



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, August 4, 2015
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Richard Sadowski

Vice-Chair Katherine Sorenson
Commissioner Michael Lucas

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Approval of minutes from the Planning Commission meeting of June 2, 2015.
Staff Recommendation: Approve minutes as submitted.

A-2 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: #CP0-469 and #UP0-414

Site Location: 1147 West Street, Morro Bay, CA

Project Description: Request for a Coastal Development Permit and Conditional Use Permit to demolish a 375 square-foot residential structure and a portion of an 1,100 residential structure and construct a new two-story, 2,805 square-foot dwelling, with an attached 580 square-foot garage and 277 square feet of upper level deck area on a 6,302 square-foot bluff top lot on the westerly side of West Street within the Beach Street Specific Plan area. The property is zoned Duplex Residential with a Planned Development and Specific Plan overlay (R-2PD/SP) This project is located in the Coastal Commission appeal jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303(a), Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

B-2 Case No.: #CP0-470 and #UP0-415

Site Location: 1149 West Street, Morro Bay, CA

Project Description: Request for a Coastal Development Permit and Conditional Use Permit to demolish an 1,100 square-foot residential structure and construct a new two-story, 2,805 square-foot dwelling, with an attached 580 square-foot garage and 277 square feet of upper level deck area on a 6,774 square-foot bluff top lot on the westerly side of West Street within the Beach Street Specific Plan area. The property is zoned Duplex Residential with a Planned Development and Specific Plan overlay (R-2/PD/SP) This project is located in the Coastal Commission appeal jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303(a), Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

B-3 Case No.: #UP0-420

Site Location: 454 Yerba Buena, Morro Bay, CA

Project Description: Request for Conditional Use Permit approval to add habitable floor area to a non-conforming structure located in the R-1/S.1 Single-Family Zoning District. The applicant proposes to add a 195 square-foot second-story addition to an existing 804 square-foot single-family home with nonconforming side-yard setbacks and nonconforming lot coverage. This project is located outside of the Coastal Commission appeal jurisdiction.

CEQA Determination: Categorically Exempt, Section 15301(e), Class 1

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

- C. UNFINISHED BUSINESS - NONE
- D. NEW BUSINESS - NONE
- E. PLANNING COMMISSIONER COMMENTS
- F. COMMUNITY DEVELOPMENT MANAGER COMMENTS
- G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on August 18, 2015 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6261 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill’s/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City’s website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City’s web site. If legitimate coastal resource

issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$263 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.

- B. PUBLIC HEARINGS - NONE
- C. UNFINISHED BUSINESS - NONE
- D. OLD BUSINESS

D-1 Design Guidelines Review

Staff contact: Scot Graham, Community Development Manager
<https://youtu.be/atcZAvk1snQ?t=4m45s>

Chairperson Tefft opened Public Comment period.
<https://youtu.be/atcZAvk1snQ?t=20m45s>

Robert Krause, resident stated his concerns with the landscape design guidelines.

Chairperson Tefft closed Public Comment period.
<https://youtu.be/atcZAvk1snQ?t=27m25s>

Section A – Relationship to Homes in Immediate Neighborhood

- No changes to this section. Noticing has been changed to 500 feet.
- Site Notice and post cards have been changed to a bright yellow.

Section B – Scale and Mass

Chairperson Tefft opened Public Comment period seeing none, closed the Public Comment period.
<https://youtu.be/atcZAvk1snQ?t=54m15s>

Section C – Surface Articulation

- No Changes

Section D – Building Orientation

- No Changes

Chairperson Tefft opened Public Comment period seeing none, closed the Public Comment period.
<https://youtu.be/atcZAvk1snQ?t=1h10m13s>

Section E – Garage and Driveway Design

- Additional language changes
- Commissioner Luhr stated he had concerns regarding the 32 foot wide lot requirement of a 2-car garage.

Section F – Building Materials

There was some language stricken from the last review, but no other changes were made.

Chairperson Tefft opened Public Comment period seeing none, closed the Public Comment period.
<https://youtu.be/atcZAvk1snQ?t=1h17m6s>

Section G – Architectural Elements

- Commissioners changed wording and added # 3 and # 4 to this section.

Section H – Additions to Existing Homes

- Commissioners changed the wording in # 2 in this section.

Chairperson Tefft opened Public Comment period seeing none, closed the Public Comment period.

<https://youtu.be/atcZAvk1snQ?t=1h40m7s>

Section I – Privacy

- Commissioners made changes to the preamble and changed language in # 2 and combined # 3 & # 4.

Section J – Landscaping

- Commissioners changed language in # 5 and suggested to include maximum height of tree.

Section K – Hillside Development

- Commissioners changed language in this section and removed # 4.

Chairperson Tefft opened Public Comment period.

<https://youtu.be/atcZAvk1snQ?t=2h34m45s>

Kenny Blackwell, resident, stated he needed clarification on the tree height and number four of this section.

Bob Krause, resident, stated his concerns for Section I regarding windows and asked what other materials could be used. He also noted it would be helpful if there was a simple illustration for Section J, # 4. He suggested maybe to include an illustration with a sloped lot and one with a flat lot.

Chairperson Tefft closed Public Comment period.

<https://youtu.be/atcZAvk1snQ>

Section L – Solar Access

Changes made:

- Planning of new construction will need to orient roof planes and pitch to maximize the potential for future solar electric and solar thermal systems.
- Minimize penetration south and west facing roof areas; include pre-wiring and pre-piping for roof top solar energy and thermal heating system.

E. PLANNING COMMISSIONER COMMENTS

Commissioner Lucas asked Graham if there would be any future canceled meetings

Graham responded the City Council had canceled their second meeting in July, and it would be up to the Commissioners if they would want to do the same.

<https://youtu.be/atcZAvk1snQ?t=3h16m15s>

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

Graham notified the Commissioners the Embarcadero Policy Memo for the View will be coming up in the next meeting.

SYNOPSIS MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –JUNE 2, 2015

G. ADJOURNMENT

The meeting adjourned at 9:22 p.m. to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on June 20, 2015, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.

Approved projects are deleted on next version of log.

Agenda No: A-2

Meeting Date: August 4, 2015

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready										
1	Merrifield	1147 West St.	4/24/15	CP0- 469 & UP0-414	Coastal Development and Conditional Use Permits to construct new SFR subject to bluff development stds.	WM. Under review. Scheduled for 8-4 meeting		PN - Conditionally approved with comments-6/1/15		wm
2	Wright	1149 West St.	4/24/15	CP0-470 & UP0-415	Coastal Development and Conditional Use Permits to construct new SFR subject to bluff development stds.	WM. Under review. Scheduled for 8-4 meeting		PN - Conditionally approved with comments-6/1/15		wm
3	Martin	454 Yerba Buena	6/8/15	UP0-420 & AD0-102	Conditional Use Permit and Parking Exception to add 195 sf as a second story addition to existing SFR for a total new square footage of 999 sf	JG - Under initial review. Scheduled for PC 8/4		RPS approved with no PW conditions 6/12/15		jg
4	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New 2,209sf SFR and 551sf garage w/ approx. 300 sf of decking on vacant lot.	WM. Revising MND. MND complete and routed to State Clearinghouse on 6-6-15. Anticipated PC hearing on August 18, 2015	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RPS conditionally approved per memo of 7/20/14		wm
5	Central Coast Women For Fisheries	Coleman Drive/ Morro Rock	6/22/15	UP0-424	CUP for placement of lifesize statue near Morro Rock.	Review complete. Schedule for PC hearing on 9-1-15.				cj
6	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ. Visited site to review project 10-24-14. Concurrent request sent re bluff to Coastal Commission 10-27-14. Discussed project with Coastal staff 11-18-14 with referral to CCC Geologist 1-2015. Met w/ Coastal geologist 2-12-15 on site. Resubmittal received and review complete for PC hearing.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13. Began resubmittal review 3/18/15		cj
7	Reynolds	2509 Greenwood	6/25/15	CP0-484	Admin. Coastal Development permit for demolition of burned home and replace with 26 x 26 manufactured home.	Under Initial Review. Noticed 8/3. JG		PN- Conditionally approved per memo dated 7/28/15		jg

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
8	Frederick/Haseley/Dunn	413 Shasta	1/14/15	CP0-458	Admin Coastal Development Permit for Demo and Reconstruction of 2,195 sq. ft. SFR w/546 sq. ft. garage	Under Review. JG. Correction letter sent 2/23. JG. Email correspondence w/ agent 3/2. JG. Resubmittal rcv'd. Under review. JG. Incomplete letter sent 4/23 Resubmittal received 6/17. Under review. Incomplete letter sent. Corrections rcv'd. Noticed 7/30.		PN- Plans disapproved per memo dated 7/6/15.		jg
9	Smothers/ Fortino	570 Kings	5/27/15	CP0-477	Admin Coastal Development Permit for new SFR and 3 garage on R-2 zoned lot with existing SFR.	Reviewed for completeness. Corrections sent and resubmitted received 7-23-15		PN- Conditionally approved with comments - 6/12/15		cj
30 -Day Review, Incomplete or Additional Submittal Review										
10	SLCUSD	235 Atascadero	7/20/15	CP0-485 / UP0-427	CDP & CUP for new pool and student services building at Morro Bay High School	Under initial review				cj
11	Jordan	340 Tulare	7/10/15	UP0-426 & AD0-103	CUP & Parking Exception for 650 sf 2nd floor addition, remodel garage to provide covered enclosed parking with 1 tandem driveway space	Under initial review. JG				jg
12	Verizon Wireless	1401 Quintana	6/12/15	CP0-483/UP0-421	Coastal Development and Conditional Use Permits to construct unmanned telecommunications facility	JG - Under Initial Review. Correction letter sent 7/31		PN- Conditionally approved per memo dated 7/8/15		jg
13	Whitaker	1170 Front St.	6/12/15	UP0-422	Request for extension of UP0-120/AD0-024 for 6 unit hotel	Waiting on letter of request for time extension before scheduling for PC				jg
14	Tobin	326 Panay	6/11/15	UP0-425/ CP0-480	New SFR in R-4 zone. CDP and MUP for 1486sf SFR and 446sf garage					wm
15	Reddell	310 Trinidad	6/1/15	CP0-479	Admin Coastal Development Permit for new SFR on a vacant lot	JG - Under initial review. Sent back for corrections and need an MUP		PN- Conditionally approved with comments - 6/12/15		jg
16	Gambriel	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports.		RPS returned incomplete per memo of 6/12/15		wm
17	Robson	110 Orcas St.	4/24/15	CP0-471	Coastal Development Permit for new SFR in S2A overlay. Design includes semi-subterranean garage	Under review. Corrections sent 6-25-15. Anticipate PC hearing 9-1-15.				cj

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18	Boisclair	900 Main St.	4/24/15	CP0-472 & UP0-416	Business change. Combine 2 separate uses, bar & restaurant	JG. Under initial review. Correction letter sent 5/14		JSW - Conditionally Approved with commetns		jg
19	Verizon / Knight	702 Morro Bay Blvd	4/15/15	UP0-412 & CP0-466	Conditional Use Permit & Coastal Development permit for new Verizon antenna and cabinets, associated facilities	Under review. Correction letter sent.		ME- Conditionally approved per memo 4/22/2015		jg
20	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM. Incomplete letter sent 4/28/15.				wm
21	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG		JW approved		jg
22	Volk	800 Quintana	1/29/15	CP0-461 & UP0-405	CDP / CUP for Verizon wireless telecommunications facility	CJ - under review. Incomplete letter sent 3-2-15. Revised RF report submitted 6-5-15. Requested RF clarification via email 7-9-15.		RPS approved		cj
23	Knight / Verizon	485 Piney Way	1/29/15	CP0-460 & UP0-402	CDP /CUP for Verizon wireless telecommunications facility (panel antennas & equipment cabinet)	CJ - RF Compliance Report under review. Incomplete letter sent 3-2-15. Revised RF report submitted 6-5-15. Requested RF clarification via email 7-9-15.		ME conditionally approved per memo 2/3/15		cj
9	Chivens	431 Kern	1/6/15	CP0-456	Admin Coastal Development Permit. Demo existing structure. New 3,000+/- SF SFR. Development of 2nd home where previous CDP for 431 Kern approved 9-2014. WM	Incomplete letter sent 2/3/15. Resubmitted plans 5/15/15.	2/23/15 FD Cond App TP	RPS has approved plans 2/23/15 pending submission of sewer video and ECP prior to Building Permit.		wm
10	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG		RPS disapproved on 12/15/14 since proposed pole site will be removed during undergrounding project		jg
11	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story building (retail/restaurant use) & outdoor improvements	Under review. Deemed incompletd. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent . Resubmittal received.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj
12	Wordeman	2900 Alder	7/28/14	CP0-447	Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.	Under Review. Correction letter sent 8-27-14. Resubmittal received 1-26-15. JG. Correction letter sent. Partial resubmittal rcv'd 2/23. Under Review. JG. Correction letter sent 1/30 JG. Resubmittal received 6/8/15. Under review. Correction letter sent	BC- conditionally approved.	PN-Disapproved for plan corrections per memo dated 6/12/15		jg

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
13	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15. Resubmittal received 5/8/15.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13.9/9/14 FD App TP. 2/10/15 FD Not App TP.	PN- Conditionally approved per memo dated 6/3/2015; RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17.		cj
14	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing.Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 6/11/12		
15	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Project referred to env. consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ env. consultant re environmental 4/7 CJ. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Waiting on plan revisions. CJ.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 11/20/12	No Comments to date	cj
Planning Commission Continued projects										
16	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
17	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. Info hold letter sent 9-2-14. Resubmitted 10-28-14. Initial Study/MND complete & routed to State Clearinghouse 1-2-15. Anticipate 2-17-15 PC hearing. Comments received from Coastal Commission regarding eelgrass mitigation. Dock revision in progress. Project continued to 3-17-15 mtg to ensure legal noticing. Applicant submitted revised dock plans based on Coastal Commission feedback re: MND. Supplemental info sent to Coastal on 5/12/15. Applicant consulting with Coastal staff regarding MND environmental 7-2015. CJ	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	PW requirements will be addressed with Building Permit review	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13	cj
18	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16	?	
Environmental Review										
19	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Pre-application										
20		Morro Mist			Final Map questions on 23 lot community housing project.	Received property inquiries from interested parties regarding conditions of approval on final map.				cj
21		Black Hill Villas			Final Map questions on 16 lot tract map approved by Coastal	Coordinating with applicant regarding conditions of approval relative to recent Coastal Commission approval of CDP.				cj
Grants										
22	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide			\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A		
23	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14.	No review performed.	N/R		
24	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				
Project requiring coordination with another jurisdiction										
25	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
26	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		
Final Map Under Review										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
27	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.		sg/cj
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive										
28	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		
29	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. Applicant requested to keep project open 9-25-14.	Please route project to Building upon resubmittal.	N/A		cj
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
30	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission.	No review performed.			wm
31	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review performed.	N/A		sg
Projects Appealed or Forwarded to City Council										
32	Fowler	1185-1215 Embarcadero	10/6/14	UP0-058	Precise Plan submittal for landside improvements	Under review. Incomplete letter 11-5-14. CJ. Fire comments emailed to applicant 11-26-14. Resubmittal received 12/29/14. Correction sent 1-29-14. Resubmittal 3-19-15. PC Agenda 5/19/15. Council date 6/23/15.		RPS provided comments for revision of Precise Plan on 2/11/15		cj

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33	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report brought to PC on 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop held 5/19/14. Result of sign workshops to be agendized for Planning Commission.	No review performed.	N/R		sg
Projects in Building Plan Check										
34	Sangren	675 Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A		
35	Eisemann	535 Atascadero	7/1/15	B-30547	SFR Alteration and addition of new bathroom			PN- Plans approved, owner will now add new sewer lateral. -7/13/15		
36	Gannage	185 Azure Street	5/11/15	B-30465	SF Additon of 44sf , relocated new kitchen, remodel bathrooms, replace façade, doors, windows, roof & water heater.			PN- Plans approved - 7/10/15		
37	Bernal	624 Bernardo	6/10/15	B-30520	SFR Addition of 732sf bed/bathroom			PN- Disapproved. Need lateral sewer video & updates -7/6/15		
38	Wiseman	671 Bernardo	6/5/15	B-30429	SFR Interior Remodel	JG-2nd submittal under review. Approval 6/23. JG		JSW 2015-06-17 - second submittal denied, no changes made from 1st submittal JSW 2015-07-02 - Video Submitted; conditionally approved for final routing JSW 2015-07-09 - Plans approved		
39	LaPlante	3093 Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit on hold until Planning process complete. CJ.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC per memo of 1/18/12.		
40	Fowler	1213 Embarcadero	9/11/14	B-30126	Phase 1-B Water Site Improvements	Requested correction 10-7-14 - Received resubmitted - applicant will need pre-construction eelgrass survey prior to issuance	BC- under review.	PN- Approved 5/2/15, no memo.		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
41	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process.	Memo of 11/29/13. CDP application should address soil revegetation		
42	Appleby	381 Fresno	7/31/14	B-30227	Carport & Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	BC-on hold pending Planning process.	RPS - No PW comments if street access is not required for storage bldg		
43	Decker	430 Fresno	6/8/15	B-30491	Convert existing laundry room into bathroom.			PN- Disapproved, needs sewer video & bwv 6/12/15		
44	Funk	672 Fresno	7/10/15	B-30558	SFR Addition	Corrections sent 7-27-15. CJ				
45	Reynolds	2509 Greenwood	6/25/15	B-30544	Demo burned down home & install new 26x46 manufactured house.	OK. JG. Noticed for CDP 8-3		PN- Disapproved, need sewer video- 7/28/15		
46	Monie	2577 Greenwood Ave.	5/18/15	B-30471	2-story Addition to SFR: 935sf			PN- Disapproved, needs sewer video & EC 6/8/15		
47	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	WM. Expecting Admin Use Permit application for minor revision to approved design.	BC- on hold pending planning process.	Return for resolution of Planning issues. BCR - Conditionally approved per memo of 10/9/14		
48	Najarian	2295 Juniper	5/5/15	B-30471	New SFR: 2,216sf living, 522sf garage, 121sf patio & entry, and permeable paver driveway.	Under review 7-2-15. WM		PN- Plans conditionally approved pending plan corrections 6/5/15		
49	Chivens	431 Kern		B30482	Demo Existing 625 S.F. Residence Construct 2,274 S.F. SFR & 550 S.F. Garage	Conditionally approved 7-16. WM	Returned for corrections June 23, 2014			
50	Tobin	315 Las Vegas	6/16/15	B-30524	New SFR	Waiting for CDP approval. JG. Building plans approved		PN- Disapproved, needs sewer video & corrections. 6/19/15		
51	Tobin	325 Las Vegas	6/16/15	B-30533	New SFR	Waiting for CDP approval. JG. Building plans approved		PN- Disapproved, needs sewer video & corrections. 6/19/15		
52	Candy Fish Sushi	898 Main	2/23/15	B-30380	Demise wall to add inside seating in restaurant	Approved 2/26/15 JG				
53	Dyson	117 Main	8/18/14	B-30248	Covered Patio	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
54	Tobin	2500 Main	6/16/15	B-30534	New SFR	Waiting for CDP approval. JG. Building plans approved		PN- Disapproved, needs sewer video & corrections. 6/19/15		
55	Tobin	2540 Main	6/16/15	B-30535	New SFR	Waiting for CDP approval. JG. Building plans approved		PN- Disapproved, needs sewer video & corrections. 6/19/15		
56	Bernal	560 Monterey	6/12/15	B-30443	Addition of 158sf to existing SFR (includes roof & deck)	Approved. WM		PN- Approved 7/8/15, no memo.		
57	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved 9/25/14. CJ.	BC-returned for corrections 10/2/14.	RPS returned for corrections per memo of		
58	Dennis	270 Piney	2/13/15	B-30383	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG. Building permit approval 6/25/15	Approved 7-16-15. CL	PN- Plans Approved- 7/22/15		
59	Dennis	290 Piney	2/13/15	B-30382	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG		ME approved 4/16/2015		
60	St. Tim's	962 Piney	6/5/15	B-30470	Addition and interior remodel- 147sf	JG. Needs modification to existing planning permit. Adjustment AD0-023 approved, noticed 6/19.		PN-Disapproved, needs sewer video, per memo 7/10/15		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
61	Salin & Torino	845 Ridgeway	6/12/15	B-30156	Demo/Reconstruct SFR.	JG Under review. Approved.		PN- Plans conditionally approved, Special Enrcoachment Permit req. -7/21/15		
62	Holland	990 Ridgeway	5/20/15	B-30488	Addition of 222sf bed/bath, remodel of 726sf & demo of non-permitted garage.	Disapproved 5-21-15. WM		PN- Plans disapproved. Need lateral sewer video & plans update -7/6/15		
63	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
64	Lindsey	413 Shasta	1/14/15	B-30357	Demo / Reconstruct SFR.	Needs CDP. Under review. JG. Noticed 7/30		PN- Plans disapproved. Need lateral sewer video & plans update -7/6/15		
65	Turner	356 Yerba Buena	5/21/15	B-30490	SF Additon & Alteration addition of 2,026sf	Corrections sent 6-19-15 CJ.		PN- Plans disapproved. Needs sewer lateral & plan update -7/7/15		
Projects & Permits with Final Action										
1	Bellisario	1125 Las Tunas	5/28/15	CP0-478	Admin Coastal Development Permit for new SFR on a vacant lot/ 2185sf SFR and 580sf garage	JG - Under initial review. Noticed 7/17. Admin permit issued 7/30		PN- Conditionally approved with comments - 6/12/15		jg
2	Combs	460 & 490 Errol St.	4/19/15	CP0-467	Removal of 2 residential structures on property	Project near archaeologically sensitive area. Incomplete letter sent to applicant 5/13/15. Spoke with Applicant 6/4/15 - Arch monitoring contract in process. Admin permit issued 7-21-15.				cj



AGENDA NO: B-1

MEETING DATE: August 4, 2015

Staff Report

TO: Planning Commissioners

DATE: August 4, 2015

FROM: Whitney McIlvaine, Contract Planner

SUBJECT: Coastal Development and Conditional Use Permits (CP0-469/UP0-414 and CP0-470/UP0-415) to allow demolition of existing residential structures and construction of two new single-family houses on two adjacent lots in the Embarcadero bluff area at **1147 and 1149 West Street**.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECTS by adopting Planning Commission Resolutions 25-15 and 26-15 which include the Findings and Conditions of Approval for each project as depicted on development plans dated June 5, 2015.

APPLICANTS/AGENT:

William Merrifield, Owner of 1147 West St.
A. J. Wright, Owner of 1149 West St.
Chuck Stevenson, Agent

LEGAL DESCRIPTION/APN:

066-034-023: 1147 West Street
066-034-022: 1149 West Street

PROJECT DESCRIPTION:

Plans show demolition of two vacant residential structures and construction of two new single family homes, each on its own lot. The proposed two-story houses are nearly identical with different architectural surface treatment for the exteriors. Each house has 2,805 square feet of living area, a 580 square foot garage and a 277 square foot second story balcony at the rear of the house facing west. The home at 1149 West Street is sited further back from the street due to the lot's slightly greater depth.

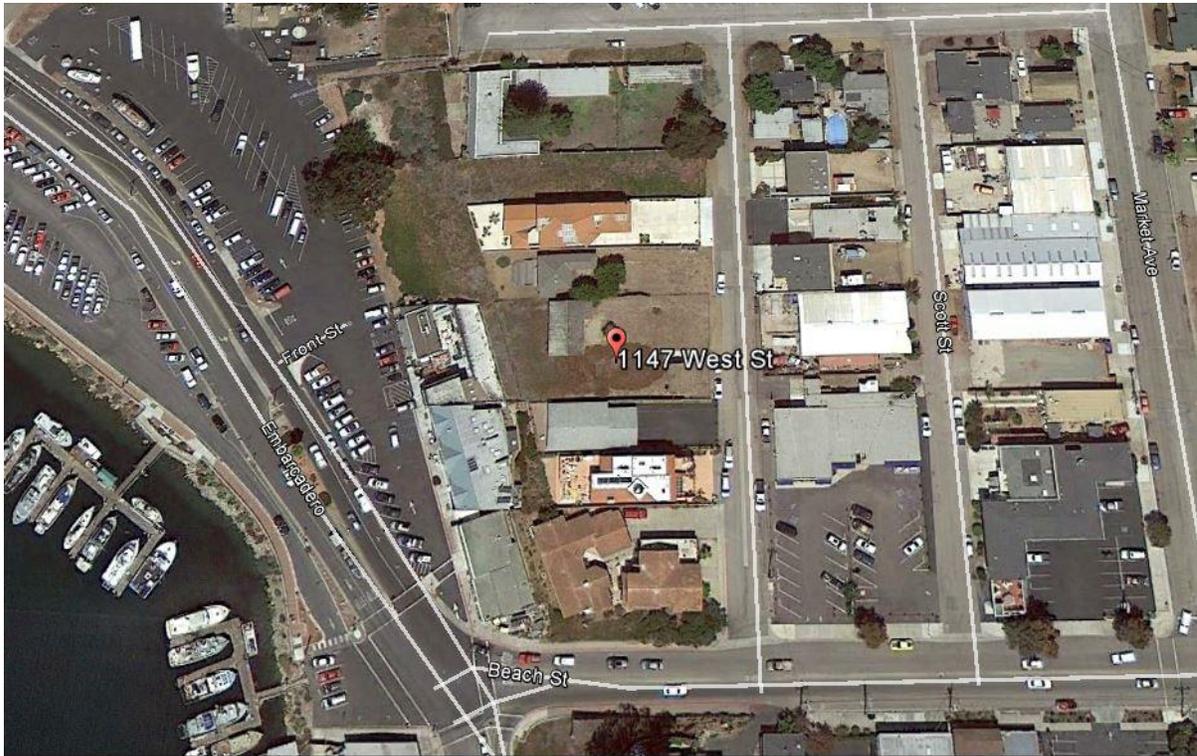
PROJECT SETTING:

The projects are located on two adjacent lots on the bluff above and to the east of the Embarcadero. Both lots are nearly flat. The bluff edge is approximately along the westerly property lines. The face of the bluff slopes down to development on Front Street. The entire site

Prepared By: WM

Department Review: SG

(both lots) is currently developed with two vacant residential structures, one approximately 1,100 square feet and one approximately 375 square feet. The project sites are zoned Duplex Residential with a Planned Development overlay, which requires additional architectural and site development review. The projects are also within the Beach Street Specific Plan area. The bluff top lots along West Street are developed with one and two story houses. The lots along the inland side of West Street are developed with a combination of residential and commercial uses.



<u>Adjacent Zoning/Land Use</u>			
North:	R-2/PD/SP Residential	South	R-2/PD/SP Residential
East:	C-2/PD/SP and C-VS/PD/SP Custom auto body and second floor residential	West:	C-VS/S-4/SP Restaurant and Motel

Site Characteristics	
Lot Sizes	6,302 SF at 1147 West St. and 6,774 SF at 1149 West St.
Existing Use	Vacant Residential
Terrain	Level
Vegetation	Non-native grasses and iceplant
Access	West Street

General Plan, Zoning Ordinance & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low/Medium Density Residential
Base Zone District	Duplex Residential (R-2)
Zoning Overlay District	Planned Development (PD)
Specific Planning Area	Beach Street Specific Plan(SP)
Coastal Zone	Located in the Coastal Zone within appeals jurisdiction
Bluff Property	Subject to Bluff Development Standards

Zoning Ordinance Standards		
	Standards	Proposed
Front-Yard Setback	15 feet (per the Beach Street Specific Plan)	1147 West St.: 31'5" 1149 West St.: 42'7"
Side-Yard Setback	10% of average lot width with 5' maximum and 3' minimum In this case, 4.1 feet	1147 West St.: 4'1" and 4'2" 1149 West St.: 4'1" and 4'7"
Rear-Yard Setback	5 feet (Bluff setback typically 20 feet)	1147 West St.: 24' * 1149 West St.: 24' *
Lot Coverage	50% allowed	1147 West St.: 39.32% 1149 West St.: 36.58%
Height within 50 feet of Bluff Edge	14 feet for flat roofs and roof deck sills; 17 feet for roofs with a 4:12 or steeper pitch	1147 West St.: 15'2.5" ** 1149 West St.: 14' 4.5" **
Height beyond 50 feet of Bluff Edge	25 feet maximum	1147 West St.: 24.6' 1149 West St.: 23.8'
Parking	2 covered and enclosed spaces	2 covered and enclosed spaces
* - See discussion of bluff development stands below		
** - exceeds maximum allowed height		

PROJECT ANALYSIS:

Background

County records indicate the existing structures were built in 1951. City records show a fence permit in 1988.

Permit Requirements

Title 17 of the Morro Bay Municipal Code (MBMC) establishes land use and zoning permit requirements. The projects at 1147 and 1149 West Street propose construction of two new single family dwellings on separate bluff top lots in the Coastal Commission appeal jurisdiction with a Planned Development (PD) overlay. These projects require Planning Commission approval of both a coastal development permit and a conditional use permit.

New single family residences west of Main Street and within the Coastal Commission appeal jurisdiction require a regular coastal development permit (MBMC Section 17.58.020H).

Development within the Planned Development overlay zone requires a conditional use permit (MBMC Section 17.40.030).

Development on bluff properties requires a conditional use permit (MBMC Section 17.45.030).

Zoning Overlays

Planned Development: The project site has a Planned Development (PD) overlay. This overlay is applied to parcels, which because of location, size, or public ownership warrant more detailed review. The overlay is applied to all lands within the Beach Street Area Specific Plan.

Beach Street Specific Plan: The proposed projects are in designated “Area B” of the Beach Street Specific Plan. Projects in this area are subject to a public view access fee of \$2.00 per linear foot of property fronting along the top of the bluff or \$100, whichever is greater. This is for the purpose of designing, constructing or maintaining a public view deck on Surf Street. The specific plan also requires the installation of frontage improvements on West Street. Conditions in resolutions for approval reflect these requirements.

Setbacks

The current R-2 zoning establishes the minimum front, side, and rear setbacks for the site, as noted in the *Zoning Ordinance Standards* table above. The westerly side setback is also subject to bluff development standards, which generally require a minimum setback of 20 feet from the

bluff edge. Lesser bluff setbacks are allowed in the Embarcadero Bluff Area (see discussion below). As noted above, the Beach Street Specific Plan allows a lesser front setback of 15 feet. The projects meet or exceed setback requirements.

Bluff Development Standards

Geologic Report: Chapter 17.45 of the Zoning Ordinance establishes bluff development standards and requires use permit approval for development of bluff properties. The projects are within the Embarcadero Bluff Area, which allows for development within the bluff buffer (typically a minimum of 20 feet from the bluff edge) and on the bluff face, subject to setback and/or construction recommendations in the required geologic report to ensure structural stability without altering bluff landforms or requiring protective devices such as extensive retaining walls.

The applicants submitted a geotechnical engineering report, prepared by Earth Systems Pacific (April 13, 2015). The report notes that on-site sandy soils are highly erodible and includes recommendations for minimizing erosion during and after construction. Because the lower portion of the bluff to west of the building sites is retained by development along Front Street and the upper portion is not overly steep, the report states, "...no additional structural considerations with respect to the slope are considered necessary for the structures in their proposed location." Planning conditions 9 and 10 in the resolutions for approval would require each of the projects to comply with recommendations in the geotechnical engineering report.

Drainage: New development on coastal bluff properties is required to install drainage systems to carry run off inland to the nearest public street. The City has adopted storm water management standards to protect water quality and control run-off flow from new and redevelopment projects. Since both projects have more than 2,500 sq ft of new or redeveloped impervious area, they are subject to these requirements. Plans submitted for a building permit must demonstrate compliance with the bluff development and storm water management standards (Public Works condition 2).

Height Limits: New development within 50 feet of the bluff edge is limited to a maximum height of 14 feet; however, for peaked roofs with a minimum pitch of 4 in 12 and other architectural features, a height of up to 17 feet may be permitted. The proposed rear roof deck sills extend above the 14-foot height limit. ("Other architectural features" is a term not specifically defined in the zoning ordinance. A similar height standard is called out in the S-2 Overlay, which specifically prohibits roof deck railings from exceeding the 14-foot height limit.) The pitched roofs at the rear of each structure are 3 in 12. A portion of the pitched roof at the rear of the 1147 West Street site is shown on the plans to be taller than 14 feet. Planning condition 8 is included in each resolution to require both structures to comply with the bluff development height standards.

Public Coastal Views: Development on bluff properties is also subject to visual analysis of potential impact on public coastal views. Standing in front of the property on West Street, parts of Morro Rock are visible over the top of the main single story house and also between the two onsite structures.



With construction of the proposed projects, the rock will be glimpsed between homes as is the case elsewhere along West Street. Although these projects will reduce coastal views, the impact is less than significant given that West Street is lightly traveled, especially by pedestrians.



Street Elevation

The new structures will be visible from the Embarcadero. (The photo to the right is taken from the Front Street parking lot. The larger existing house on the project site is visible to the right and above the restaurant and motel.)

Photo simulations of the built homes will be available as part of a power point presentation at the meeting.



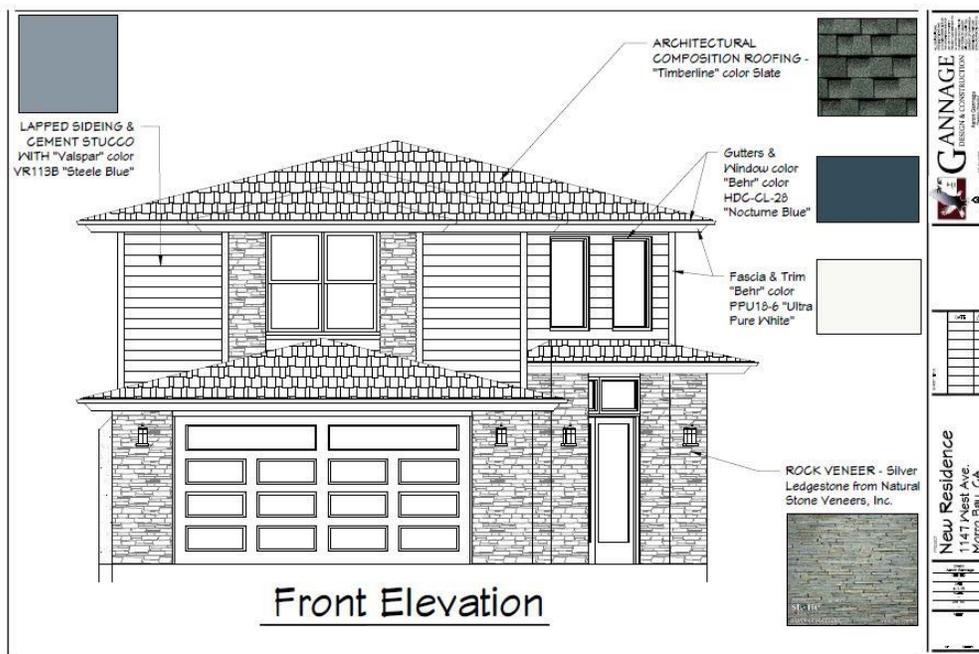
Architectural Design

The project will be an improvement over the appearance of the existing structures which are in poor condition and have been vacant for some time. A color and material exhibit was submitted for each project. (See Exhibits C and D). Structurally, the two houses are essentially identical. A different exterior treatment is proposed for each house and the front setbacks vary. The new homes should appear compatible with other newer two-story homes along this stretch of the bluff such as the one shown right at 1155 West Street, built in 2010.



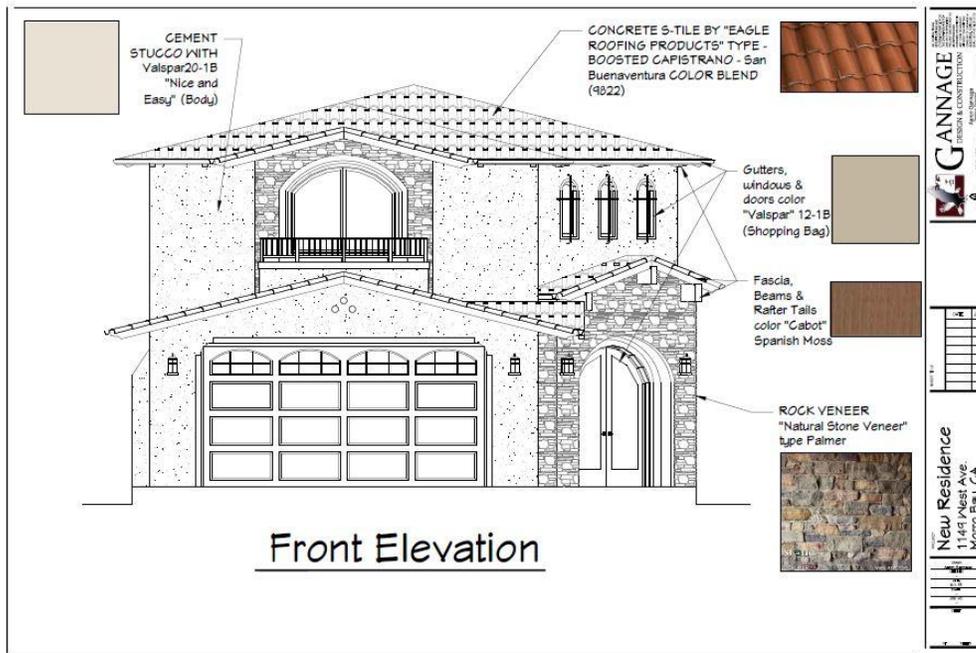
1147 West Street:

The proposed exterior treatment for 1147 West Street includes a combination of stucco, lapped siding and stone veneer. The siding and stucco color would be a medium grey. The fascia and trim would be white. The stone veneer appears to be a variegated slate blue color. A dark bluish gray is proposed for the gutters and window frames. Dark gray architectural tiles are proposed for the roof material. The color and materials exhibit also shows an arts and crafts style exterior and a roll up garage door with divided window lights in the top panel. Staff recommends using the same materials shown for the front and rear elevations on all or portions of the side elevations to improve the overall continuity of exterior architectural treatment (See Planning condition #14 in Resolution 25-15.)



1149 West Street:

The proposed exterior treatment for 1149 West has a Spanish/Mediterranean look in warm earth tones. The primary materials are stucco and stone veneer. Windows are both arched and rectilinear. Reddish concrete tiles are proposed for the roof. The window treatment, garage door design, and exterior light fixtures are all in keeping with the proposed architectural style.



Landscaping

Bluff development standards state that landscaping shall be designed to minimize ecological and geologic disturbance and that only plant materials recognized for drought tolerance and erosion control shall be authorized on bluffs and bluff tops.

An identical, conceptual landscape plan is included for each project. While the plan is somewhat perfunctory and some plant material is mischaracterized, it does illustrate areas available for landscaping. Plants called out are generally drought tolerant. Plans submitted for a building permit should identify street tree locations and clarify how landscaping will be handled in the areas designated for drainage basins. (See Planning condition #11 in both resolutions.) Varying the landscape plan for each site is a good way to individualize the projects.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for these projects and staff determined they meet the requirements for a Categorical Exemption under CEQA Guidelines Section 15303(a) Class 3. That exemption applies to construction of a limited number of new structures in an urbanized area.

PUBLIC NOTICE:

Notice of a public hearing on these items was published in the San Luis Obispo Tribune newspaper on July 26, 2015, and all property owners of record and occupants within 500 feet of the subject sites were mailed notification of this evening's public hearing and invited to voice any concerns regarding the applications.

CONCLUSION:

With incorporation of the recommended conditions of approval, the projects are consistent with all required development standards of the Zoning Ordinance and applicable provisions of the General Plan and Local Coastal Plan.

Staff recommends that the Planning Commission conditionally approve the requested Coastal Development Permits and Conditional Use Permits for the projects at 1147 and 1149 West Street as shown on the project plans date stamped June 5, 2015 by adopting Planning Commission Resolutions 25-15 (1147 West Street) and 26-15 (1149 West Street).

EXHIBITS:

- Exhibit A – Planning Commission Resolution 25-15 (1147 West Street)
- Exhibit B - Planning Commission Resolution 26-15 (1149 West Street)
- Exhibit C – Color and Material Board (1147 West Street)
- Exhibit D – Color and Material Board (1149 West Street)
- Exhibit E – 1147 West Street Plan Reductions dated 6-1-15
- Exhibit F – 1149 West Street Plan Reductions dated 6-1-15

Full size plans and the Geotechnical Engineering Report (Earth Systems Pacific April, 2015) are available for review at the Community Development Dept. at 955 Shasta Street.

EXHIBIT A
RESOLUTION NO. PC 25-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING COASTAL DEVELOPMENT PERMIT (CP0-469) AND CONDITIONAL
USE PERMIT (UP0-414) TO ALLOW DEMOLITION OF VACANT RESIDENTIAL
STRUCTURES AND CONSTRUCTION OF A NEW 3,385 SINGLE-FAMILY
DWELLING ON A BLUFF PROPERTY IN THE COASTAL APPEAL JURISDICTION
AT 1147 WEST STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on August 4, 2015, for the purpose of considering Coastal Development Permit CP0-469 and Conditional Use Permit UP0-414 for demolition of existing structures and construction of a new single-family home at 1147 West Street, on a bluff property in the Coastal Commission appeal jurisdiction; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 3(a), for construction of a limited number of new structures in an urbanized area. None of the exceptions found in CEQA Section 15300.2 apply to this project.

Coastal Development Finding

1. As conditioned, the project is consistent with applicable provisions of the Local Coastal Program for new single-family residences and bluff development in the Embarcadero Area.

Conditional Use Permit and Planned Development Findings

1. As conditioned, the project is consistent with the General Plan and Local Coastal Program regarding the location of residential uses and development of bluff property in the Embarcadero Area.

2. As conditioned, the project will not be detrimental to the health, safety and welfare of persons residing or working in the neighborhood.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-469 and Conditional Use Permit UPO-414 for property located at 1147 West Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated August 4, 2015, for the project at 1147 West Street (APN:066-034-023) depicted on plans received by the City on June 5, 2015, as part of Coastal Development Permit CP0-469 and Conditional Use Permit UPO-414, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Manager"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Manager. Any changes to this approved permit determined, by the Manager, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of

the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Manager or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Manager, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The

sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

5. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Manager.
6. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Manager. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
7. Building Height Verification: Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Manager certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor shall submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and zoning ordinance standards.
8. Bluff Standards for Building Height: Building height shall comply with the maximum bluff property building height standards, which are 14 feet for flat roofs and roof deck sills, and 17 feet for roofs with a minimum pitch of 4 in 12 within 50 feet of the edge of bluff, and 25 feet beyond 50 feet from the edge of the bluff. Height shall be measured from the average natural grade beneath the building footprint.
9. Geotechnical Engineering Report: The applicant shall comply with all recommendations contained in the geotechnical engineering report, prepared by Earth Systems Pacific (April 13, 2015).
10. Undergrounding: Prior to final occupancy clearance, the applicant shall install all utility distribution and service lines underground.
11. Landscaping: Project landscaping shall include native and drought tolerant plants. A street tree is required to be planted as part of frontage improvements. It shall be located on site within the 15-foot front setback. In addition to lower growing shrubs and groundcover, the landscape plan submitted with plans for a building permit shall include a selection of larger native and drought tolerant shrubs to the satisfaction of the Community Development Manager.
12. HVAC Location: Any HVAC system shall be located under the roof lines or on the ground outside of required setbacks and not visible from the public right of way to the satisfaction of the Community Development Manager.
13. Public View Access Fee: Projects in this area are subject to a public view access fee of \$2.00 per linear foot of property fronting along the top of the bluff or \$100, whichever is greater, payable prior to issuance of a building permit.

14. Exterior Materials: Improve the continuity of exterior finish materials by using the same materials shown for the front and rear elevations on all or portions of the side elevations.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual Projects with more than 2,500 sq ft of new or redeveloped impervious area are subject to these requirements. It appears this project is over the 2500 sq ft threshold and performance requirements 1 & 5 are required.
2. As part of plans submitted for a building permit, provide a drainage plan for the site demonstrating that it does not allow concentrated flow of storm water toward the bluff and complies with the drainage requirements of the Bluff Development Standards (MBMC 17.45.040).
3. Provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
4. Include the locations of all proposed utilities, gas, sewer, water etc. Indicate on the plans the location of the lateral and if the sewer lateral is proposed or existing. If the existing sewer lateral is going to be used the following must be completed prior to building permit issuance.
 - a. Conduct a video inspection of the conditions of existing sewer lateral prior to building permit issuance. Submit a DVD to City Public Services Department. Repair or replace as required to prohibit inflow/infiltration.
 - b. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project. (MBMC 14.07.030) Indicate on the plans.
5. A standard encroachment permit shall be required for the proposed driveway; the driveway should comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for the installation of the sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.
6. Beach Street Specific Plan: The proposed project is located in Sub-area B of this Specific Plan Area and subject to the following conditions:
 - a. Curb, gutter, sidewalk, and street trees: In addition to any other improvements

found necessary by the Planning Commission, the applicant is required to maintain or replace curb, gutter, six-foot wide sidewalks and street trees pursuant to City Standards and Municipal Code Section 14.44. Sidewalks and driveway approaches shall conform to current ADA requirements.

7. Add the following Notes to the Plans:
 - a. Any damage to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
 - b. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

BUILDING CONDITION

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

FIRE CONDITION

1. Sprinklers: Fire sprinklers shall be installed in the new single family house.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 4th day of August, 2015 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Chairperson Robert Tefft

ATTEST

Scot Graham, Community Development Manager

The foregoing resolution was passed and adopted this 4th day of August, 2015.

EXHIBIT B
RESOLUTION NO. PC 26-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING COASTAL DEVELOPMENT PERMIT (CP0-470) AND CONDITIONAL
USE PERMIT (UP0-415) TO ALLOW DEMOLITION OF VACANT RESIDENTIAL
STRUCTURES AND CONSTRUCTION OF A NEW 3,385 SINGLE-FAMILY
DWELLING ON A BLUFF PROPERTY IN THE COASTAL APPEAL JURISDICTION
AT 1149 WEST STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on August 4, 2015, for the purpose of considering Coastal Development Permit CP0-470 and Conditional Use Permit UP0-415 for demolition of existing structures and construction of a new single-family home at 1149 West Street, on a bluff property in the Coastal Commission appeal jurisdiction; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 3(a), for construction of a limited number of new structures in an urbanized area. None of the exceptions found in CEQA Section 15300.2 apply to this project.

Coastal Development Finding

1. As conditioned, the project is consistent with applicable provisions of the Local Coastal Program for construction of new single-family residences and bluff development in the Embarcadero Area.

Conditional Use Permit and Planned Development Findings

1. As conditioned, the project is consistent with the General Plan and Local Coastal Program regarding the location of residential uses and development of bluff property in the Embarcadero Area.

2. As conditioned, the project will not be detrimental to the health, safety and welfare of persons residing or working in the neighborhood.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-470 and Conditional Use Permit UPO-415 for property located at 1149 West Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated August 4, 2015, for the project at 1149 West Street depicted on plans received by the City on June 5, 2015, as part of Coastal Development Permit CP0-470 and Conditional Use Permit UPO-415, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Manager"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Manager. Any changes to this approved permit determined, by the Manager, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend

any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Manager or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Manager, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

5. Architecture: Building color and materials shall be as shown on plans as approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Manager.
6. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Manager. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
7. Building Height Verification: Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Manager certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor shall submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and zoning ordinance standards.
8. Bluff Standards for Building Height: Building height shall comply with the maximum bluff property building height standards, which are 14 feet for flat roofs and roof deck sills, and 17 feet for roofs with a minimum pitch of 4 in 12 within 50 feet of the edge of bluff, and 25 feet beyond 50 feet from the edge of the bluff. Height shall be measured from the average natural grade beneath the building footprint.
9. Geotechnical Engineering Report: The applicant shall comply with all recommendations contained in the geotechnical engineering report, prepared by Earth Systems Pacific (April 13, 2015).
10. Undergrounding: Prior to final occupancy clearance, the applicant shall install all utility distribution and service lines underground.
11. Landscaping: Project landscaping shall include native and drought tolerant plants. A street tree is required to be planted as part of frontage improvements. It shall be located on site within the 15-foot front setback. In addition to lower growing shrubs and groundcover, the landscape plan submitted with plans for a building permit shall include a selection of larger native and drought tolerant shrubs to the satisfaction of the Community Development Manager.
12. HVAC Location: Any HVAC system shall be located under the roof lines or on the ground outside of required setbacks and not visible from the public right of way to the satisfaction of the Community Development Manager.
13. Public View Access Fee: Projects in this area are subject to a public view access fee of \$2.00 per linear foot of property fronting along the top of the bluff or \$100, whichever is greater, payable prior to issuance of a building permit.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from

- new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual. Projects with more than 2,500 sq ft of new or redeveloped impervious area are subject to these requirements. It appears this project is over the 2500 sq ft threshold and performance requirements 1 & 5 are required.
2. As part of plans submitted for a building permit, provide a drainage plan for the site demonstrating that it does not allow concentrated flow of storm water toward the bluff and complies with the drainage requirements of the Bluff Development Standards (MBMC 17.45.040).
 3. Provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
 4. Include the locations of all proposed utilities, gas, sewer, water etc. Indicate on the plans the location of the lateral and if the sewer lateral is proposed or existing. If the existing sewer lateral is going to be used the following must be completed prior to building permit issuance.
 - a. Conduct a video inspection of the conditions of existing sewer lateral prior to building permit issuance. Submit a DVD to City Public Services Department. Repair or replace as required to prohibit inflow/infiltration.
 - b. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project. (MBMC 14.07.030) Indicate on the plans.
 5. A standard encroachment permit shall be required for the proposed driveway; the driveway should comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for the installation of the sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.
 6. Beach Street Specific Plan: The proposed project is located in Sub-area B of this Specific Plan Area and subject to the following conditions:
 - a. Curb, gutter, sidewalk, and street trees: In addition to any other improvements found necessary by the Planning Commission, the applicant is required to maintain or replace curb, gutter, six-foot wide sidewalks and street trees pursuant to City Standards and Municipal Code Section 14.44. Sidewalks and driveway approaches shall conform to current ADA requirements.
 7. Add the following Notes to the Plans:
 - a. Any damage to City facilities, i.e. curb/berm, street, sewer line, water line, or

any public improvements shall be repaired at no cost to the City of Morro Bay.

- b. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

FIRE CONDITION

1. Fire Sprinklers: Fire sprinklers shall be installed in the new single family house.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 4th day of August, 2015 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Chairperson Robert Tefft

ATTEST

Scot Graham, Community Development Manager

The foregoing resolution was passed and adopted this 4th day of August, 2015.



Perspective View

EXHIBIT C



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GANNAGE
DESIGN & CONSTRUCTION

Aaron Gannage
Design Director

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San Luis Obispo, CA 93406
E-mail: aaron@gannagedesign.com

Or: 805-512-2899
Fax: 805-512-5997

SHEET TITLE

DATE	Δ

PROJECT
New Residence
1147 West Ave.
Morro Bay, CA

DRAWN
Aaron Gannage

CHECKED
-

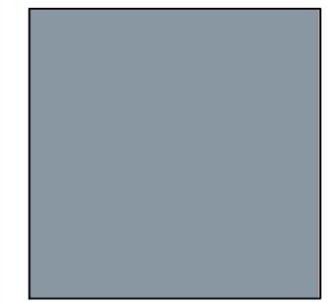
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-

JOB NO.
-

SHEET

OF SHEETS



LAPPED SIDING & CEMENT STUCCO WITH "Valspar" color VR113B "Steele Blue"

ARCHITECTURAL COMPOSITION ROOFING - "Timberline" color Slate



Gutters & Window color "Behr" color HDC-CL-28 "Nocturne Blue"



Fascia & Trim "Behr" color PPU18-6 "Ultra Pure White"



ROCK VENEER - Silver LedgeStone from Natural Stone Veneers, Inc.



Front Elevation

EXHIBIT C

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Garaga® Garage Doors

ACADIA 138, UNCOMPROMISING QUALITY AND VALUE

The Acadia 138 is the only solution when wanting to add uncompromising style and beauty to your home without sacrificing superior Garaga quality and durability. This door is designed to withstand any environment where superior insulation is not a top priority.

1 3/8"-thick galvanized steel door. Polyurethane-injected insulation provides R-12 thermal resistance. Baked on polyester paint coating.



Components of a system that is 100% Garaga **100% GARAGA**



Add Arts and Crafts allure to a traditional Craftsman or deluxe modern home with this tall Imperial bronze outdoor wall light. The handsome details of the square cast aluminum housing are enhanced with warm opaque linen glass that softens the single light inside, reducing glare and hot spots. A beautiful home accent from the Quoizel outdoor lighting Hillcrest Collection.

- Medium-size, updated Arts and Crafts outdoor wall light.
- Imperial bronze finish.
- Cast aluminum construction.
- Opaque linen glass.
- Design by Quoizel lighting.
- Takes one maximum 150 watt incandescent or 23 watt CFL bulb or equivalent (not included).
- Designed to reduce glare and hotspots.
- ETL-listed.
- Mount as pictured only.
- 9" wide.
- 20" high.
- Extends 9 3/4" from the wall.
- Wallplate is 13" by 5".
- Height from center of wall opening is 6 1/2".

QUOIZEL

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Fax: 805-537-9897



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Prespective View

EXHIBIT D



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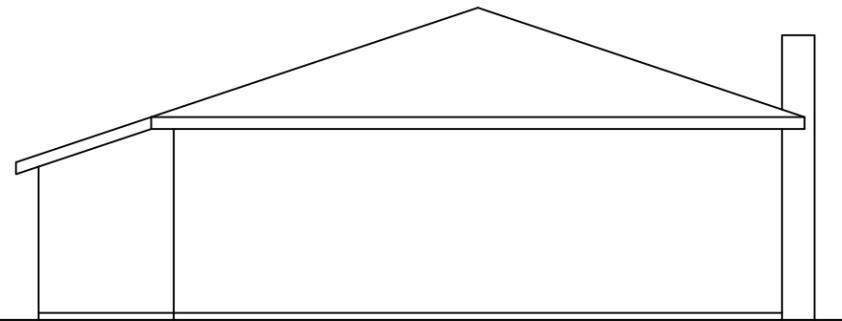
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Street Elevation

EXHIBIT D

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 AND SHALL BE RESTRICTED TO
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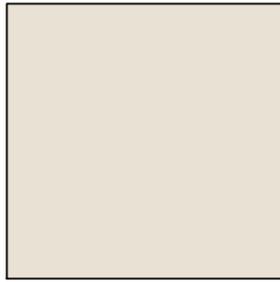


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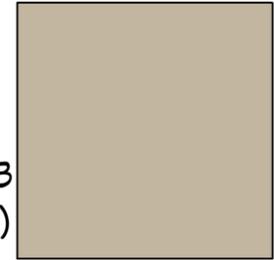


CEMENT
STUCCO WITH
Valspar20-1B
"Nice and
Easy" (Body)

CONCRETE S-TILE BY "EAGLE
ROOFING PRODUCTS" TYPE -
BOOSTED CAPISTRANO - San
Buenaventura COLOR BLEND
(9822)



Gutters,
windows &
doors color
"Valspar" 12-1B
(Shopping Bag)



Fascia,
Beams &
Rafter Tails
color "Cabot"
Spanish Moss



ROCK VENEER
"Natural Stone Veneer"
type Palmer



Front Elevation

EXHIBIT D

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1149 West Ave.
Morro Bay, CA

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Amarr® Garage Doors

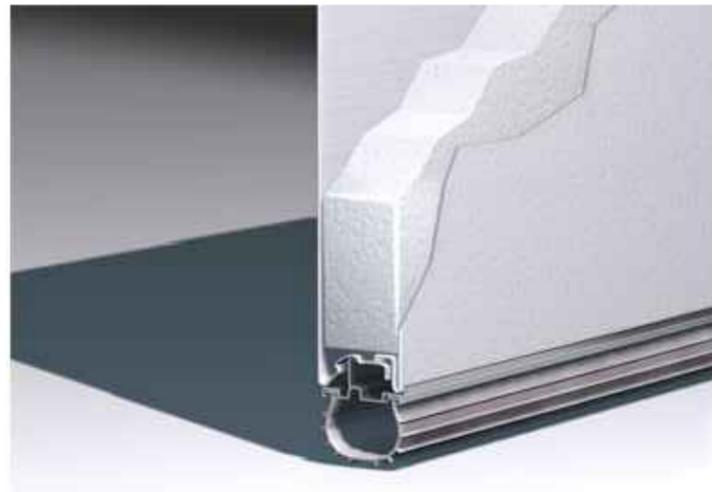
Timeless beauty and affordability. Featuring the Safe Guard system, the Amarr Stratford collection is made with durable, low-maintenance, standard gauge steel and is available in over 150 door designs.

R-Value 6.48-6.64

Maintenance Low Safety High

Warranty 15 years - Lifetime

Door Style



STRATFORD 3000

Triple-Layer: Steel + Insulation + Steel

For the toughest, most energy-efficient steel door, a Stratford 3000 triple-layer door includes the ultimate in thermal properties, plus a layer of steel for a finished interior look and added durability.

- Heavy-Duty Exterior and Interior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Thermal Insulation
- Superior Energy Efficiency
- Extra Quiet Operation



Lavish Mediterranean styling from John Timberland® recalls the romance and magic of the port city of Marseille. Champagne hammered glass is paired with rich detailing and a Valencia bronze finish.



- Valencia bronze finish.
- Champagne hammered glass.
- Takes three 40 watt bulbs (not included).
- 21 3/4" high x 9" wide.
- Extends 10" from the wall.
- Backplate is 16" high, 5 1/2" wide.
- Mounting point to top of fixture is 8 1/4".

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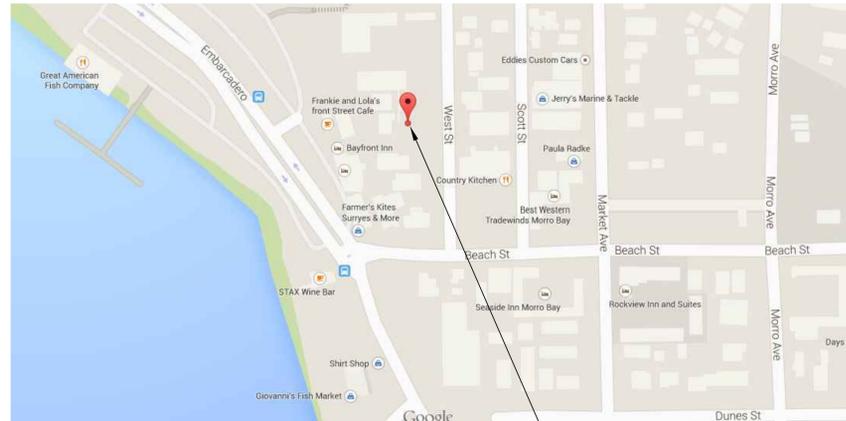
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Morro Bay, CA

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DATE
6-1-15
SCALE
JOB NO.
SHEET

OF SHEETS

New Residence

1147 West Ave., Morro Bay, CA



Vicinity Map

SITE LOCATION

Consultant Directory

Designer

Gannage Design & Construction
P.O. 14502
San Luis Obispo, CA 93406
PH: (808) 212-3699
Contact: Aaron Gannage

Engineer

AE|Allshouse Engineering, Inc.
205 Suburban Road, Suite 1
San Luis Obispo, CA 93401
PH: (805) 439-1910
Contact: Mike Allshouse

Sheet Index

T-1	Title Sheet, Building Info, Existing Site Plan
A-1	Existing & Proposed Site Plan
L-1	Proposed Landscape Plan
A-2	Proposed First & Second Floor Plan
A-3	Door & Window Schedule
A-3	Proposed Elevations

General Notes

- All work described in the drawings shall be verified by the contractor for dimension, grade, extent and compatibility to the existing site. Any discrepancies and unexpected conditions that affect or change the work described in the Contract Documents shall be brought to the Architect's attention immediately. Do not proceed with the work in the area of discrepancies until all such discrepancies are resolved. If the Contractor chooses to do so, he shall be proceeding at his own risk.
- Omissions from the drawings and specification or the mis-description of the work which is manifestly necessary to carry out the intent of the drawings and specifications, or which is customarily performed, shall not relieve the Contractor from performing such omitted or mis-described details of the work as if fully and completely set forth and described in the drawings and specifications.
- Dimensions shown shall take precedence over drawings scale or proportion. Larger scale drawing shall take precedence over smaller scale drawings.
- The Contractor shall coordinate with the Owner for the selection of all plumbing fixtures including toilets, tub/shower, lavatories, sinks and all appropriate faucets, trim and drains. The Owner shall select all colors, finish and options.

Lot Description

APN: 066-034-011
ADDRESS: 1147 West Ave.
ZONING: R-2/PD/SP Overlay
LOT NUMBER: 7
BLOCK: 61 of the Bakersfield colony Tract
LOT AREA: 6,302 S.F.

Property Owner

Bill Merrifield
P.O. Box 1925
Morro Bay, CA 93443

Occupancy & Construction Type

SINGLE FAMILY RESIDENCE: R-3
GARAGE: U-1
CONSTRUCTION TYPE: V-B

Scope of Work

New Two Story Residence, 3 bedroom, 2 bath

Building Height

EXISTING AVERAGE NATURAL GRADE:	44.00'
FINISH SLAB:	45.00'
FINISH SECOND FLOOR:	55.00"
TOP OF STRUCTURE:	68.00"
MAXIMUM BUILDING HEIGHT ABOVE NATURAL GRADE:	24'-0"
MAXIMUM BUILDING HEIGHT ALLOWED:	25'-0"
	69.00'

Building Area

PROPOSED FIRST FLOOR LIVING AREA:	1,675 SQ. FT.
PROPOSED SECOND FLOOR LIVING AREA:	1,130 SQ. FT.
TOTAL LIVING AREA:	2,805 SQ. FT.
PROPOSED GARAGE AREA:	675 SQ. FT.
PROPOSED COVERED PATIO AREA:	128 SQ. FT.
PROPOSED SECOND FLOOR DECK AREA:	277 SQ. FT.
TOTAL PROPOSED BUILDING COVERAGE:	2,478 SQ. FT.

Lot Coverage

PROPOSED LOT COVERAGE:	2,478 SQ. FT. 39.32%
MAXIMUM LOT COVERAGE ALLOWED:	50.00%

Impermeable Surface

PROPOSED BUILDING COVERAGE:	2,478 SQ. FT.
PROPOSED HARDSCAPE:	1,000 SQ. FT.
TOTAL IMPERMEABLE SURFACE:	3,478 SQ. FT. 55.18%

Code Compliance

THIS PROJECT HAD BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE CITY OF MORRO BAY ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND I/WE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.

This project shall comply with the following model codes:
City of Morro Bay Municipal Code Ordinance 583, Title 14 MBMC
2013 California Building Code
2013 California Residential Code
2013 California Mechanical Code
2013 California Electrical Code
2013 California Plumbing Code
2013 California Energy Code
2013 California Fire Code
2013 California Green Building Standards Code

ALL DESIGN IDEAS, CONCEPTS, DRAWINGS AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE PROJECT AND ARE NOT TO BE REPRODUCED OR USED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH THEY WERE NOT ADVISED OF AT THE TIME OF PREPARATION.

GANNAGE
DESIGN & CONSTRUCTION
Aaron Gannage
Design Director



P.O. Box 14502
San Luis Obispo, CA 93406
E-mail: aaron@gannagedesign.com
OFF: 808-212-3699
Fax: 805-537-5897

DATE	△

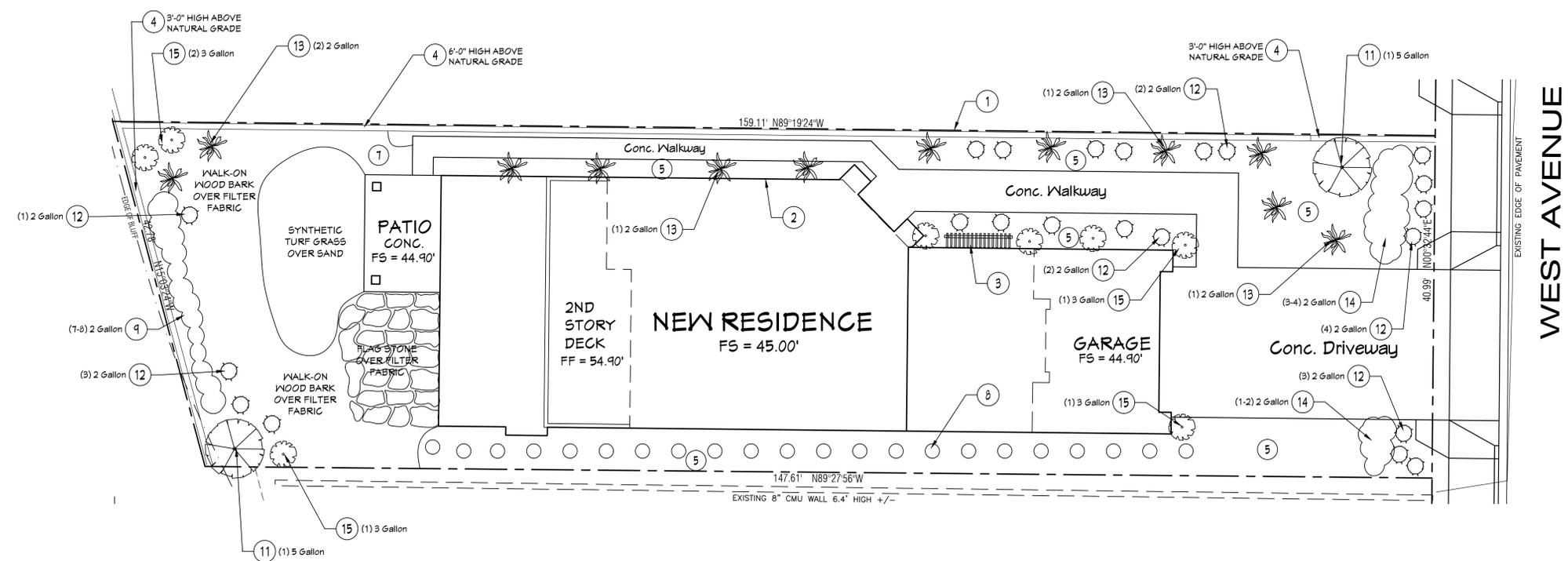
PROJECT
New Residence
1147 West Ave.
Morro Bay, CA

DRAWN	Aaron Gannage
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DATE	6-1-15
SCALE	--
JOB NO.	--
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T-1
OF SHEETS

Landscape Plan Key Notes

- 1 PROPERTY LINE
- 2 BUILDING FOOTPRINT OUTLINE
- 3 TRELLIS
- 4 PROPOSED NEW 8" CMU WALL
- 5 GRAVEL GROUND COVER OVER FILTER FABRIC
- 6 PERMEABLE TURF GRASS OVER SAND
- 7 WALK-ON WOOD BARK OVER FILTER FABRIC
- 8 12" ROUND STEPPING PAVERS
- 9 COASTAL SUCCULENT - Calandrinia spectabilis
- 10 COASTAL SUCCULENT - Yankee Point Geanothus shrub
- 11 COASTAL SUCCULENT - Manzanita Tree
- 12 COASTAL SUCCULENT - Salvia Aplana
- 13 COASTAL SUCCULENT - Agave
- 14 COASTAL SUCCULENT - Flax Gras
- 15 COASTAL SUCCULENT - Yucca



Proposed Landscape Plan

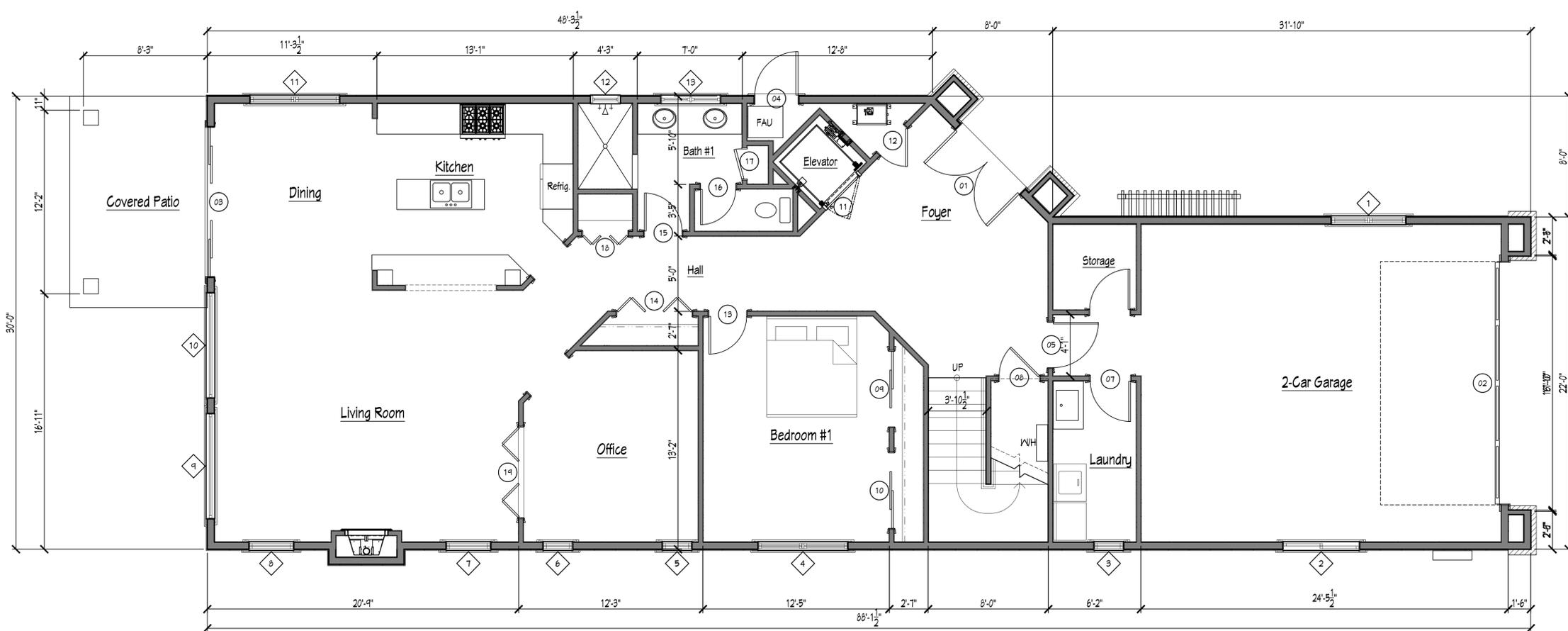
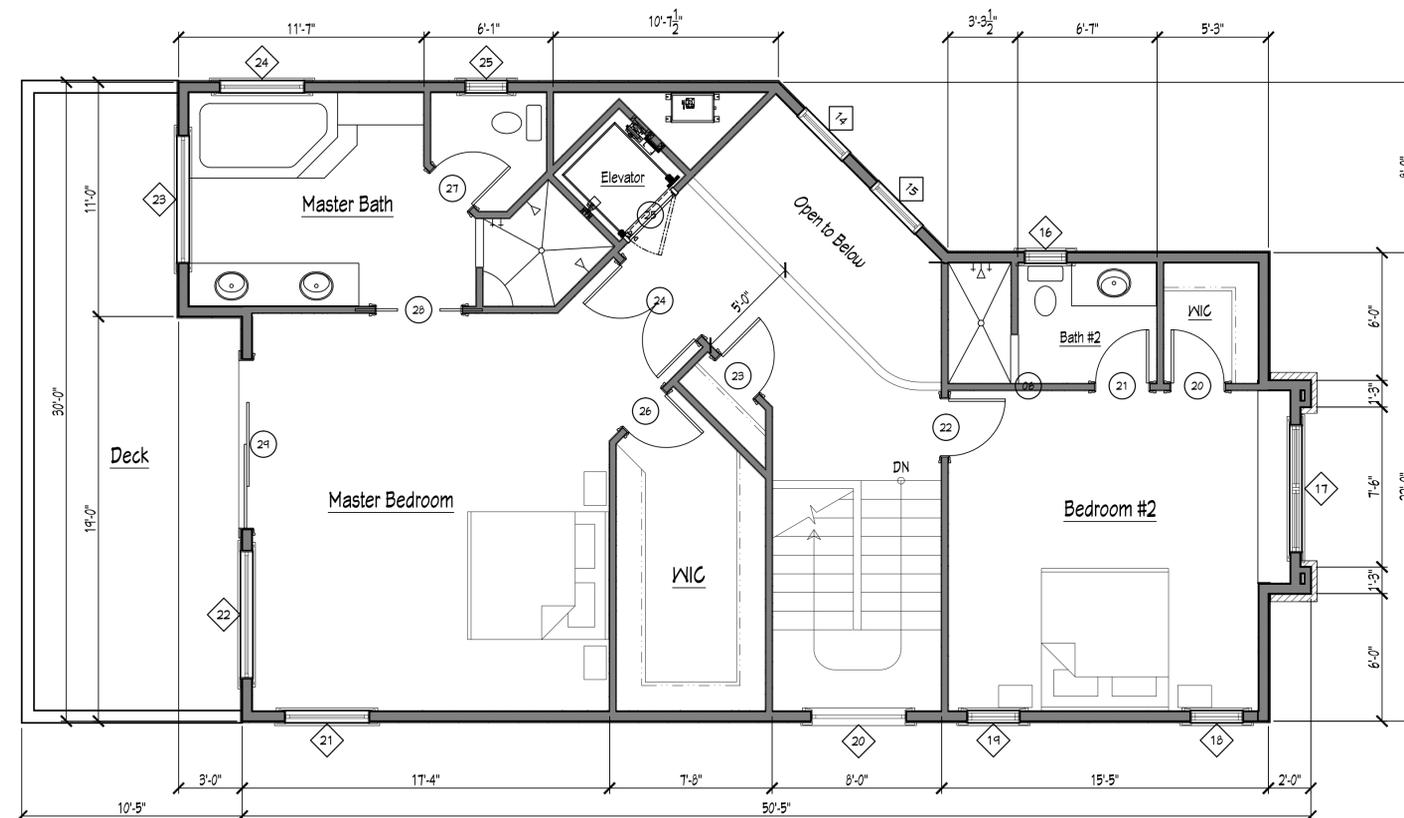
SCALE: 1/8" = 1'-0"

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1147 West Ave.
Morro Bay, CA

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A-1
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Proposed Second Floor Plan

Proposed First Floor Plan

EXHIBIT E

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Fax: 806-537-5897

DOOR AND FRAME SCHEDULE

MARK	SIZE			DOOR STYLE	MATL	GLAZING	FRAME			FIRE RATING LABEL	HARDWARE		NOTES		
	WD	HGT	THK				MATL	EL	DETAIL			SET NO		KEYSIDE RM NO	
									HEAD		JAMB				SILL
1	6'-0"	8'-0"	1 3/4"	ENTRY - HINGED - DOUBLE - FG - TRIM	--	--	--	--	--	--	--	--	--		
2	16'-0"	8'-0"	2 1/8"	OVERHEAD - SECTIONAL - S2 - RVN - 4X4 - TRIM	--	--	--	--	--	--	--	--	--		
3	10'-0"	8'-0"	?	GLIDING - OXO - PANEL 1X1V56	--	--	--	--	--	--	--	--	--		
4	3'-0"	6'-8"	1 3/4"	EXTERIOR - HINGED - SINGLE - MECH	--	--	--	--	--	--	--	--	--		
5	3'-0"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
6	2'-8"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
7	2'-8"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
8	2'-8"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
9	5'-0"	7'-0"	1 3/8"	GLIDING - DOUBLE - CLOSET	--	--	--	--	--	--	--	--	--		
10	5'-0"	7'-0"	1 3/8"	GLIDING - DOUBLE - CLOSET	--	--	--	--	--	--	--	--	--		
11	3'-0"	7'-0"	NA	ELEVATOR - HINGED - SINGLE	--	--	--	--	--	--	--	--	--		
12	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
13	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
14	5'-0"	7'-0"	1 3/8"	BI FOLDING - DOUBLE - CLOSET	--	--	--	--	--	--	--	--	--		
15	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
16	2'-4"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
17	2'-0"	7'-0"	1 3/4"	HINGED - SINGLE	--	--	--	--	--	--	--	--	--		
18	3'-0"	7'-0"	1 3/8"	BI FOLDING - DOUBLE - CLOSET	--	--	--	--	--	--	--	--	--		
19	6'-0"	4'-0"	1 3/8"	FOLDING - DOUBLE - WINDOW OPENING	--	--	--	--	--	--	--	--	--		
20	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
21	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
22	2'-8"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
23	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
24	5'-0"	7'-0"	1 3/8"	HINGED - DOUBLE - PANEL 1X2	--	--	--	--	--	--	--	--	--		
25	3'-0"	7'-0"	NA	ELEVATOR - HINGED - SINGLE	--	--	--	--	--	--	--	--	--		
26	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
27	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X25	--	--	--	--	--	--	--	--	--		
28	4'-0"	6'-8"	1 3/8"	POCKET - DOUBLE - PANEL 1X2	SOLID CORE	--	--	--	--	--	--	--	--		
29	8'-0"	7'-0"	1 3/8"	GLIDING - DOUBLE - FULL GLASS	--	--	--	--	--	--	--	--	--		

WINDOW SCHEDULE

MARK	SIZE		TYPE	HEADER HEIGHT	INTERIOR FRAME MATERIAL & COLOR	EXTERIOR FRAME MATERIAL & COLOR	REMARKS
	WIDTH	HEIGHT					
1	5'-0"	4'-0"	(2) SINGLE HUNG	7'-0"	?	--	--
2	5'-0"	4'-0"	SINGLE GLIDER	7'-0"	--	--	--
3	2'-0"	4'-0"	SINGLE HUNG	7'-0"	--	--	--
4	6'-0"	5'-0"	(2) SINGLE HUNG	7'-0"	?	--	--
5	2'-0"	5'-0"	SINGLE HUNG	7'-0"	--	--	--
6	2'-0"	5'-0"	SINGLE HUNG	7'-0"	--	--	--
7	3'-0"	5'-0"	SINGLE HUNG	8'-0"	--	--	--
8	3'-0"	5'-0"	SINGLE HUNG	8'-0"	--	--	--
9	7'-0"	6'-0"	FIXED W/SLIDER OXO BELOW	8'-0"	?	--	--
10	7'-0"	6'-0"	FIXED W/SLIDER OXO BELOW	8'-0"	?	--	--
11	6'-0"	5'-0"	(2) SINGLE HUNG	8'-0"	?	--	--
12	2'-0"	1'-6"	PICTURE	8'-6"	DOUGLAS FIR W/ DARK WALNUT STAIN	--	--
13	4'-0"	1'-6"	(2) AWNING	8'-6"	?	--	--
14	3'-0"	5'-0"	PICTURE	8'-0"	DOUGLAS FIR W/ DARK WALNUT STAIN	--	--
15	3'-0"	5'-0"	PICTURE	8'-0"	DOUGLAS FIR W/ DARK WALNUT STAIN	--	--
16	2'-0"	4'-0"	SINGLE HUNG	7'-0"	--	--	--
17	6'-0"	5'-6"	(2) SINGLE HUNG	8'-0"	?	--	--
18	2'-6"	5'-0"	SINGLE HUNG	7'-0"	--	--	--
19	2'-6"	5'-0"	SINGLE HUNG	7'-0"	--	--	--
20	4'-6"	8'-6"	PICTURE	7'-0"	--	--	--
21	4'-0"	5'-0"	FIXED W/ (2) AWNING BELOW	7'-0"	?	--	--
22	6'-0"	5'-0"	FIXED W/ (2) AWNING BELOW	7'-0"	?	--	--
23	6'-0"	5'-0"	FIXED W/ (2) AWNING BELOW	7'-0"	?	--	--
24	4'-0"	4'-6"	FIXED W/ (2) AWNING BELOW	7'-0"	?	--	--
25	2'-0"	4'-0"	SINGLE HUNG	7'-0"	--	--	--

DATE	△

SHEET TITLE

PROJECT
New Residence
1147 West Ave.
Morro Bay, CA

DRAWN
Aaron Gannage
CHECKED
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DATE
6-1-15
SCALE
--
JOB NO.
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SHEET
A-3
OF SHEETS

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PROJECT
New Residence
1147 West Ave.
Morro Bay, CA

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A-4
OF SHEETS



Entry Elevation
SCALE: 3/16" = 1'-0"



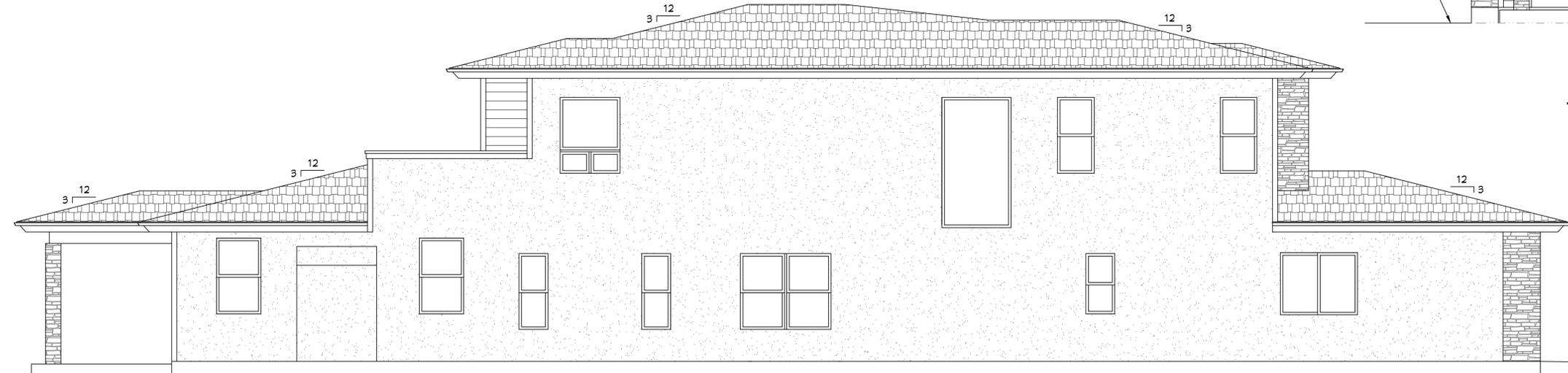
Front Elevation
SCALE: 1/4" = 1'-0"



Right Elevation
SCALE: 1/4" = 1'-0"



Rear Elevation
SCALE: 1/4" = 1'-0"



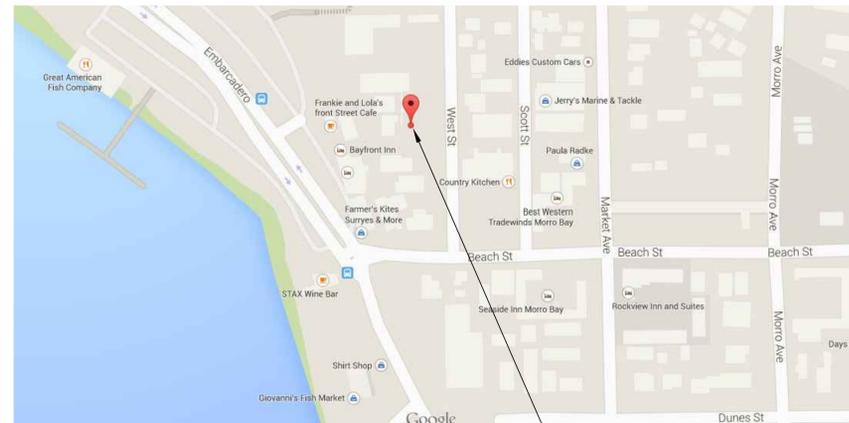
Left Elevation
SCALE: 1/4" = 1'-0"

Elevation Key Notes

- 1 ARCHITECTURAL COMPOSITION ROOFING PER OWNER, WITH 30# FELT UNDERLAYMENT
- 2 2x8 WOOD FASCIA TRIM (AT 30° ANGLE) WITH PAINT FINISH
- 3 4" METAL GUTTERS
- 4 2x4 WALL CORNER TRIM
- 5 2x4 WINDOW TRIM WITH 2x6 WINDOW SILL TRIM
- 6 "HARDIE" BOARD LAPPED SIDING OVER BUILDING MEMBRANE
- 7 3-COAT CEMENT STUCCO WITH SMOOTH FINISH OVER LATH AND PAPER
- 8 ALUMINUM CLAD WOOD WINDOWS
- 9 ALUMINUM CLAD WOOD DOORS
- 10 EXTERIOR WALL MOUNTED LIGHT
- 11 FINISH GRADE
- 12 ROCK VENEER PER OWNER
- 13 EXPOSED WOOD BEAM WITH PAINT FINISH
- 14 WOOD TRELLIS WITH PAINT FINISH
- 15 WATER FOUNTAIN

New Residence

1149 West Ave., Morro Bay, CA



Vicinity Map

SITE LOCATION

Consultant Directory

Designer

Gannage Design & Construction
P.O. 14502
San Luis Obispo, CA 93406
PH: (805) 212-3699
Contact: Aaron Gannage

Engineer

AE|Allshouse Engineering, Inc.
205 Suburban Road, Suite 1
San Luis Obispo, CA 93401
PH: (805) 439-1910
Contact: Mike Allshouse

Energy Compliance

-

Sheet Index

T-1	Title Sheet, Building Info, Existing Site Plan
A-1	Existing & Proposed Site Plan
L-1	Proposed Landscape Plan
A-2	Proposed First & Second Floor Plan
A-3	Door & Window Schedule
A-3	Proposed Elevations

General Notes

- All work described in the drawings shall be verified by the contractor for dimension, grade, extent and compatibility to the existing site. Any discrepancies and unexpected conditions that affect or change the work described in the Contract Documents shall be brought to the Architect's attention immediately. Do not proceed with the work in the area of discrepancies until all such discrepancies are resolved. If the Contractor chooses to do so, he shall be proceeding at his own risk.
- Omissions from the drawings and specification or the mis-description of the work which is manifestly necessary to carry out the intent of the drawings and specifications, or which is customarily performed, shall not relieve the Contractor from performing such omitted or mis-described details of the work as if fully and completely set forth and described in the drawings and specifications.
- Dimensions shown shall take precedence over drawings scale or proportion. Larger scale drawing shall take precedence over smaller scale drawings.
- The Contractor shall coordinate with the Owner for the selection of all plumbing fixtures including toilets, tub/shower, lavatories, sinks and all appropriate faucets, trim and drains. The Owner shall select all colors, finish and options.

Lot Description

APN: 066-034-011
ADDRESS: 1149 West Ave.
ZONING: R-2/PD/SP Overlay
LOT NUMBER: 6
BLOCK: 61 of the Bakersfield colony Tract
LOT AREA: 6,774 S.F.

Property Owner

A.J. Wright
775 Center Court
Morro Bay, CA

Occupancy & Construction Type

SINGLE FAMILY RESIDENCE: R-3
GARAGE: U-1
CONSTRUCTION TYPE: V-B

Scope of Work

New Two Story Residence, 3 bedroom, 2 bath

Building Height

EXISTING AVERAGE NATURAL GRADE:	44.00'
FINISH SLAB:	45.00'
FINISH SECOND FLOOR:	55.00'
TOP OF STRUCTURE:	68.00'
MAXIMUM BUILDING HEIGHT ABOVE NATURAL GRADE:	24'-0"
MAXIMUM BUILDING HEIGHT ALLOWED:	25'-0"
	69.00'

Building Area

PROPOSED FIRST FLOOR LIVING AREA:	1,770 SQ. FT.
PROPOSED SECOND FLOOR LIVING AREA:	1,130 SQ. FT.
TOTAL LIVING AREA:	2,805 SQ. FT.
PROPOSED GARAGE AREA:	580 SQ. FT.
PROPOSED COVERED PATIO AREA:	128 SQ. FT.
PROPOSED SECOND FLOOR DECK AREA:	277 SQ. FT.
TOTAL PROPOSED BUILDING COVERAGE:	2,478 SQ. FT.

Lot Coverage

PROPOSED LOT COVERAGE:	2,478 SQ. FT. 36.58%
MAXIMUM LOT COVERAGE ALLOWED:	50.00%

Impermeable Surface

PROPOSED BUILDING COVERAGE:	2,478 SQ. FT.
PROPOSED HARDSCAPE:	1,620 SQ. FT.
TOTAL IMPERMEABLE SURFACE:	4,098 SQ. FT. 60.49%

Code Compliance

THIS PROJECT HAD BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE CITY OF MORRO BAY ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND I/WE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.

This project shall comply with the following model codes:
City of Morro Bay Municipal Code Ordinance 503, Title 14 MBMC
2013 California Building Code
2013 California Residential Code
2013 California Mechanical Code
2013 California Electrical Code
2013 California Plumbing Code
2013 California Energy Code
2013 California Fire Code
2013 California Green Building Standards Code

ALL DESIGN IDEAS, CONCEPTS, AND OTHER INFORMATION ON THE DRAWINGS ARE FOR THE PROJECT AND ARE NOT TO BE REPRODUCED OR USED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION OF GANNAGE DESIGN & CONSTRUCTION ASSOCIATES. THEIR USE ON THE DRAWING SITE FOR WHICH THEY WERE PREPARED.

GANNAGE
DESIGN & CONSTRUCTION



Aaron Gannage
Design Director

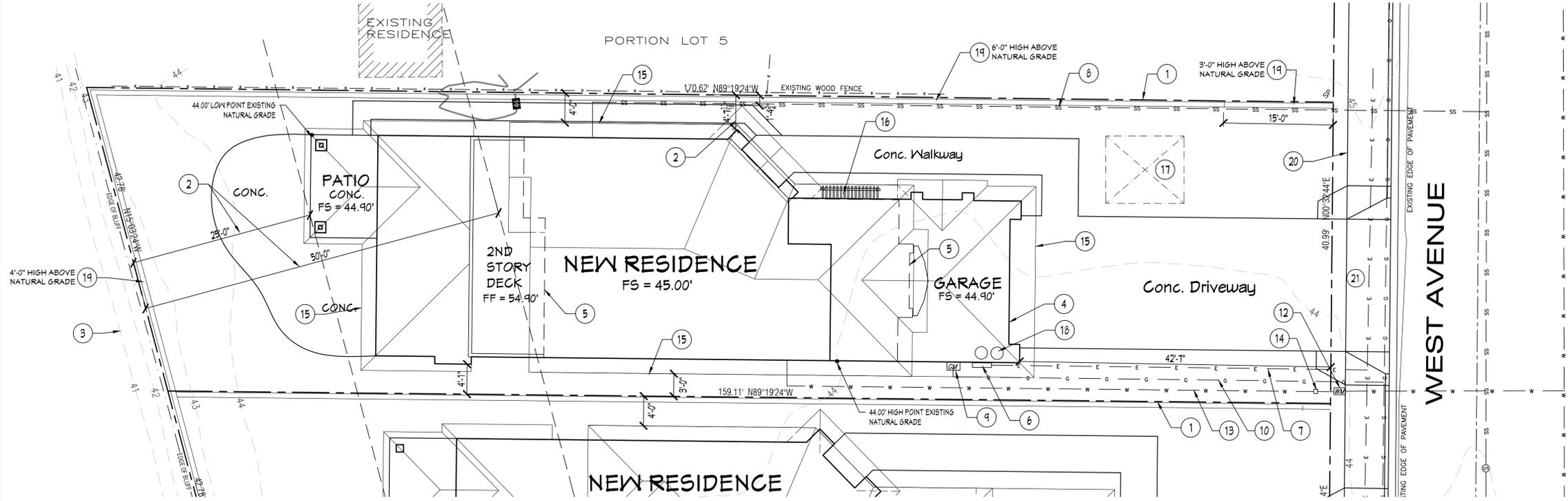
P.O. Box 14502
San Luis Obispo, CA 93406
E-mail: aaron@gannagedesign.com



DATE	△

PROJECT
New Residence
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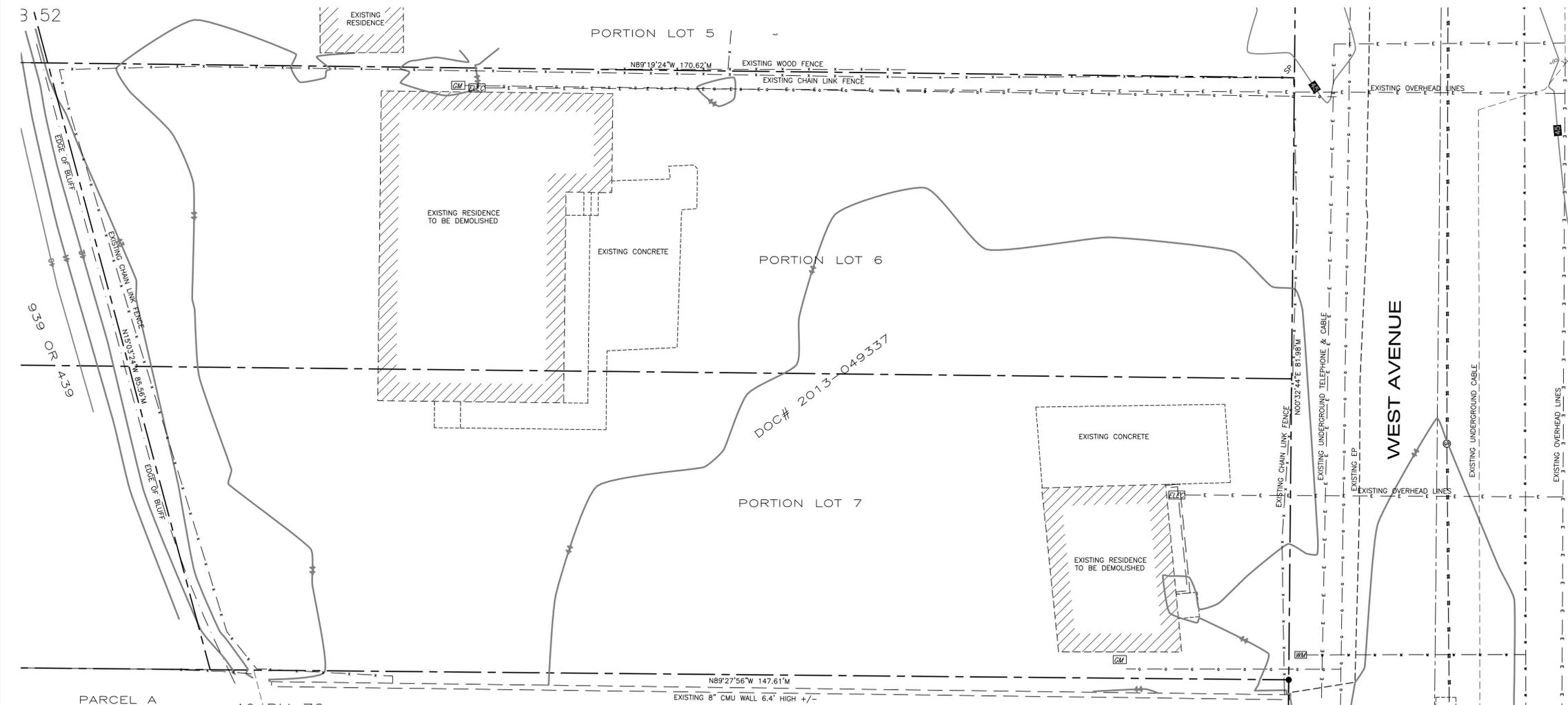


Proposed Site Plan

SCALE: 1/8" = 1'-0"

Site Plan Key Notes

- 1 PROPERTY LINE
- 2 BUILDING SETBACK
- 3 EXISTING NATURAL GRADE CONTOUR LINES
- 4 BUILDING FOOTPRINT OUTLINE
- 5 SECOND FLOOR FOOTPRINT OUTLINE
- 6 200amp MAIN ELECTRICAL PANEL
- 7 UNDERGROUND PHONE, CABLE, AND ELECTRICAL LINE
- 8 UNDERGROUND SEWER LINE
- 9 GAS METER
- 10 UNDERGROUND GAS LINE
- 11 EXISTING WATER METER
- 12 NEW WATER METER
- 13 UNDERGROUND WATER LINE
- 14 BACKFLOW PREVENTION DEVICE
- 15 ROOF OVERHANG OUTLINE & ROOF PITCH CHANGES
- 16 TRELLIS
- 17 DRAINAGE BASIN LOCATION
- 18 TRASH LOCATION IN GARAGE
- 19 PROPOSED NEW 8" CMU WALL
- 20 PROPOSED NEW CURB, GUTTER & SIDEWALK
- 21 PROPOSED DRIVEWAY APPROACH PER CITY STANDARDS



Existing Site Plan

SCALE: 1/8" = 1'-0"

EXHIBIT F

ALL DESIGN IDEAS, THE DRAWINGS ARE FOR PROJECT AND ARE NOT TO BE REPRODUCED OR USED IN ANY FORM OR MANNER WITHOUT THE WRITTEN ASSOCIATES. THEIR USE AT THE DRAWING SITE FOR WHICH THEY WERE PREPARED.

GANNAGE
DESIGN & CONSTRUCTION

Aaron Gannage
Design Director

P.O. Box 4502
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E-mail: aaron@gannagedesign.com

OFF: 808-215-9899
FAX: 805-357-5897

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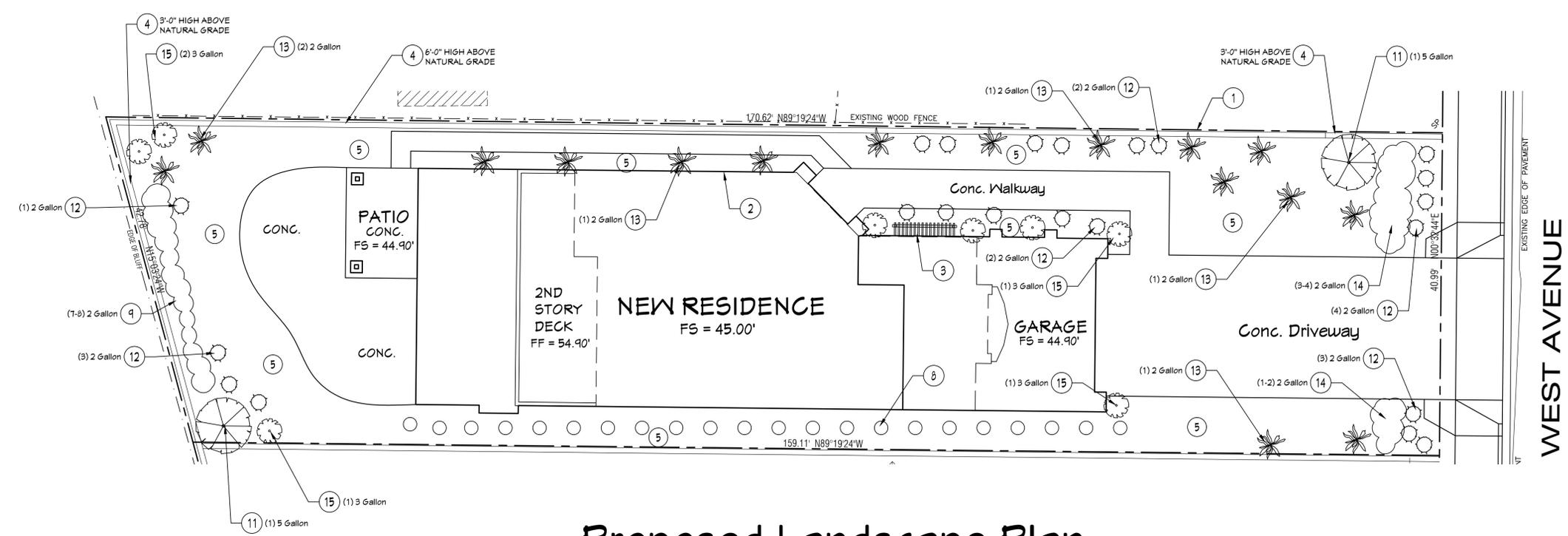
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A-1
OF SHEETS

Landscape Plan Key Notes

- 1 PROPERTY LINE
- 2 BUILDING FOOTPRINT OUTLINE
- 3 TRELLIS
- 4 PROPOSED NEW 8" CMU WALL
- 5 GRAVEL GROUND COVER OVER FILTER FABRIC
- 6 PERMEABLE TURF GRASS OVER SAND
- 7 WALK-ON WOOD BARK OVER FILTER FABRIC
- 8 12" ROUND STEPPING PAVERS
- 9 COASTAL SUCCULENT - Galandrinia spectabilis
- 10 COASTAL SUCCULENT - Yankee Point Ceanothus shrub
- 11 COASTAL SUCCULENT - Manzanita Tree
- 12 COASTAL SUCCULENT - Salvia Apiana
- 13 COASTAL SUCCULENT - Agave
- 14 COASTAL SUCCULENT - Flax Gras
- 15 COASTAL SUCCULENT - Yucca



Proposed Landscape Plan

SCALE: 1/8" = 1'-0"

ALL DESIGN IDEAS, CONCEPTS, AND DRAWINGS ARE FOR INFORMATION ONLY AND ARE NOT TO BE REPRODUCED OR USED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION OF THE ASSOCIATES. THEIR USE ON THE DRAWING SITE FOR WHICH THEY WERE PREPARED.

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Aaron Gannage
Design Director

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Fax: 805-537-5267

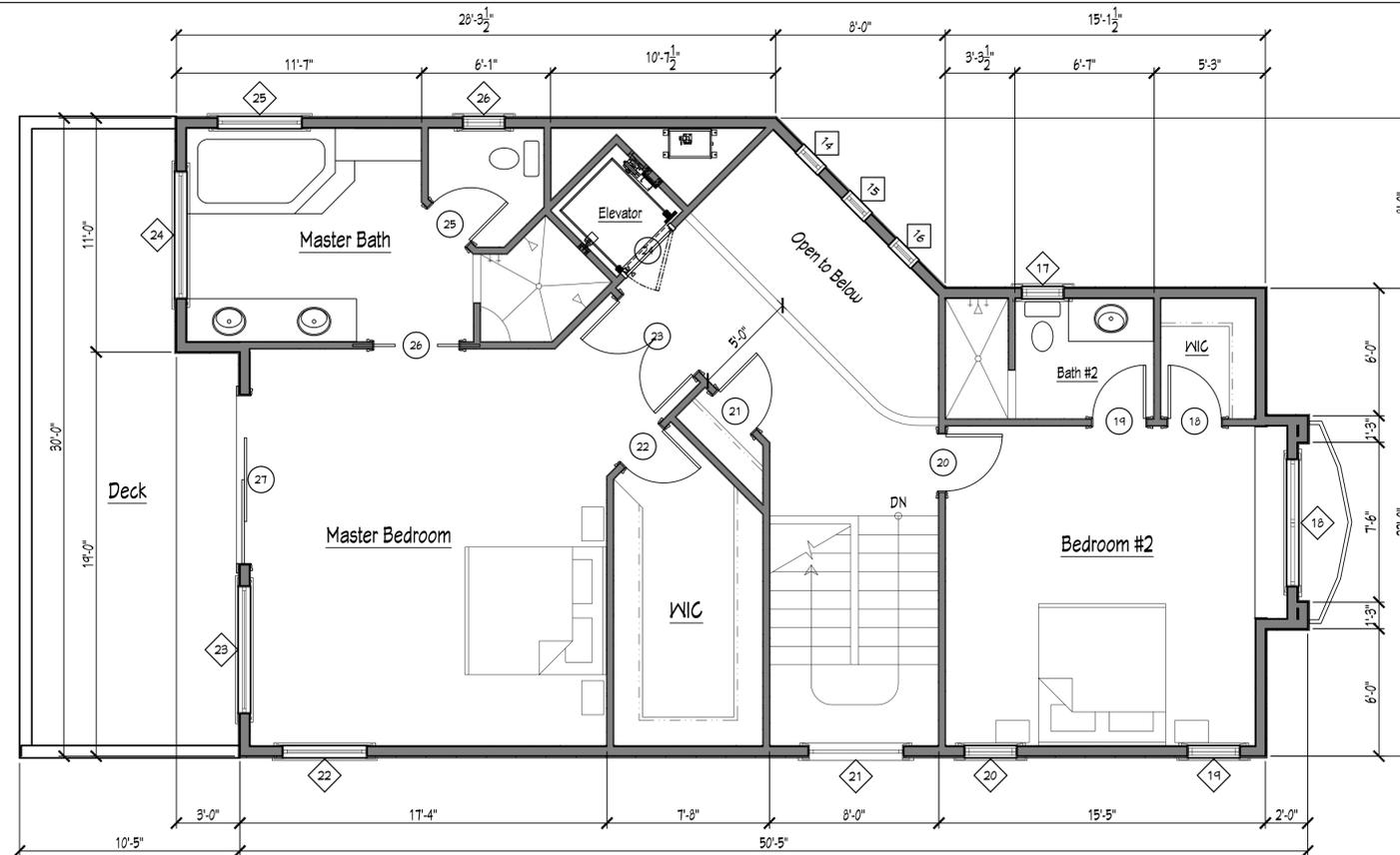
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Morro Bay, CA

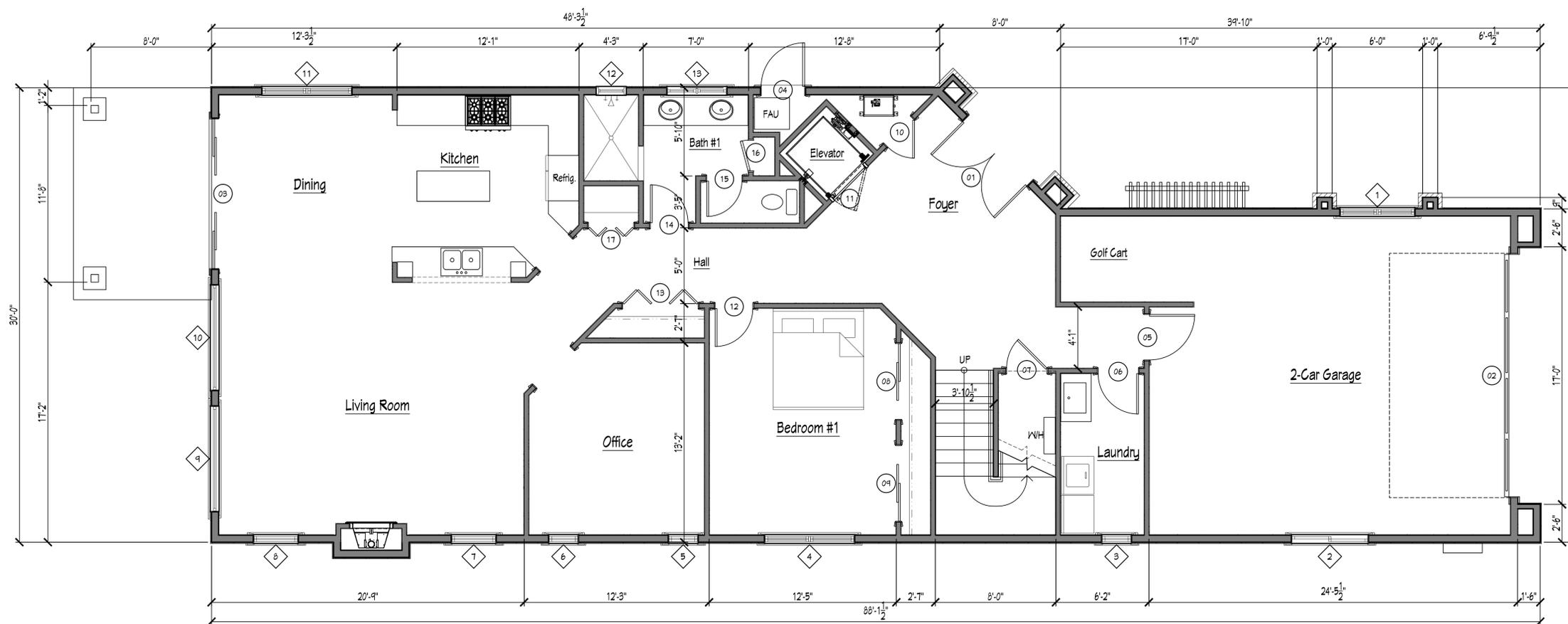
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A-1
OF SHEETS



Proposed Second Floor Plan

SCALE: 1/4" = 1'-0"



Proposed First Floor Plan

SCALE: 1/4" = 1'-0"

ALL DESIGN IDEAS, CONCEPTS, AND INFORMATION ON THESE DRAWINGS ARE FOR THE PROJECT AND ARE NOT TO BE REPRODUCED OR USED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION OF THE ASSOCIATES. THEIR USE FOR ANY OTHER PROJECT OR SITE FOR WHICH THEY WERE PREPARED IS PROHIBITED.

GANNAGE
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A-2
OF SHEETS

DOOR AND FRAME SCHEDULE

MARK	DOOR			FRAME									FIRE RATING LABEL	HARDWARE		NOTES
	SIZE			STYLE	MATL	GLAZING	MATL	EL	DETAIL			SET NO		KEYSIDE RM NO		
	WD	HGT	THK						HEAD	JAMB	SILL					
1	6'-0"	8'-0"	1 3/8"	ENTRY - HINGED - DOUBLE - FULL GLASS - HALF ROUND	WOOD CLAD	--	--	--	--	--	--	--	--	--	--	--
2	16'-0"	8'-0"	2 1/8"	OVERHEAD - SECTIONAL - S2 - RVN - 4X4 - TRIM	--	--	--	--	--	--	--	--	--	--	--	--
3	10'-0"	8'-0"	?	GLIDING - OXXO - PANEL 1X1V5G	--	--	--	--	--	--	--	--	--	--	--	--
4	3'-0"	6'-8"	1 3/4"	EXTERIOR - HINGED - SINGLE - MECH	--	--	--	--	--	--	--	--	--	--	--	--
5	3'-0"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
6	2'-8"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
7	2'-8"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
8	5'-0"	7'-0"	1 3/8"	GLIDING - DOUBLE - CLOSET	--	--	--	--	--	--	--	--	--	--	--	--
9	5'-0"	7'-0"	1 3/8"	GLIDING - DOUBLE - CLOSET	--	--	--	--	--	--	--	--	--	--	--	--
10	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
11	3'-0"	7'-0"	NA	ELEVATOR - HINGED - SINGLE	--	--	--	--	--	--	--	--	--	--	--	--
12	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
13	5'-0"	7'-0"	1 3/8"	BI FOLDING - DOUBLE - CLOSET	--	--	--	--	--	--	--	--	--	--	--	--
14	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
15	2'-4"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
16	2'-0"	7'-0"	1 3/4"	HINGED - SINGLE	--	--	--	--	--	--	--	--	--	--	--	--
17	3'-0"	7'-0"	1 3/8"	BI FOLDING - DOUBLE - CLOSET	--	--	--	--	--	--	--	--	--	--	--	--
18	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
19	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
20	2'-8"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
21	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
22	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
23	5'-0"	7'-0"	1 3/8"	HINGED - DOUBLE - PANEL 1X2	--	--	--	--	--	--	--	--	--	--	--	--
24	3'-0"	7'-0"	NA	ELEVATOR - HINGED - SINGLE	--	--	--	--	--	--	--	--	--	--	--	--
25	2'-6"	7'-0"	1 3/8"	HINGED - SINGLE - PANEL 1X2S	--	--	--	--	--	--	--	--	--	--	--	--
26	4'-0"	6'-8"	1 3/8"	POCKET - DOUBLE - PANEL 1X2	SOLID CORE	--	--	--	--	--	--	--	--	--	--	--
27	8'-0"	7'-0"	1 3/8"	GLIDING - DOUBLE - FULL GLASS	--	--	--	--	--	--	--	--	--	--	--	--

WINDOW SCHEDULE

MARK	SIZE		TYPE	HEADER HEIGHT	INTERIOR FRAME MATERIAL & COLOR	EXTERIOR FRAME MATERIAL & COLOR	REMARKS
	WIDTH	HEIGHT					
1	5'-0"	4'-0"	(2) SINGLE HUNG	7'-0"	?	--	--
2	5'-0"	4'-0"	SINGLE GLIDER	7'-0"	--	--	--
3	2'-0"	4'-0"	SINGLE HUNG	7'-0"	--	--	--
4	6'-0"	5'-0"	(2) SINGLE HUNG	7'-0"	?	--	--
5	2'-0"	5'-0"	SINGLE HUNG	7'-0"	--	--	--
6	2'-0"	5'-0"	SINGLE HUNG	7'-0"	--	--	--
7	3'-0"	5'-0"	SINGLE HUNG	8'-0"	--	--	--
8	3'-0"	5'-0"	SINGLE HUNG	8'-0"	--	--	--
9	7'-0"	6'-0"	FIXED W/SLIDER OXO BELOW	8'-0"	?	--	--
10	7'-0"	6'-0"	FIXED W/SLIDER OXO BELOW	8'-0"	?	--	--
11	6'-0"	5'-0"	(2) SINGLE HUNG	8'-0"	?	--	--
12	2'-0"	1'-6"	PICTURE	8'-6"	DOUGLAS FIR W/ DARK WALNUT STAIN	--	--
13	4'-0"	1'-6"	(2) AWNING	8'-6"	?	--	--
14	1'-6"	3'-6"	HALF ROUND PICTURE W/ROD IRON	7'-10"	DOUGLAS FIR W/ DARK WALNUT STAIN	--	--
15	1'-6"	3'-6"	HALF ROUND PICTURE W/ROD IRON	7'-10"	DOUGLAS FIR W/ DARK WALNUT STAIN	--	--
16	1'-6"	3'-6"	HALF ROUND PICTURE W/ROD IRON	7'-10"	DOUGLAS FIR W/ DARK WALNUT STAIN	--	--
17	2'-0"	4'-0"	SINGLE HUNG	7'-0"	--	--	--
18	6'-0"	5'-0"	DOUBLE CASEMENT	8'-0"	--	--	--
19	2'-6"	5'-0"	SINGLE HUNG	7'-0"	--	--	--
20	2'-6"	5'-0"	SINGLE HUNG	7'-0"	--	--	--
21	4'-6"	8'-6"	PICTURE HALF ROUND	7'-0"	--	--	--
22	4'-0"	5'-0"	FIXED W/2 AWNING BELOW	7'-0"	?	--	--
23	6'-0"	5'-0"	FIXED W/2 AWNING BELOW	7'-0"	?	--	--
24	6'-0"	5'-0"	FIXED W/2 AWNING BELOW	7'-0"	?	--	--
25	4'-0"	4'-6"	FIXED W/2 AWNING BELOW	7'-0"	?	--	--
26	2'-0"	4'-0"	SINGLE HUNG	7'-0"	--	--	--

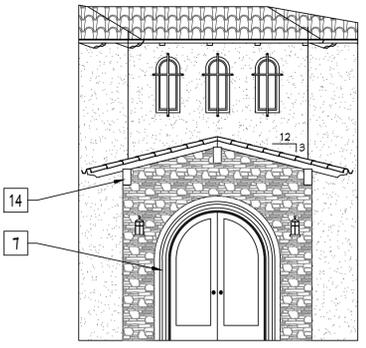
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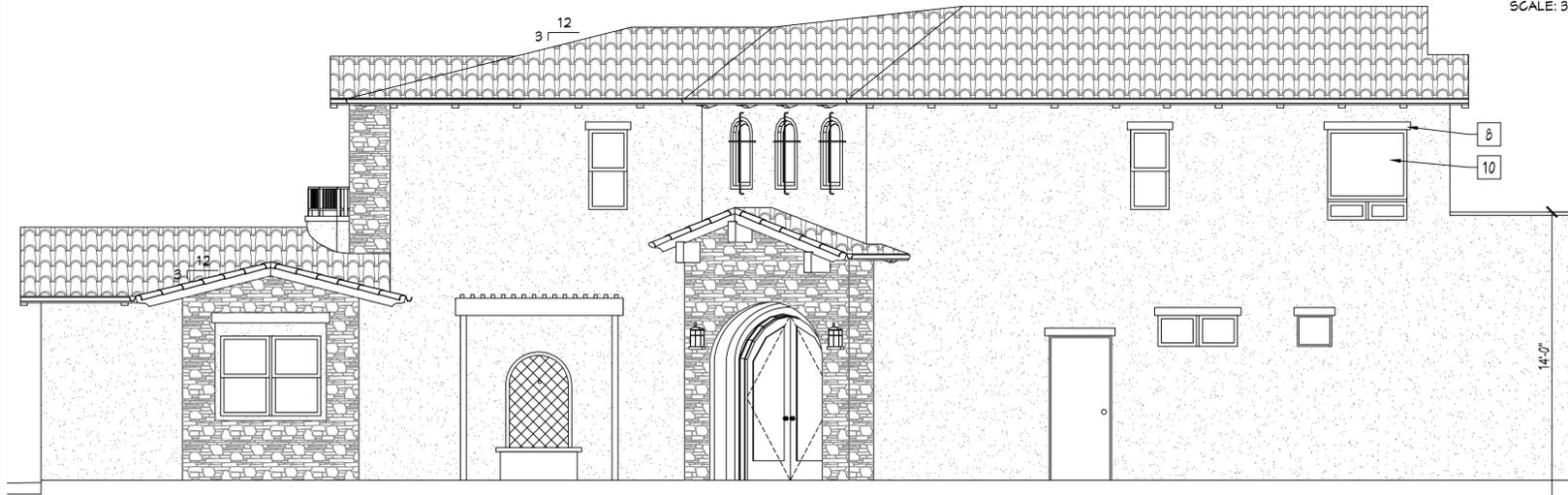
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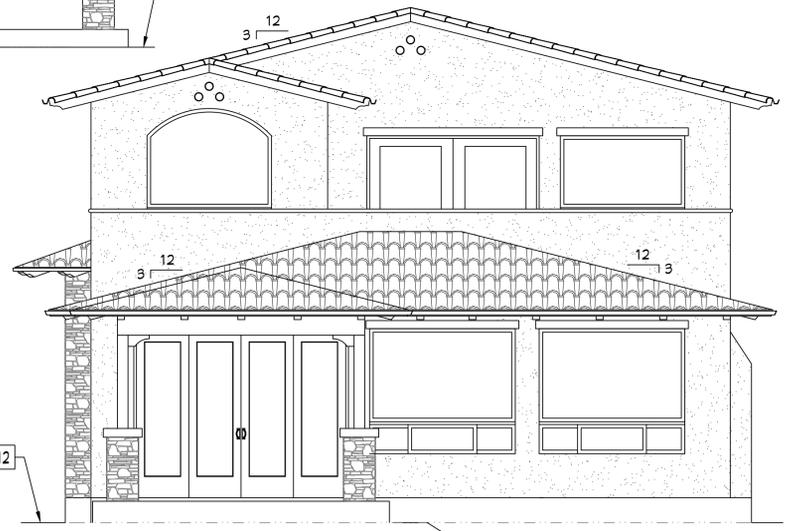
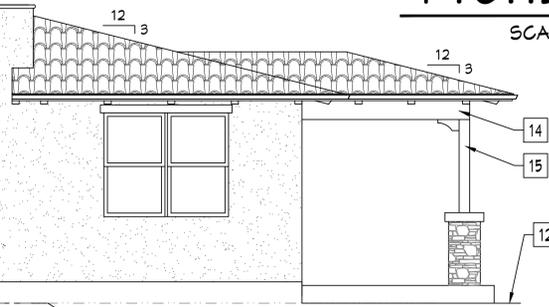
Entry Elevation
SCALE: 3/16" = 1'-0"



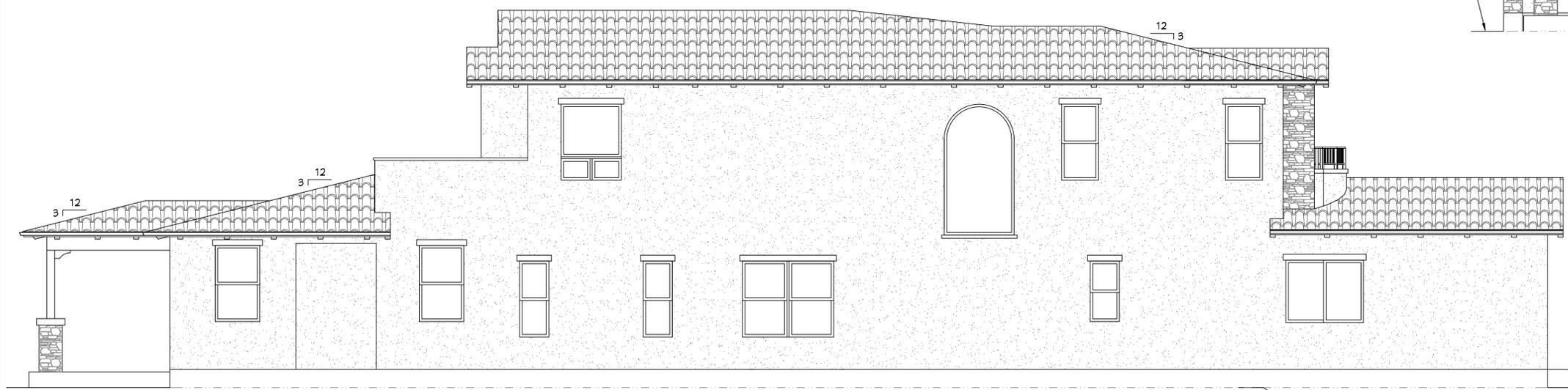
Front Elevation
SCALE: 1/4" = 1'-0"



Right Elevation
SCALE: 1/4" = 1'-0"



Rear Elevation
SCALE: 1/4" = 1'-0"



Left Elevation
SCALE: 1/4" = 1'-0"

Elevation Key Notes

- 1 CONCRETE S-TILE BY "EAGLE ROOFING PRODUCTS" TYPE - BOOSTED GAISTRANO, WITH 30# FELT UNDERLAYMENT
- 2 SHAPED 4x6 WOOD EAVE RAFTER TAILS @ 36" MIN WITH STAIN FINISH
- 3 1/2" ROD IRON PLANTER RAILING
- 4 3/4" ROD IRON WINDOW CROSS DETAIL
- 5 2x6 WOOD FASCIA TRIM WITH PAINT FINISH
- 6 4" METAL GUTTERS
- 7 CAST CONCRETE SURROUND, PER OWNER
- 8 CAST CONCRETE WINDOW LINTEL, PER OWNER
- 9 3-COAT CEMENT STUCCO WITH SMOOTH FINISH OVER LATH AND PAPER
- 10 ALUMINUM CLAD WOOD WINDOWS
- 11 ALUMINUM CLAD WOOD DOORS
- 12 FINISH GRADE
- 13 ROCK VENEER PER OWNER
- 14 EXPOSED BEAM WITH STAIN FINISH
- 15 EXPOSED POST WITH STAIN FINISH
- 16 CAST CONCRETE WALL CAP PER OWNER

DATE	△

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A-4
OF SHEETS



AGENDA NO: B-3

MEETING DATE: August 4th, 2015

Staff Report

TO: Planning Commissioners **DATE:** August 4th, 2015

FROM: Joan Gargiulo, Contract Planner

SUBJECT: Conditional Use Permit (#UP0-420) Request to allow an addition to a single-family residence with nonconforming lot size, lot coverage, and setbacks at 454 Yerba Buena Street, located in the R-1/S.1 zoning district and outside of the Coastal Commission Appeals Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 27-15** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated stamp received June 8, 2015.

APPLICANTS: Josh Martin

ARCHITECT: Andrew Goodwin

LEGAL DESCRIPTION/APN: 065-032-050

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit approval for an addition to a nonconforming single-family residence. The applicant proposes to add a 195 sq. ft. second story to an existing 804 sq. ft. residence. The existing single-story residence is considered nonconforming because it has inadequate side-yard setbacks, it exceeds the maximum lot coverage, and it does not meet the minimum lot width required as discussed below in the 'Project Analysis' section.

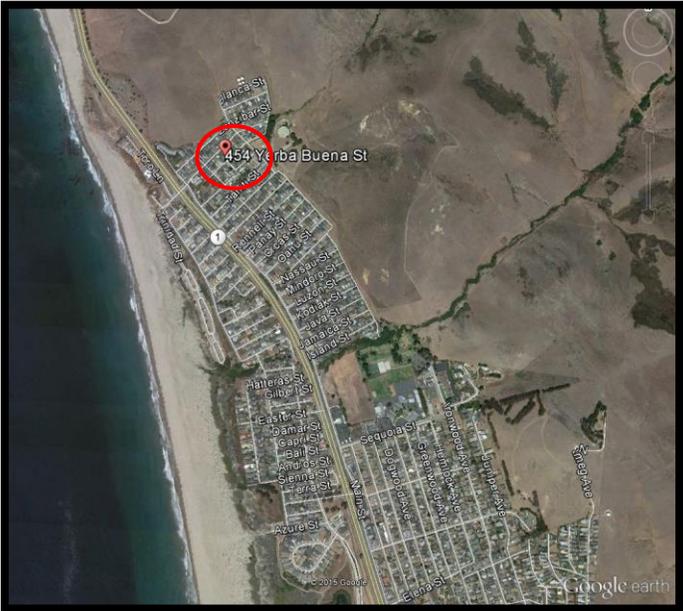
PROJECT SETTING:

The project is located in the North Morro Bay residential neighborhood, designated as Planning Area 1 in the Local Coastal Plan. The parcel at 454 Yerba Buena Street lies to the east of Highway 1, south of Zanzibar Street, and north of San Jacinto Street. The mostly level, rectangular-shaped 2,160 square-foot lot is in the R-1/S.1 Single-Family Residential Zoning District. Housing in the surrounding area includes a variety of one-

Prepared By: JG

Department Review: _____

and two-story homes. The site is located outside of the Coastal Commission Appeals Jurisdiction.



Vicinity Map

Adjacent Zoning/Land Use			
North:	R-1/S.1 Single-Family Residential Use	South:	R-1/S.1 Single-Family Residential Use
East:	R-1/S.1 Single-Family Residential Use	West:	R-1/S.1 Single-Family Residential Use

Site Characteristics	
Site Area	Approximately 2,160 square feet
Existing Use	Single-Family residential
Terrain	Virtually level and developed
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	No significant resources within 300 feet of subject parcel
Access	Yerba Buena Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	n/a
Special Treatment Area	S.1
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located outside the Coastal Appeals Jurisdiction

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing residence was originally built in 1953 at 480 square-feet. The nonconforming residence has been enlarged at least once in the past, however with incomplete records, it is impossible to tell how many expansions have occurred or when. The home as it exists today, with a one-car garage, is similar to other homes in the neighborhood. The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning designation.



Zoning Ordinance Consistency

Current requirements of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”) for setbacks, lot width, and lot coverage render the existing structure nonconforming. However, additions to nonconforming structures may be permitted with approval of a conditional use permit, subject to certain findings (Morro Bay Municipal Code (MBMC) section 17.56.160).

Zoning Ordinance Standards			
	Standards	Existing	Proposed
Front Setback	10 feet	10 feet	10 feet
Side-Yard Setback	3 feet	1’9” and 5 ½”	1’9” and 5 ½”
Rear Setback	5 feet	17’ 3 ½”	17’ 3 ½”
Height	Max. 25 Feet	Approx. 13 feet	22 feet
Lot Coverage	Max. 50%	57%	57%
Lot Width	40	36 feet	36 feet
Parking	1 Car Garage	1 Car Garage	1 Car Garage

Lot Width

The existing parcel does not meet the current standards for lot width as expressed in Section 17.40.050 of the Zoning Ordinance. Minimum lot width in the S.1 Special Treatment Overlay Zone is 40 feet at the property line. The subject parcel is 36 feet wide.

Setbacks

The existing residence does not conform to the current side-yard setback requirements as set forth in Section 17.40.050 of the Zoning Ordinance. The interior side-yard setback requirement in the S.1 Overlay Zone is 3 feet. The eastern side-yard setback measured at 1’9”, and the western side-yard setback measured at 5 ½”, do not meet this requirement. With the added condition that the deck railing on the second story deck shall be located outside of the 3 foot side-yard setback, the proposed addition shall be in conformance with all setback standards.

Lot Coverage

Maximum lot coverage for lots four thousand square feet or less in the S.1 Special Treatment Overlay Zone is 50%. The existing 804 square-foot residence with 402

square-foot garage currently covers 57% of the 2,160 square-foot parcel. The proposed second-story addition will not increase this nonconformity.

Conditional Use Permit Requirement

The Zoning Ordinance, subsection 17.56.160A, requires approval of a conditional use permit for any structure which is nonconforming because it is located on a lot which does not meet minimum lot size standards and is also nonconforming with any other provision of this title. Conditional use permit approval is also required for any expansion to a nonconforming structure that has already been expanded in the past. The project proposes to add a 195 square-foot second story addition to a nonconforming structure located on a nonconforming lot. As noted above, the structure is nonconforming with regard to the side-yard setbacks, lot coverage, and lot width. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed remodel and additions are consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes additions to a single-family dwelling, which is an allowed use in the R-1 zone. The surrounding neighborhood is developed with modest one- and two-story homes.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required side-yard setback along the east and west property lines.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on July 24th, 2015, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. The exemption applies to additions to new single-family residences located within residential zones and the project will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures upon approval of a conditional use permit (MBMC section 17.56.160).

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-420 for the proposed addition to a nonconforming structure for the project at 454 Yerba Buena Street, as shown on plans date stamp received June 8, 2015, by adopting Planning Commission **Resolution 27-15** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 27-15
- Exhibit B – Graphics/Plan Reductions

EXHIBIT A

RESOLUTION NO. PC 27-15

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-420) TO ALLOW AN ADDITION TO A NONCONFORMING RESIDENTIAL STRUCTURE AT 454 YERBA BUENA STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on August 4th, 2015, for the purpose of considering Conditional Use Permit UPO-420 for a proposed addition to a nonconforming single-family home at 454 Yerba Buena Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt pursuant to Class 1, CEQA Guidelines Section 15301(e) for additions to existing structures of less than 50% of existing floor area and will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed additions are in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height and setbacks.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a

complete building permit application and obtain the required building permit prior to construction.

4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with modest one- and two-story homes.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet the required side-yard setbacks along the eastern and western property lines, and to bring the existing structure into compliance with lot coverage requirements.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-420 for property located at 454 Yerba Buena Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated August 4th, 2015, for the project at 454 Yerba Buena Street depicted on plans date stamped June 8th, 2015, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Manager. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.

4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.

7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.

2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings: The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m.

- on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
 4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
 5. Future Additions: Any future additions to the residence shall require review and approval by the Planning Commission.
 6. Side-Yard Setback: The side-yard setback requirement for this zone is three (3) feet, pursuant to MBMC Section 17.40.050. Plans submitted for the required Building Permit shall clearly show the railing for the second story deck on the eastern side of the project to be completely outside of the required three (3) foot side-yard setback.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

FIRE CONDITIONS

1. Automatic Fire Sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903), California Residential Code (Section R313), and Morro Bay Municipal Code (Section 14.08.090).

We strongly recommend installation of an automatic fire sprinkler system for the fire protection and life safety of the residence.

2. Carbon Monoxide Alarms In New Dwellings And Sleeping Units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

Applicant shall install Carbon Monoxide Detection Alarms in required locations.

3. Fire Safety During Construction and Demolition shall be in accordance with 2013 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations.

Applicant shall comply with and include above language on Building Plan submittal.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 4th day of August, 2015 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 4th day of August, 2015.

SINGLE FAMILY DWELLING - ADDITION
454 YERBA BUENA, MORRO BAY, CA 93442

CONDITIONAL USE PERMIT - JUNE 5, 2015

RECEIVED

JUN 08 2015

City of Morro Bay
Community Development Dept.

ANDREW GOODWIN
DESIGNS
ANDREW GOODWIN DESIGNS
2921 GARIBAI DI AVE
SAN LUIS OBISPO, CA 93401
T: (805) 439-1611
GOODWIN.DRW@GMAIL.COM

Table of abbreviations and symbols for construction drawings, including terms like AB, AC, AD, etc., and their corresponding meanings.

Table of applicable codes, including 2013 CALIFORNIA RESIDENTIAL CODE (2012 IRC), 2013 CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2012 IBC), etc.

32 APPLICABLE CODES

Table of sheet index, including A-0.0 - TITLE SHEET, A-2.0 - EXISTING FLOOR PLAN, A-2.1 - FLOOR PLANS, A-3.1 - ELEVATIONS.

11 SHEET INDEX

OWNER:
JOSH MARTIN
454 YERBA BUENA ST
MORRO BAY, CA 93442
PHONE: (805) 245-8642

CONTACT: JOSH MARTIN

ARCHITECT:
ANDREW GOODWIN DESIGNS
2921 GARIBAI AV.
SAN LUIS OBISPO, CA 93401
PHONE: (805) 439-1611
GOODWIN.DREW@GMAIL.COM

CONTACT: ANDREW GOODWIN, AIA, LEED AP

12 PROJECT DIRECTORY

THE SCOPE OF THE PROJECT INVOLVES THE FOLLOWING:

- ADDITION OF A 195 SF MASTER SUITE TO THE SECOND STORY OF EXISTING HOME.
- REMODEL OF EXISTING EXTERIOR FACADE TO INCLUDE NEW FRENCH DOOR TO REPLACE ENTRY DOOR.
- PARTIAL REMODEL OF EXISTING ROOF AROUND NEW ADDITION.
- NEW 400 SF ROOF DECK OVER EXISTING GARAGE. ACCESSED THROUGH SECOND FLOOR MASTER SUITE.

NOT IN SCOPE:

- LANDSCAPE TO REMAIN THE SAME
- NO FIRE SPRINKLER TO BE ADDED. ADDITION UNDER 200 SF.
- NO AIR CONDITIONING.

32 PROJECT DESCRIPTION

Table of symbols and their meanings, including REF. NORTH, TRUE NORTH, COLUMN GRIDLINE, BUILDING SECTION, WALL SECTION, DETAIL OR ENLARGED PLAN, WALL TYPE, ROOM NAME AND NUMBER, DOOR NUMBER, WINDOW NUMBER, KEYNOTE, DEMOLITION NOTE, REVISION NUMBER, ACCESSORY OR EQUIPMENT, INTERIOR ELEVATION.

34 SYMBOLS

PARCEL INFORMATION - AGENCY: CITY OF MORRO BAY
ADDRESS: 454 YERBA BUENA ST MORRO BAY, CA 93442
APN: 065-032-050
ZONING: R-1, SINGLE FAMILY RESIDENTIAL (SPECIAL OVERLAY)
V-B
PARCEL AREA: 2160 SF (35'x60')
(E) LOT COVERAGE: 1246/2160 SF = 57%
(E) BLDG FOOTPRINT: 1246 SF
375 SF PORCHES UNDER 30" ABOVE GROUND
(E) LIVING AREA: 804 SF
(E) GARAGE AREA: 402 SF

SETBACKS (EXISTING HOME DOES NOT MEET - NEW ADDITION WILL MEET)
FRONT: 10'-0"
SIDE: 3'-0"
REAR: 5'-0"
MAX HEIGHT: 25'-0"

NEW LOT COVERAGE:
NEW BUILDING HEIGHT: 22'-0" FROM AVERAGE NATURAL GRADE.
NEW COVERAGE: 1246 SF (SAME - 57%)
NEW FOOTPRINT: 1246 SF
NEW ADDITIONS AREA: 195 SF TO (E) LIVING AREA
NEW TOTAL LIVING AREA: 999 SF

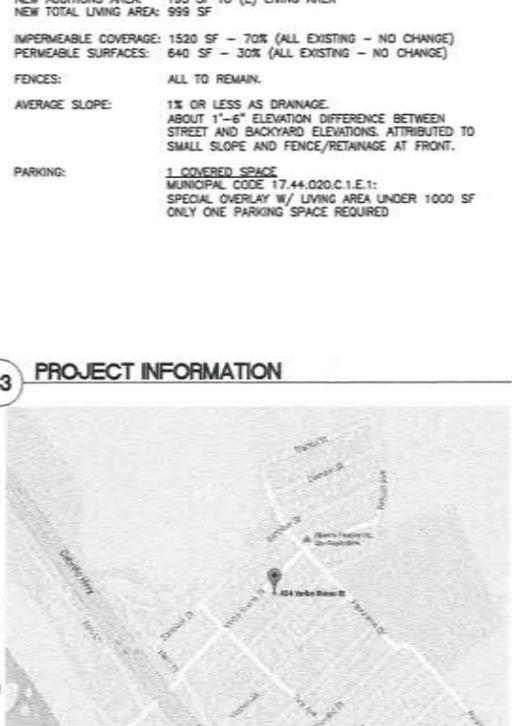
IMPERMEABLE COVERAGE: 1520 SF - 70% (ALL EXISTING - NO CHANGE)
PERMEABLE SURFACES: 640 SF - 30% (ALL EXISTING - NO CHANGE)

FENCES: ALL TO REMAIN.

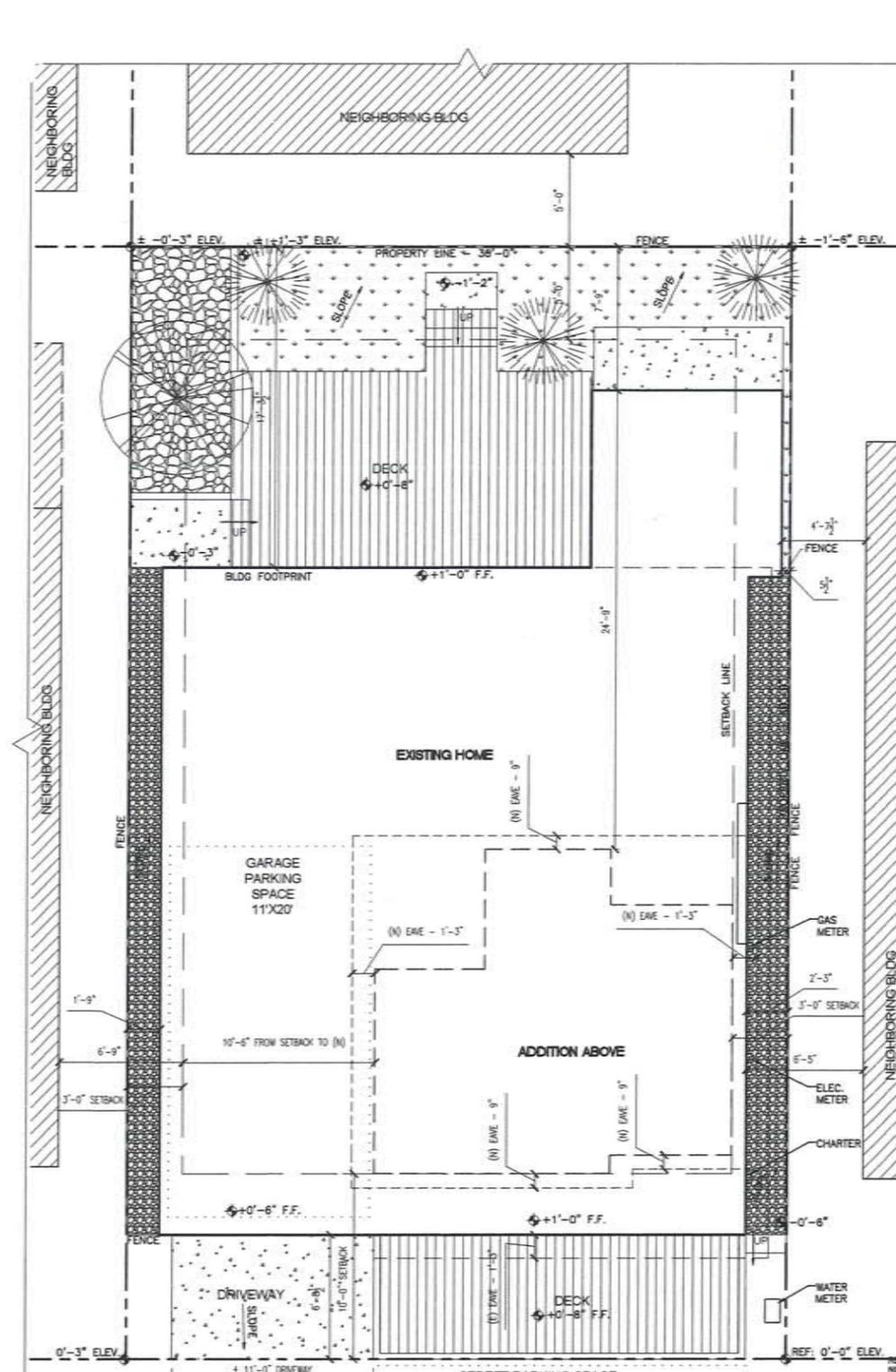
AVERAGE SLOPE: 1% OR LESS AS DRAINAGE.
ABOUT 1'-6" ELEVATION DIFFERENCE BETWEEN STREET AND BACKYARD ELEVATIONS, ATTRIBUTED TO SMALL SLOPE AND FENCE/RETAINAGE AT FRONT.

PARKING: 1 COVERED SPACE
MUNICIPAL CODE 17.44.020.C.1.E.1:
SPECIAL OVERLAY W/ LIVING AREA UNDER 1000 SF ONLY ONE PARKING SPACE REQUIRED

33 PROJECT INFORMATION



21 VICINITY MAP



24 SITE PLAN

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Table of revisions with columns for revision number and description.



PROJECT:
SECOND STORY
ADDITION
454 YERBA BUENA ST
MORRO BAY, CA 93442

CLIENT:
JOSH MARTIN
454 YERBA BUENA ST
MORRO BAY, CA 93442

SHEET TITLE
TITLE SHEET

DATE:
TECHNICIAN: ACG
PROJECT MANAGER: ACG
SHEET NUMBER: A0.0

Exhibit B

ANDREW GOODWIN
DESIGNS

ANDREW GOODWIN DESIGNS
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REVISIONS

S.L.A.



PROJECT
**SECOND STORY
ADDITION**
454 YERBA BUENA ST
MORRO BAY, CA 93442

CLIENT
JOSH MARTIN
454 YERBA BUENA ST
MORRO BAY, CA 93442

SHEET TITLE
**EXISTING
FLOOR PLAN**

DATE:

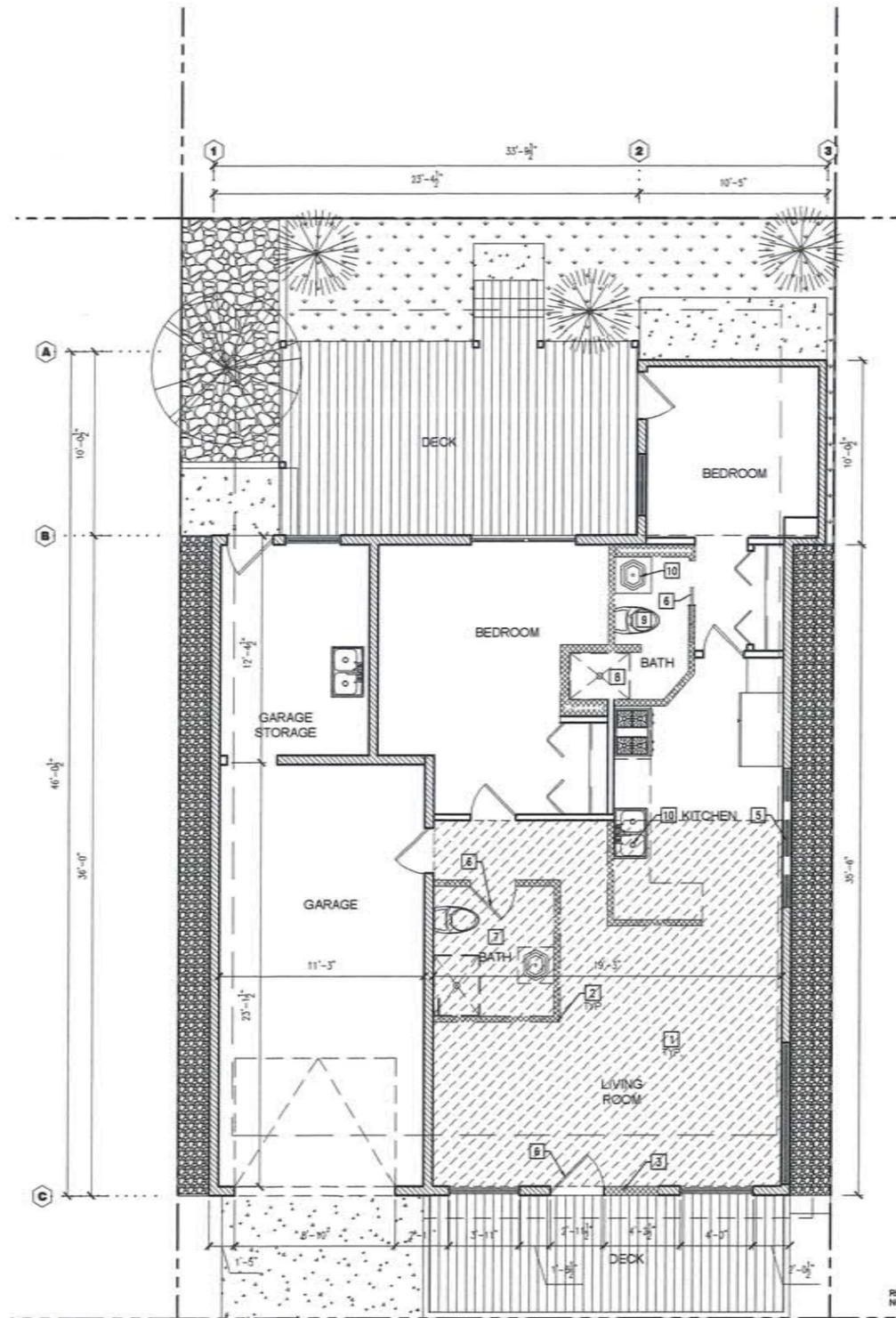
TELEPHONE: **ACQ**

PROJECT MANAGER: **ACQ**

JOB NUMBER: **ACQ408**

SHEET NUMBER

A-20



1. REMOVE (E) CEILING AND FRAME FOR NEW SECOND STORY.
2. REMOVE INTERIOR WALL. PATCH AND REPAIR AS NECESSARY.
3. REMOVE EXT. WALL FOR NEW FRONT DOOR. PATCH AND REPAIR AS NECESSARY.
5. REMOVE WINDOW.
6. REMOVE DOOR.
7. REMOVE ALL FIXTURES AND CAP PLUMBING.
8. REMOVE SHOWER AND PREP FOR NEW SHOWER/TUB.
9. RELOCATE (E) TOILET.
10. RELOCATE (E) SINK AS NEEDED.

12 DEMO NOTES

GENERAL NOTES
1.) CONTRACTOR TO VERIFY LOCATION OF ELECTRICAL, PLUMBING, AND MECHANICAL EQUIPMENT WITH OWNER / AGENT BEFORE INSTALLATION.
2.) CONTRACTOR TO VERIFY (E) DOOR AND WINDOW SIZES PRIOR TO CONSTRUCTION.

- LINE OF OBJECT TO BE REMOVED
- /// (E) CEILING AND ROOF FRAMING TO BE REMOVED/RECONSTRUCTED.
- ▨ (E) WALL TO BE REMOVED.
- ▨ (E) 2X STUD WALL TO REMAIN.



SCALE: 1/4"=1'-0"

24 EXISTING FIRST FLOOR PLAN

14 LEGEND

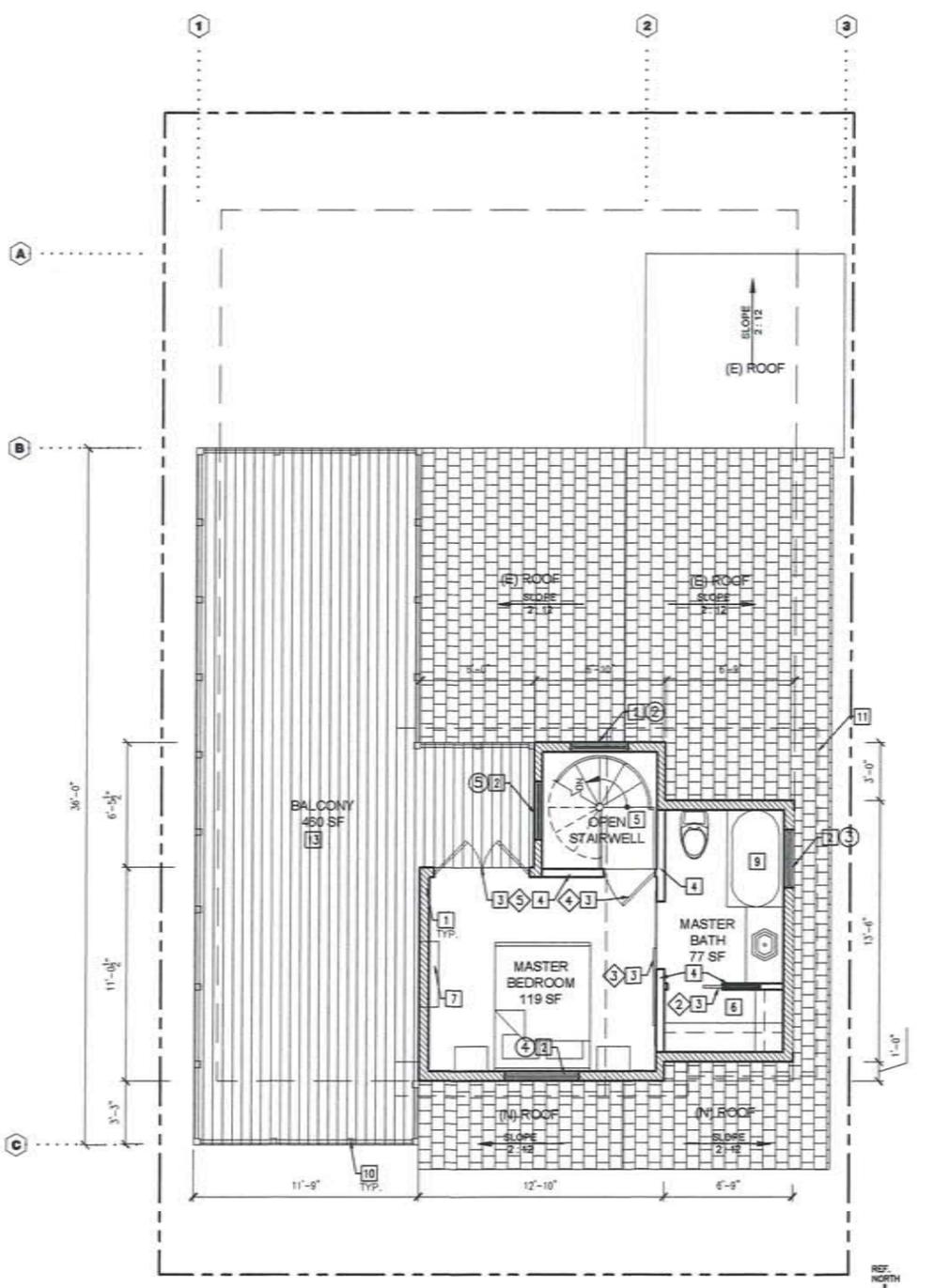
Exhibit B

NO.	LOCATION	TYPE	WIDTH	HEIGHT	SILL HEIGHT	REMARKS
1	KITCHEN	SLIDER	3' - 0"	3' - 0"	3' - 6"	
2	STAIRWELL	SLIDER	3' - 0"	2' - 0"	-	TEMPERED
3	MASTER BATH	SLIDER	3' - 0"	2' - 0"	6'-0"	
4	MASTER BED	AWNING	4' - 0"	3' - 0"	4'-10"	
5	STAIRWELL	FIXED	3' - 0"	3' - 0"	-	TEMPERED

DOOR #	QTY	LOCATION	SIZE		DOOR		FRAME	REMARKS
			WIDTH	HEIGHT	TYPE	MATERIAL		
1	1	LIVING ROOM/ENTRY	5' - 0"	6' - 8"	DOUBLE	GLASS/FIBERGL.	WOOD	
2	3	BATHROOM + CLOSET	2' - 8"	6' - 8"	POCKET	WOOD	WOOD	
3	1	MASTER BATH	3' - 6"	6' - 8"	CUSTOM	WOOD	WOOD	CUSTOM DESIGNED BARN DOOR
4	1	MASTER BED	2' - 8"	6' - 8"	SWING	WOOD	WOOD	
5	1	MASTER BED	5' - 0"	6' - 8"	DOUBLE	GLASS/FIBERGL.	WOOD	

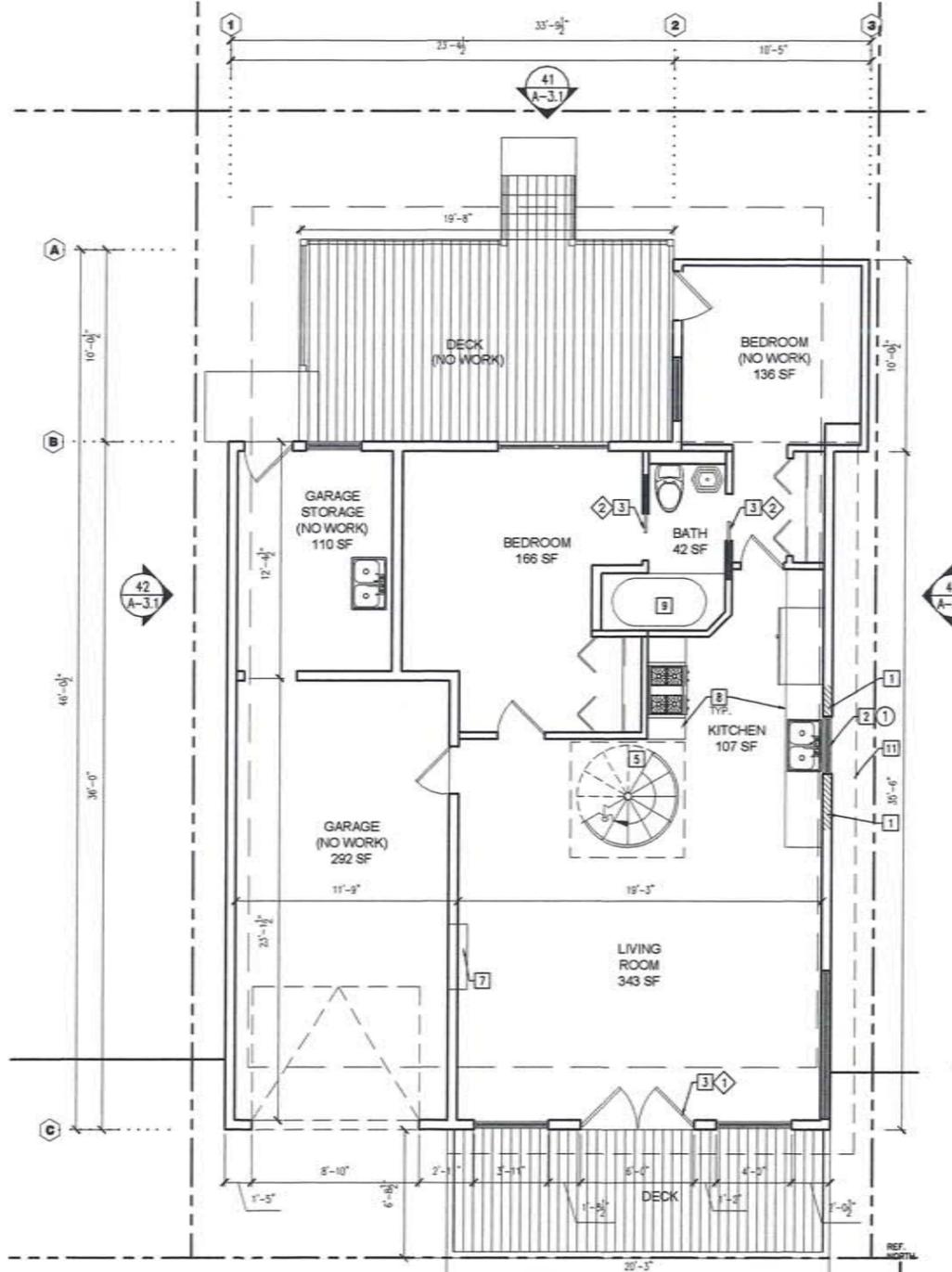
41 WINDOW SCHEDULE

21 DOOR SCHEDULE



44 NEW SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



24 NEW FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

1. NEW 2X6 STUD WALL W/ R-19 INSULATION.
2. (N) WINDOWS. RE: WINDOW SCHEDULE 41/A-2.1
3. (N) DOOR. RE: DOOR SCHEDULE 21/A-2.1.
4. (N) 2X4 STUD WALL W/ R-13 INSULATION AND GYP. BOARD EACH SIDE.
5. (N) SPIRAL STAIRCASE.
6. (N) CLOSET. INSTALL SHELF AND CLOTHES ROD.
7. (N) GAS FIREPLACE.
8. (N) CABINETS. RE: INTERIOR ELEVATIONS.
9. (N) SHOWER/TUB.
10. 42" HIGH RAILING.
11. ROOF EAVE ABOVE.
12. ROOF. MATCH EXISTING. RE: ROOF PLAN A-2.3
13. (N) ROOF BALCONY.

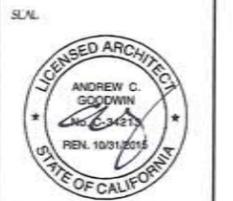
13 NEW CONSTRUCTION NOTES

- 14 LEGEND
- DOOR TAG. RE: DOOR SCHEDULE.
 - WINDOW TAG. RE: WINDOW SCHEDULE.
 - (E) 2X WOOD STUD WALL TO REMAIN.
 - NEW 2X4, INTERIOR, DOUG. FIR STUD WALL W/ R-13 BATT INSULATION
 - NEW 2X6, DOUG FIR STUD WALL W/ R-19 BATT INSULATION

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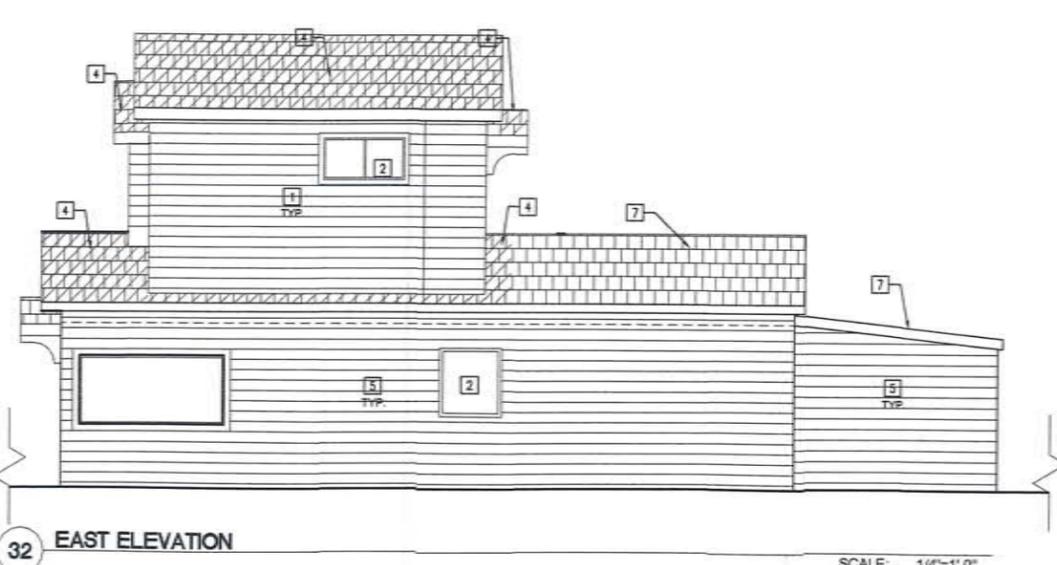
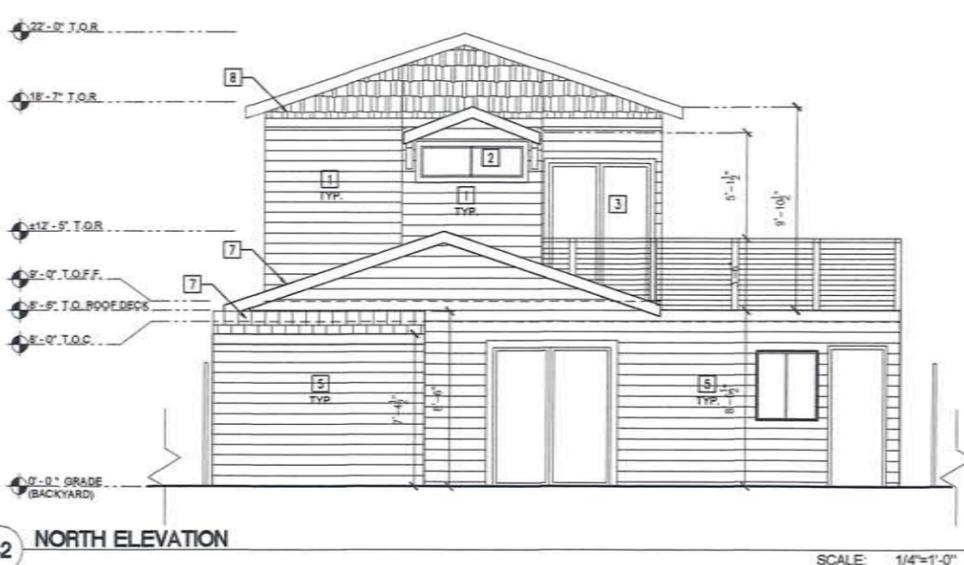
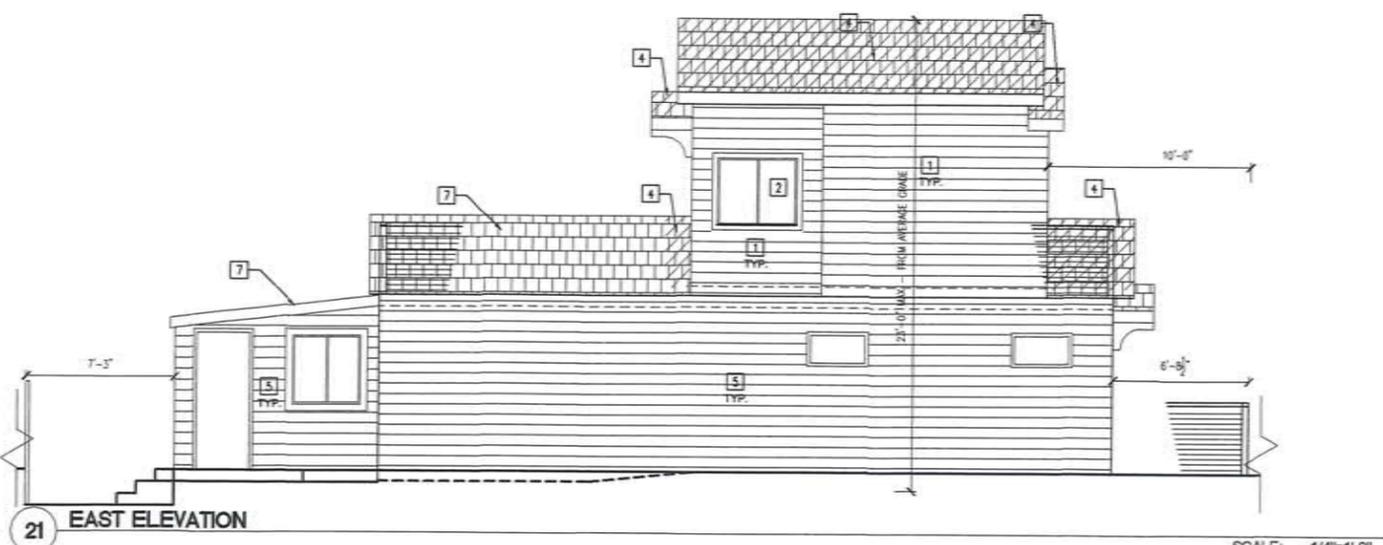


PROJECT
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454 YERBA BUENA ST
MORRO BAY, CA 93442
CLIENT
JOSH MARTIN
454 YERBA BUENA ST
MORRO BAY, CA 93442

SHEET TITLE
FLOOR PLAN

DATE: _____
TECHNICIAN: **ACG**
PROJECT MANAGER: **ACG**
JOB NUMBER: ACD408
SHEET NUMBER:
A-21

Exhibit B



12 MATERIAL BOARD
NOTE: DUE TO PRINTER INK THESE MAY NOT BE ACCURATE COLOR DEPICTIONS.

- ◆ SHINGLE SIDING - HARDIE COLOR IRON GRAY
- ◆ LAP SIDING - PAINTED SW 7107 DORIAN GRAY OR SW 7019 GAUNTLET GRAY
- ◆ TRIM - PAINTED SW 7002 DOWNEY (WHITE)

◆ JAMES HARDIE LAP SIDING. ◆ JAMES HARDIE SHINGLE SIDING.



13 KEYNOTES

- 1. NEW(N) JAMES HARDIE LAP SIDING.
- 2. (N) WINDOW.
- 3. (N) DOOR.
- 4. (N) ROOF. MATCH EXISTING. PATCH AND REPAIR EXISTING AS NEEDED. RE: ROOF PLAN A-2,3
- 5. PAINT EXISTING SIDING TO MATCH COLOR OF NEW LAP SIDING.
- 6. (N) 42" H RAILING AT NEW ROOF DECK.
- 7. (E) ROOF TO REMAIN.
- 8. (N) JAMES HARDIE SHINGLE SIDING.

14 LEGEND

- ▨ EXISTING ASPHALT ROOFING
- ▨ NEW ASPHALT ROOFING

SCALE: N.T.S.

43 RENDERINGS

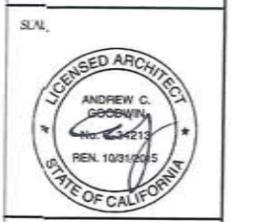
14 LEGEND

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REVISIONS

NO.	DESCRIPTION



PROJECT
SECOND STORY ADDITION
454 YERBA BUENA ST
MORRO BAY, CA 93442

CLIENT
JOSH MARTIN
454 YERBA BUENA ST
MORRO BAY, CA 93442

SHEET TITLE
NEW EXTERIOR ELEVATIONS

DATE: _____

DESIGNER: **ACG**

PROJECT MANAGER: **ACG**

KEY NUMBER: **ACD-408**

SHEET NUMBER
A-31