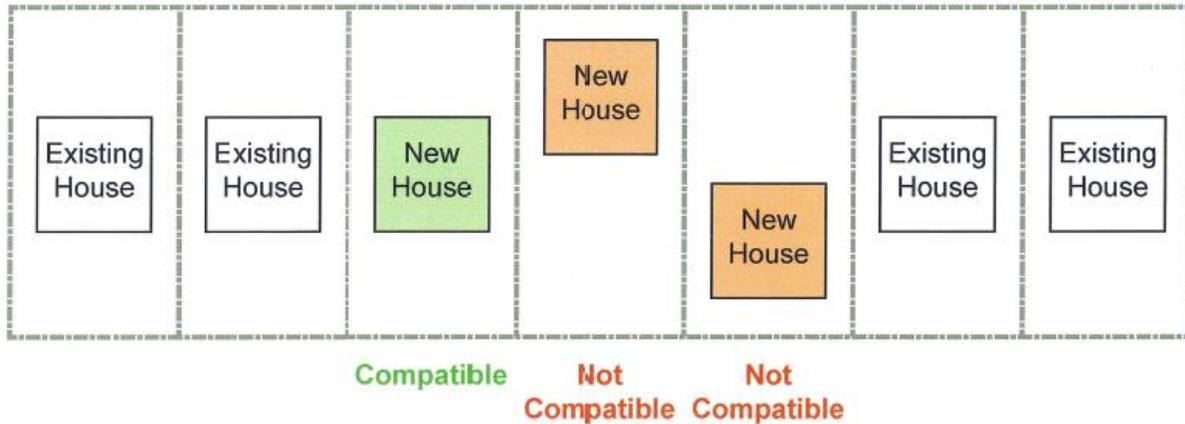


Figure 13a. In neighborhood where existing homes have consistent setbacks, new construction should match the siting of adjacent homes.

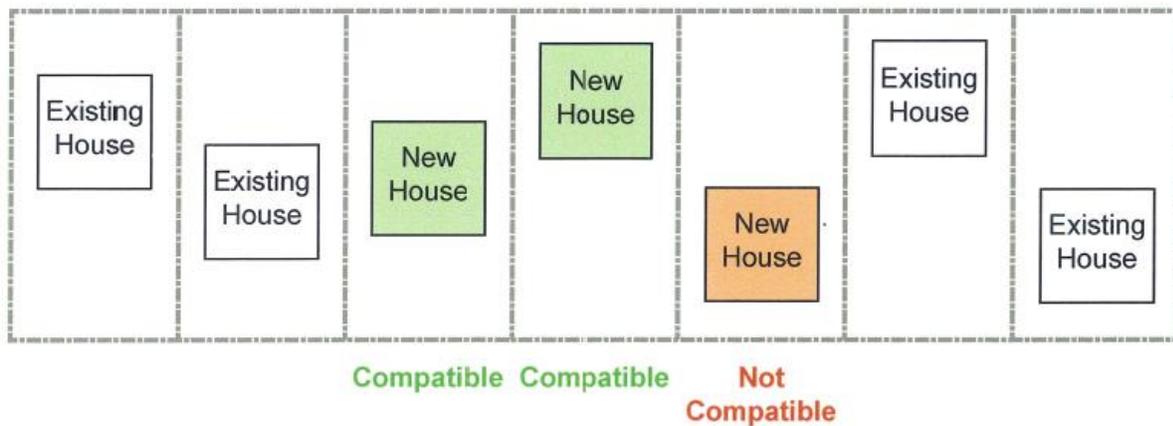


Figure 13b. In neighborhoods where existing homes have varied setbacks, the siting of new construction should be equal to or greater than the average setback of adjacent homes.

***Exception to Averaging:* Where the adjacent lots have a nonconforming setback, the applicant may have the option of conforming to the required zoning setback. In some instances, a varied setback from the neighborhood pattern may be necessary or appropriate (Such lot constraints include topography, trees, creeks, lot size and Environmental Sensitive Habitat).**

E. Garage and Driveway Design

In most cases, the curb appeal and livability of a home will be enhanced if the living area, rather than the garage is the most prominent feature of the front

façade. Garage doors can have a noticeably negative impact to the street facing elevation of a home and, cumulatively on appearance of a neighborhood. To reduce the prominence of garages and driveways, home designs should to the extent feasible, reflect a careful consideration of the following principles:

1. Garages placed along the front elevation of a home should not exceed 50% of the linear front elevation width where possible. The remainder of the front elevation should be devoted to living area or a porch.
2. Garages exceeding 50% of the linear front elevation should include one or more of the following design options:
 - a. Recess garage from the front wall of the house a minimum of 5'
 - b. Provide an entry porch trellis extending in front of the face of the garage.
 - c. If the garage is the dominant feature from the street frontage, it should be designed with architectural and visual interest.

Figure 13. Limiting driveway width of garages and setting them back from the front façade can minimize visual impact



Figures 14 – 18 provide examples of Decorative Garage Door ideas:

Figure 14.



Figure 15.



Figure 16.



Figure 17.



Figure 18.

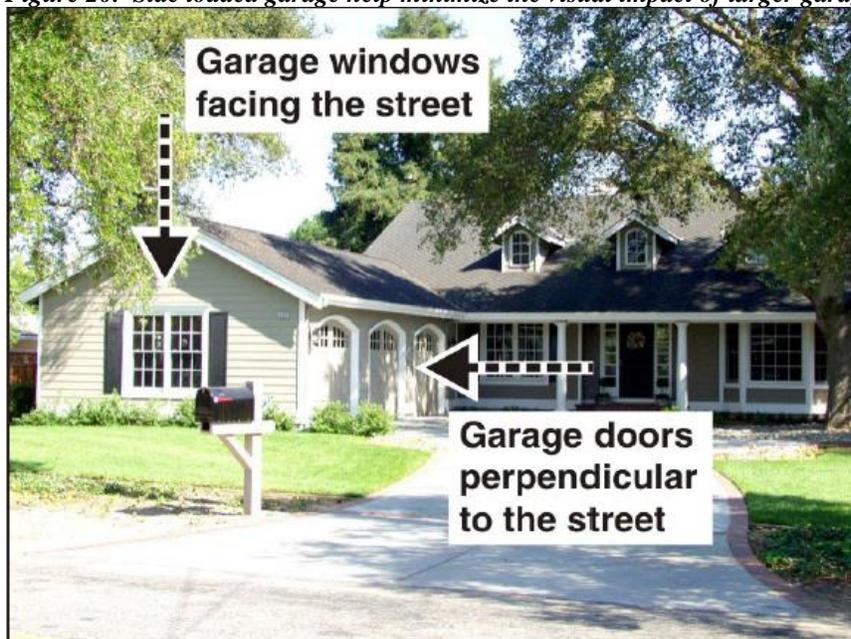


3. Garage entries should be oriented away from the street where possible. This can be accomplished through placement of the garage at the rear of property or through use of a side loaded garage (see figures 19 & 20).

Figure 19. Narrow driveway with garage located toward the rear of the property



Figure 20. Side loaded garage help minimize the visual impact of larger garages on the streetscape



4. Mitigate the impact of driveways on the street scape by:
 - a. Limiting width of curb cuts to the minimum size needed to access the garage. This preserves on street parking and reduces paving in the front yard.
 - b. Utilizing decorative paving materials, permeable pavers or special patterns or colors to break up paved driveway areas in front setbacks (See figures 23 – 27).
 - c. Utilizing single width driveways or make use of “Hollywood”

driveways (See figures 21 & 22).

Figure 21. Hollywood Driveway Design for single car garage



Figure 22. Hollywood driveway design for two car garage



Figures 23 – 27 provide examples of permeable paver drive options

Figure 23.



Figure 24.



Figure 25.



Figure 26.



Figure 27.



5. Other similar features as approved by the review authority.

F. Building Materials

Building materials should be consistently applied and shall be harmonious with adjacent materials (see figures 28 & 29). Piecemeal and frequent changes in building materials should be avoided.

1. When using a mix of material, avoid using too many materials.
2. Avoid using an even split of materials (i.e. 50/50) on facades.
3. It is preferred to have one material as the dominant surface with the second material utilized in a lesser or accent role.

Figure 28. Example of utilizing a mix of materials.

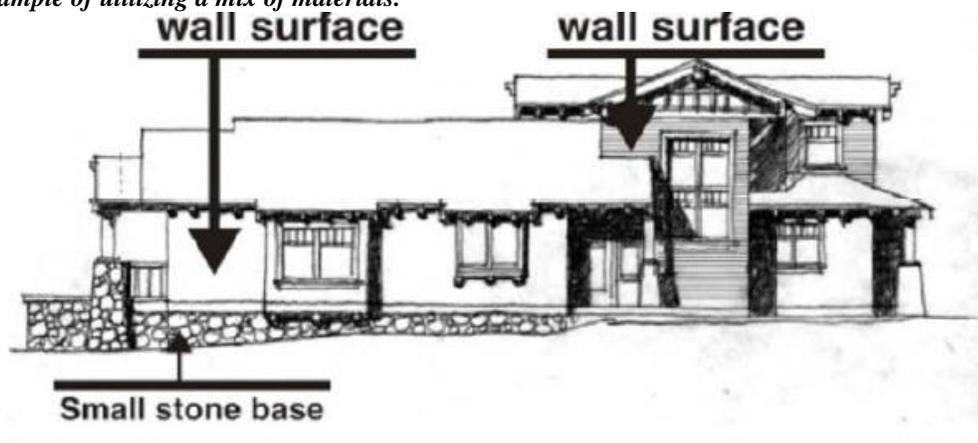


Figure 29. Use of complimentary building materials and color palette enhances building design



G. Architectural Elements [\(Get Changes from Tefft\)](#)

The architectural elements of a building include openings, doors, windows and architectural features such as roof elements, columns and dormers.

1. Architectural Elements within the design should be in proportion to the overall home design.

2. Architectural Elements should reflect the habitation and internal and external use of the structure. also be balanced on the building elevation. One option to achieve balance is through the vertical and horizontal alignment of the elements.

3. For most traditional styles architectural elements should be balanced on the building elevations. One option to achieve balance is through the vertical and horizontal alignments of the elements.

2.4. When the architectural style of a residence does not call for symmetry, creative asymmetric placement of architectural elements may provide dramatic interest.

Figure 30. Some architectural styles require simple shapes and formal symmetry of the door and windows



Figure 31. Avoid too many building elements competing for attention



H. Additions to Existing Homes

1. The design of the addition should be consistent with the materials and architectural elements utilized in the existing home and adjacent neighborhood. If differing materials or styles are chosen for the addition they should be complimentary in nature.
2. Second floor additions should integrate [seamlessly](#) into the overall design of the home. The addition should look like an original part of the home.

Figure 32. Original single story home



Figure 33. Incorporating a second floor addition into the roof adds the desired space while respecting

the integrity of the existing house and the scale of the neighborhood.



3. Rooflines of the addition should be compatible with the roof slope of the existing house.

4. New windows and other architectural elements should be compatible with the shape, pattern, style, color and materials of the original architectural elements. If all windows are replaced, the new windows should be compatible with the architectural style of the home.

Figure 34. Addition incorporated into the roof, but roofing material is not consistent with architectural style of the existing residence.



I. Privacy. Minimize privacy intrusions on adjacent residences.

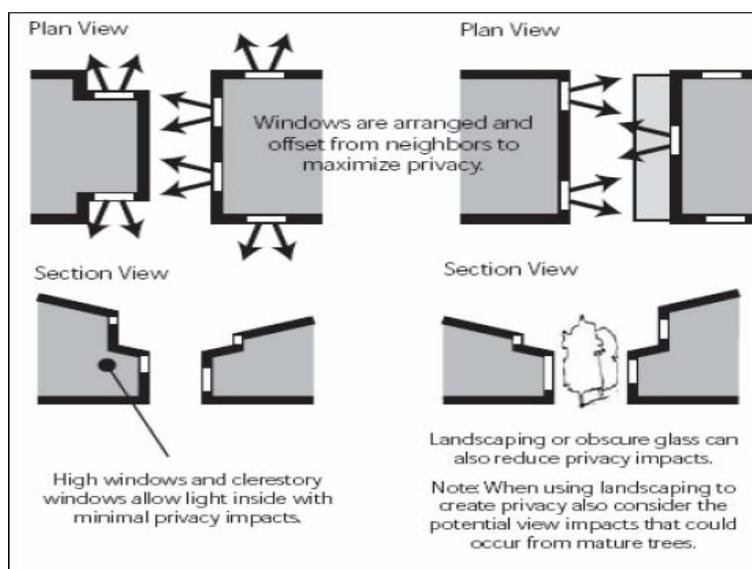
While it may not be possible to ensure complete privacy between homes, given the small lot sizes in the City, designs should attempt to lessen the impact. ~~as much as possible.~~ Possible Options for reducing privacy conflicts are noted below:

1. Windows should be placed so as to minimize views into the living spaces and yard spaces near neighboring homes.
2. ~~When placing Wwindow placements in the side wall of a home building walls, offset or stagger window locations- should be offset~~ to avoid looking directly into a neighboring room.
3. ~~Where potential privacy issues exist, smaller windows should be utilized to help minimize the perception of privacy invasion.~~
3. Decks and balconies should be designed and located with consideration given to the privacy of adjoining properties.

4. Other options for reducing privacy impacts between neighboring residences include: use application of appropriate landscaping, use of smaller windows, designing sill height above eye level or utilizing frosted or textured glass to reduce visual exposure.

5. ~~Second floor decks and balconies should be designed and located with consideration given to the privacy of adjoining properties.~~

Figure 35. Design options for reducing privacy impacts



J. Landscaping

Residential landscaping should include the following:

1. Drought tolerant plant species that require little to no fertilizer, herbicides, and pesticides.
- 4.
2. Plants appropriate for the sites characteristics; sun exposure, wind, soil moisture, and existing vegetation.
- 2.
3. Non-invasive plant species, particularly near creeks, drainages or

existing native vegetation. Plantings should be sited such that they will not interfere with onsite utility lines, including water and sewer lines.

~~3.~~

4. Siting of trees to avoid unnecessarily obstructing views from adjacent properties. In view sensitive areas, proposed trees should ~~either be maintained at a height not to exceed the maximum height of the zone district or trees should~~ be chosen that do not exceed a mature height that exceeds the maximum building height of the zone district. Proposed trees should also be continuously maintained at a height that does not exceed the maximum permitted height of the zone district. Existing mature trees are exempted from this policy.

~~4.~~

5. Street trees should be chosen from the City's approved street tree list.

~~5.~~

6. Mature landscaping should be preserved where possible, paying special attention to the preservation of mature healthy trees.

~~6.~~

7. Efficient drip irrigation systems that make use of soil moisture meters, and rain and wind shutoff devices to reduce water consumption.

K. Hillside Development

The hillside development guidelines apply to properties with lot sizes 5,000 square feet or greater and with slopes exceeding 15%. The intent of the following policies is to preserve, enhance and protect the visual quality of the Morro Bay hillside areas. Project design should take into consideration the site's natural features, topography, visual character, unique qualities and surrounding environment: ~~through adherence to the following guidance:~~

1. Step the building up or down the hill (see Figure 36).
 2. Set the structure into the hillside topography while also balancing or limiting the amount of grading to avoid erosion and visual impacts (see Figure 36).
 3. Step back the taller portions of the structure to reduce the appearance of height.
- ~~—Avoid interrupting natural ridgelines and skylines. Set the house below these.~~

4. Minimize exposed foundations, underfloor areas, and downhill cantilevers when structurally feasible and avoid use of tall support columns utilized for support of overhanging areas (see Figure 37).

5. Vary height of building elements (See figure 38)

Figure 36. House cut into slope and stepped into the hillside

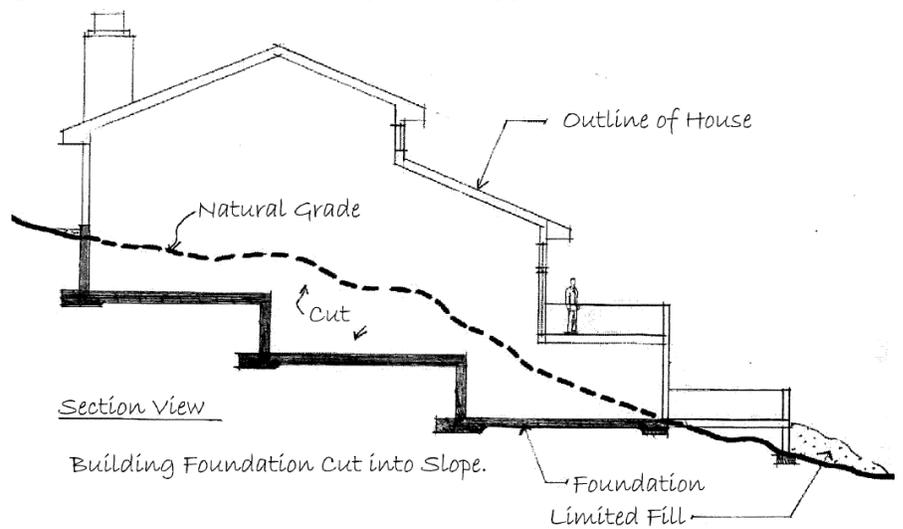


Figure 37. Avoid exposed understory with large cantilevers supported by tall columns

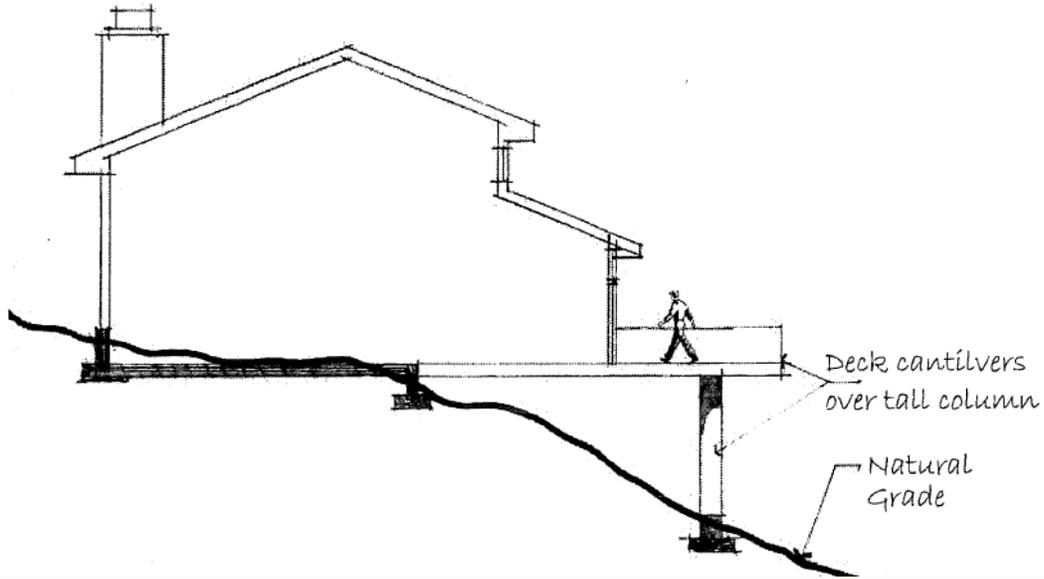
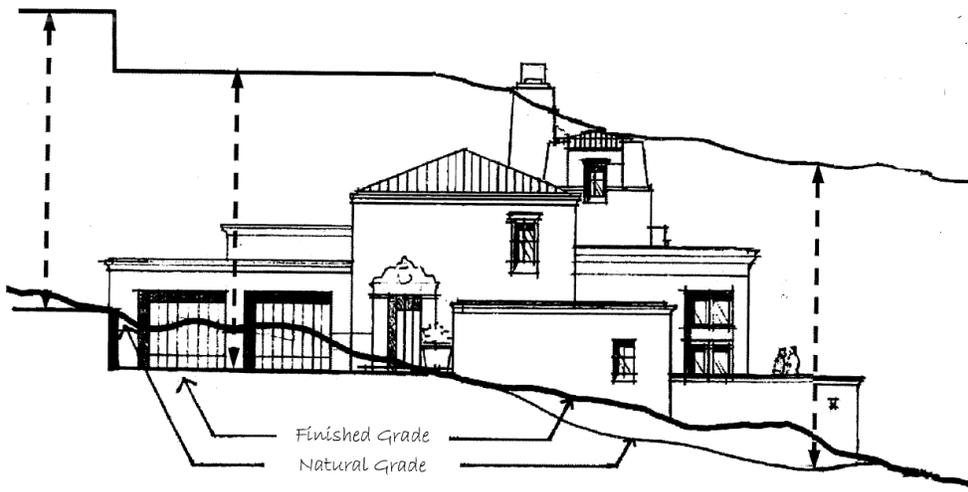


Figure 38. Vary Height of Building Elements



L. Solar Access

The City of Morro Bay encourages applicants to incorporate solar energy systems into their projects. Building placement and adjacencies should be considered such that they do not unreasonably affect solar access on neighboring properties. Solar panels and other roof mounted equipment can detract from the appearance of a home and appear obtrusive if not integrated into the design. The following policies should be considered when designing a solar system and when siting a home or addition:

1. Align solar equipment and panels faces with ~~that of~~ the underlying roof slope where feasible. Avoid panels with slopes that are different than that of the roof.
2. Integrate the design of the equipment and panels into the design of the roof. Avoid a tacked on appearance.
3. Locate roof mounted solar equipment and panels below ridgelines and on sides of roofs away from street view wherever possible. Non-glare and non-reflective type panels should be utilized where possible.
4. The design and placement of roof mounted solar equipment and panels should account for heights of existing trees and future growth. This applies to both trees on-site and on neighboring properties.
5. Orient the massing of the home and roof forms away from the side yards of neighbors as much as possible to minimize blocking their solar access.

6. On flat roofs, set solar back from the edge to reduce visibility.

~~2.~~

7. Siting of new homes and additions should avoid shading existing solar systems and should take into consideration potential shading issues related to future solar installations on neighboring properties.

~~3-8.~~ Minimize roof penetrations on South and West facing roofs.

~~MK.~~ Glossary~~Glossary.~~

Bulk: The qualitative readily visible composition and perceived shape of a structures volume. Bulk is affected by variations in height, setbacks and stepbacks of upper stories.

Garage (Side Loaded): A garage with it entry doors located at an angle (usually a right angle) to the street which provides vehicular access to the garage.

Grading: Any excavation or filling of earth or combination of these activities.

Height Limit: The maximum allowed height of a structure as established by the Zoning Code utilizing an imaginary surface located at the allowed number of feet above and parallel to the existing grade.

Hillsides: Lands with slopes exceeding 15% slope

Mass: The three-dimensional form of a building

Roof Pitch: The angle of the sloped planes of a roof, often expressed in the rise in inches for every foot of horizontal distance, as in a 4 in 12 pitch.

Scale: Building elements and details as they proportionally relate to each other and to humans.

Setbacks: The horizontal distances a structure is held away from the adjacent property lines. Also use to describe the offset distance between horizontal or vertical planes of a structure.

Solar Access: The potential to receive adequate sunlight in order for certain areas of a dwelling or lot to catch the sun's energy.

Trellis: A horizontal light framework, freestanding or projecting from the face of a wall, use for the purposes of sun shading and/or support of vines or other vegetation.

RESOLUTION NO. PC 23-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION FORWARDING A RECOMMENDATION TO THE MORRO BAY CITY COUNCIL FOR ADOPTION OF INTERIM RESIDENTIAL DESIGN GUIDELINES.

WHEREAS, the Planning Commission of the City of Morro Bay has conducted nine (9) separate hearings, over a 10-month period in support of development of Interim Residential Design Guidelines; and

WHEREAS, the City Staff conducted a Residential Design Guidelines workshop on May 16, 2015 to provide additional opportunity for public input; and

WHEREAS, the Interim Residential Design Guidelines are necessary to implement the neighborhood compatibility policies found in the General Plan and Local Coastal Program; and

WHEREAS, the intent of the Interim Residential Design Guidelines is to be utilized for an initial twelve (12) month period with evaluation of the effectiveness of the Guidelines to take place at the end of the 12-month period with the possibility that guideline use may continue beyond that period of time; and

WHEREAS, the Interim Residential Design Guidelines are to be applied to both additions to existing single family residences and to the development of new single family homes.

WHEREAS, the Interim Residential Design Guidelines may be amended from time to time during the initial 12-month period by the Planning Commission or City Council; and

WHEREAS, Planning Commission has duly considered all evidence, including the testimony of from the public, interested parties, and the evaluation and recommendations by staff; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Action 1: Findings. Based upon all the evidence, the Commission recommends City Council adopt the following finding:

California Environmental Quality Act (CEQA)

A. That the Design Guidelines fall within the General Rule CEQA exemption, which states that where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment that the activity is not subject to CEQA. The Interim Design Guidelines fall within this category because the document is intended to improve the quality of the built environment by including

guidelines and consideration which, taken together, will improve project design and allow new development to better fit in with their local neighborhood character. The Interim Design Guidelines do not promote new development, nor do they permit a higher density than is otherwise allowed by the General Plan, Local Coastal Program, and Zoning Code. They also do not remove, alter, or supplant any existing review processes, required findings, or zoning overlays. Rather the Interim Design Guidelines provide a way for decision makers and community members to consider certain aesthetic and other design considerations which may protect and improve the built environment as part of the existing discretionary approval process.

Section 2. Action. The Planning Commission does hereby recommend City Council adoption of the Interim Residential Design Guidelines.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 16th day of June, 2015 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary