



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, January 19, 2016
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Richard Sadowski

Vice-Chair Katherine Sorenson
Commissioner Michael Lucas

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of November 24, 2015 and December 1, 2015.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: #CP0-469 and #UP0-414

Site Location: 1147 West Avenue, Morro Bay, CA

Project Description: Continued review of a request for a Coastal Development Permit and Conditional Use Permit to demolish a 375 square-foot residential structure and a portion of an 1,100 residential structure and construct a new two-story, 2,805 square-foot dwelling, with an attached 675 square-foot garage and 277 square feet of upper level deck area on a vacant 6,302 square-foot bluff top lot on the westerly side of West Avenue within the Beach Street Specific Plan area. The property is zoned Duplex Residential with a Planned Development and Specific Plan overlay (R-2/PD/SP) This project is located in the Coastal Commission appeal jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303(a), Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

Case No.: #CP0-470 and #UP0-415

Site Location: 1149 West Avenue, Morro Bay, CA

Project Description: Continued review of a request for a Coastal Development Permit and Conditional Use Permit to demolish a 1,100 square-foot residential structure and construct a new two-story, 2,805 square-foot dwelling, with an attached 580 square-foot garage and 277 square feet of upper level deck area on a vacant 6,774 square-foot bluff top lot on the westerly side of West Avenue within the Beach Street Specific Plan area. The property is zoned Duplex Residential with a Planned Development and Specific Plan overlay (R-2/PD/SP) This project is located in the Coastal Commission appeal jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303(a), Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

C. NEW BUSINESS

C-1 Design Guideline Discussion – 6-Month Review.

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on February 2, 2016 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill’s/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City’s website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City’s web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$263 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant’s favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal

Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.
 Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date: January 19, 2016

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Crafton	430 Olive Street	11/13/15	UP0-433	Conditional Use Permit for a 500 sq. ft. addition to a nonconforming structure	JG. Under Review. Spoke with Applicant, will make small corrections. Scheduled for 1/5/15 PC meeting. Continued to a date uncertain.		Conditionally Approved per memo dated 11/25/15		jg
2	Merrifield	1147 West St.	4/24/15	CP0- 469 & UP0-414	Coastal Development and Conditional Use Permits to construct new SFR subject to bluff development stds.	WM Phase 1 arch report req'd. Continued to a date uncertain. Tentatively scheduled for 1-19-16 PC hearing.		PN - Conditionally approved with comments-6/1/15		wm
3	Wright	1149 West St.	4/24/15	CP0-470 & UP0-415	Coastal Development and Conditional Use Permits to construct new SFR subject to bluff development stds.	WM Phase 1 arch report req'd. Continued to a date uncertain. Tentatively scheduled for 1-19-16 PC hearing.		PN - Conditionally approved with comments-6/1/15		wm
4	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM.Tentatively scheduled for 3-1-16 PC hearing.				wm
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
5	James	1230 Clarabelle	1/11/16	CP0-496	Admin CDP for new SFR - 1853sf home with 563sf garage.	JG Under initial review				
6	Mazzacane	270 Kern	1/7/16	CP0-495	Admin CDP for demo/reconstruct. Demo 848sf SFR and construct new 2763sf SFR w/ 532 sf garage	JG Under initial review				
7	May / Ingraffia	636 Fresno	12/21/15	UP0-436	Conditional Use Permit for an 830 sq. ft. addition to a nonconforming structure	JG. Under initial review				jg
8	Adamson	2629 Koa	12/14/15	UP0-435	An existing flag pole that exceeds the 25' height limit the the R-1/S.2 zone	JG. Noticed 12/23/15 waiting on structural calcs from applicant				jg
9	Smith	1556 Main	12/14/15	UP0-434	An existing flag pole that exceeds the 25' height limit in the light industrial zoning district	JG. Noticed 12/23/16				jg
10	Moore	379 Orton St.	11/17/15	CP0-494	New SFR (Manufactured home) on vacant lot. 1493sf living, 528sf garage			Conditionally Approved per memo dated 11/25/15		

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11	Najarian	986 Las Tunas	11/17/15	CP0-493	Administrative Coastal Development Permit for New SFR - 1679 sf living plus 434 sf garage	JG. Under Initial Review. Met with Agent 12/18 re. corrections, waiting on submittal. Notice 1/14/16		Conditionally Approved per memo dated 11/25/15		jg
12	Najarian	325 Sicily	10/30/15	CP0-491	Administrative Coastal Development Permit for New SFR - 1686 sf living plus 507sf garage	JG. Under Initial Review. Sent back to Agent for Lot Coverage correction on 12/4. Awaiting resubmittal. Recv'd 1/11/16 under review				jg
13	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review.				cj
14	Elliott/ Bernal	2620 Laurel Ave	9/30/15	CP0-489	Admin CDP for new 2,461sf Single family home w/ 710 sf garage and 1495sf of balcony	JG. Under Initial Review. Correction letter sent 10/27		PN- Conditionally approved per memo dated 10/22/15		jg
15	Black Hill Villas	485 South Bay Blvd	8/7/15	A00-027	Precise Plan CUP modification to reflect Coastal Commission approved changes to CDP	Precise Plan requires modification for City approvals to be consistent with Coastal Commission approvals.. Under review. Traffic Study update to be performed.				cj
16	SLCUSD	235 Atascadero	7/20/15	CP0-485 / UP0-427	CDP & CUP for new pool and student services building at Morro Bay High School	Under initial review. Incomplete letter sent. Resubmitted 9-10-15 Incomplete letter sent 10-9-15. C.J.. Resubmittal received 10-27-15. Project review complete. Initial study/ environmental review in process.				cj
17	DeGarimore	1001 Front St.	7/14/15	A00-026	Amendment to CUP to modify project description to remove proposed new awning.	Letter sent to applicant 9-9-15 regarding public access requirements. In process.				cj
18	Gambriel	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Incomplete letter sent 9/4/15.		PN-Plans Disapproved. Req. Stormwater determination form & plan update-8/25/15		wm
19	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		jg
20	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street		RPS disapproved on 12/15/14 since proposed pole site will be removed during undergrounding project		jg

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21	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story 19 foot building (retail/restaurant use) & outdoor improvements	Under review. Deemed incomplete. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent. Resubmittal received. Not compliant with view corridors requirements.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj
22	Wordeman	2900 Alder	7/28/14	CP0-447	Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.	Under Review. Correction letter sent 8-27-14. Resubmittal received 1-26-15. JG. Correction letter sent. Partial resubmittal rcv'd 2/23. Under Review. JG. Correction letter sent 1/30 JG. Resubmittal received 6/8/15. Under review. Correction letter sent. Resubmittal rcv'd 9/22/15. corrections required, letter sent 10/15/15.	BC- conditionally approved.	PN-Disapproved for plan corrections per memo dated 10/5/15		jg
23	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15. Resubmittal received 5/8/15. Reviewing initial study for pending route to State Clearinghouse. Stormwater Control Plan also being reviewed. Reviewing outstanding cultural resources concerns.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13.9/9/14 FD App TP. 2/10/15 FD Not App TP.	PN- on hold until Sonic submits Preliminary Stormwater Requirements. RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17.		cj
24	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing.Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 6/11/12		
Planning Commission Continued projects:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
25	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Project referred to env. consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ env. consultant re environmental 4/7 CJ. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Received plans revisions and sent request for Coastal concurrence 9-2-15. CJ. Continued to a date uncertain to redraw ESH buffer setback.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 11/20/12	Conditionally approved, per memo 9/22/15	cj
26	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UPO-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj
27	City of Morro Bay	End of Nutmeg	1/18/12	UPO-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		?

Projects Appealed or Forwarded to City Council:

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
28	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. Info hold letter sent 9-2-14. Resubmitted 10-28-14. Initial Study/MND complete & routed to State Clearinghouse 1-2-15. Anticipate 2-17-15 PC hearing. Comments received from Coastal Commission regarding eelgrass mitigation. Dock revision in progress. Project continued to 3-17-15 mtg to ensure legal noticing. Applicant submitted revised dock plans based on Coastal Commission feedback re: MND. Supplemental info sent to Coastal on 5/12/15. Applicant consulting with Coastal staff regarding MND environmental 7-2015. CJ. Requested continuance at 10-6-15 PC meeting to modify project description. Continued to a date uncertain upon applicant request. Plans revised to include Interior tenant improvements of new 2nd floor deck area. Revised visual sims in progress. Reviewed by PC on 1-5-16. Forwarded to City Council	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	Conditionally Approved, PW requirements will be addressed with Building Permit review	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13	cj
29	Knight / Verizon	485 Piney Way	1/29/15	CP0-460 & UP0-402	CDP /CUP for Verizon wireless telecommunications facility (panel antennas & equipment cabinet)	CJ - RF Compliance Report under review. Incomplete letter sent 3-2-15. Revised RF report submitted 6-5-15. Requested RF clarification via email 7-9-15. Received revised RF report. (continued from 11-24-15 meeting. Denied at 12-1-15 mtg/ Reso for Denial to be considered at 12-15 mtg. Appealed by Applicant on 12/21/15		ME conditionally approved per memo 2/3/15		cj
30	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ. Visited site to review project 10-24-14. Concurrent request sent re bluff to Coastal Commission 10-27-14. Discussed project with Coastal staff 11-18-14 with referral to CCC Geologist 1-2015. Met w/ Coastal geologist 2-12-15 on site. Resubmittal received and review complete for PC hearing. Denied at 10-6-15 hearing. Resolution for denial on 10-20-15 agenda. DENIED 10-20-15. Appealed granted and project remanded back to PC for review of revised plans.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13. Began resubmittal review 3/18/15		cj

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31	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report brought to PC on 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop held 5/19/14. Result of sign workshops discussed at 11-3-15 PC mtg.	No review performed.	N/R		sg
Environmental Review										
32	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Final Map Under Review Projects:										
33	Tract 2670	1899 -1911 Sunset	11/17/15	Map	Final Map. - Tract 2670 6 lot subdivision and 1 common lot	Under review				cj
34	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.		sg/cj

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Projects requiring coordination with another jurisdiction:										
35	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
36	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing:										
41	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review.	No review performed.			

wm

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
42	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review preformed.	N/A		sg
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										
39	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		
40	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. Applicant requested to keep project open 9-25-14.	Please route project to Building upon resubmittal.	N/A		cj
Grants										

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
41	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide				\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A		
42	City of Morro Bay	City-wide				Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14. 2016 Program year applications due 10/23/15	No review performed.	N/R		
43	City of Morro Bay	City-wide				Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				

Projects in Building Plan Check:

1	Abel	765	Alta	12/21/15	B-30796	SFR Addition			JL/PN-Not Approved per Memo dated 12/21/15		
2	Sangren	675	Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A		
3	LaPlante	3093	Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit on hold until Planning process complete. CJ.	BC- Application on hold during planning process of 4-2-2012	DH- Provide SW mgmt, drainage rpt, EC per memo of 1/18/12.		
4	Tays	982	Carmel	10/1/15	B-30684	SFR Alteration and 65sf addition (includes new bathroom)	Disapproved 11-17-15. SG.	Plans denied 10-05-2015 cdl	PN- Approved per memo dated 11/23/15		
5	Diaz	365	Driftwood	8/14/15	B-30601	SFR Addition of 328sf upstairs to create Master bedroom and bathroom.	JG. Plans disapproved, incomplete.	Approved 10-13-2015 cdl	PN- Approved 10/5/15		
6	Ocean View Manor	456	Elena	9/10/15	B-30651	Remodel of existing senior rental 40 apts. with common building and site improvements			PN-Disapproved 11/30/15		
7	Parks	2810	Elm	12/7/15	B-30775	New 480sf detached garage with new driveway & walkway			PN-Approved 12/16/15		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
8	Leage	1205 Embarcadero	9/10/15	B-30651	686sf second story addition	Correction letter sent. Not compliant w/ Planning conditions. CJ	Plans Denied 09-24-2015 cdk	PN- Approved 10/1/15, no memo.		
9	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process. Plans have been denied.	Memo of 11/29/13. CDP application should address soil revegetationor		
10	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	Building approved 08-04-15 cdl	RPS - No PW comments if street access is not required for storage bldg		
11	Decker	430 Fresno	6/8/15	B-30491	Convert existing laundry room into bathroom.	Approved. SG 6/15/15	Plans approved. 07-02-15 cdl	PN- Disapproved, needs sewer video & bwv 6/12/15		
	Nico	2431 Greenwood	12/14/15	B-30783	74 sqft addition to existing 604 sqft deck			JL/PN-Approved 12/21/15		
12	Monie	2577 Greenwood	6/8/15	B-30483	600sf addition (1st & 2nd floor) to front of existing SFR			PN-Disapproved, needs Erosion control plan 11/23/15		
13	Jackson, Addis	2860 Greenwood	9/2/15	B-30639	Detached 160sf Guest cottage	Disapproved 9-28-15. JG	Perit Denied 9-9-15 cdl	PN-Disapproved, needs Erosion control plan 11/23/15		
14	Hurless	2265 Hemlock	8/27/15	B-30477	SFR Garage converted to 492sf apartment with new bedroom and bathroom.	Disapproved 8-28-15. JG	05-15-15 Plans denied. Cdl	PN- Disapproved needs sewer lateral video-		
15	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	WM. Expecting Admin Use Permit application for minor revision to approved design.	Plans approved 9-18-15 cdl	PN-Disapproved, needs swr video & plan corrections. 9/24/15		
16	Nisbet	225 Kern	11/30/15	B30761	Remodel & Addition of 123sf to 1,107sf of existing SFR	JG. Requires a Conditional Use Permit		PN-Disapprovedper memo dated 12/2/15		
17	Nisbet	500 Kings	10/20/15	B30710	New 2,434 sf SFR with 672 sf garage and 228 sf of decking & shared driveway with adjacent lot		Plans under review. 10-21-15 cdl	PN-Disapprovedper memo dated 10/27/15		
18	Nisbet	570 Kings		B30600	New 2,317sf SFR w/ 583sf garage and separate detached 735sf 3-car garage.	Disapproved 8-31-15. CJ.	Plans denied 08-19-15 cdl	PN-Disapproved for plan corrections per memo dated 8/31/15		
19	Banuelos	350 Las Vegas	8/19/15	B-30613	Demo 832sf SFR & 384sf non-conforming detached garage. Build new 1,600sf SRF & 484sf garage.	Approved 11-12-15. JG.	Plans denied 10-16-15 cdl	PN-Approved 11/12/15		
20	Ryan	1125 Las Tunas	10/8/15	B-30695	New SFR with 2185sf & 580sf garage	Disapproved 10-27-15. JG	Plans denied 10-19-15 cdl	JL/PN-Disapproved per memo dated 12/21/15		
21	Douglas	2587 Laurel	7/27/15	B-30352	Addendum to B-30074. Add 24 sq. ft., converting 1,020 sq. ft. to habitable space, add 120 sq. ft. porch, and 191 sq.ft. deck	Under Review. JG. Denial	Plans Denied 08-05-15 cdl	PN 9/30/15 Approved as submitted. No memo		
22	Peter	890 Main	10/15/15	B-30702	76sf concrete accessible ramp at building entrance	Approved 10-21-15. SG	Plans Approved 10/19/15 cdl	PN-Approved 11/25/15		
23	Candy Fish Sushi	898 Main	2/23/15	B-30380	Demise wall to add inside seating in restaurant	Approved 2/26/15 JG	Plans denied 3-2-15 cdl			
24	Dyson	117 Main	8/18/14	B-30248	Covered Patio	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
25	Boisclair	900 Main	8/5/15	B-30587	Commerical Interior Remodel, with new restrooms, removing existing driveway & street trees	Approved 10-8-15. JG	Building plans Approved 10-13-2015 cdl	PN- Disapproved, need update to Arborist Report, 10/12/15		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
26	Zanovich	380 Marina	10/2/15	B-30685	Enclose existing deck on SFR	Disapproved 10-23-15. JG. Approved 12/10	Bldg. Plans approved. 10-19-2015 cdl	PN- Conditionally Approved, 10/16/15		
27	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved 9/25/14. CJ.	Plansw approved 9-30-2014 bc	RPS returned for corrections per memo of		
28	Bunker	491 Panay	12/8/15	B30777	203sf interior remodel to existing 1144sf two story SFR			PN- Approved 12/16/15		
29	Sciortino	966 Pecho	10/26/15	B30715	575sf addition to single level SFR & 77sf deck addition	Approved 10-27-15. JG	Permit issued 8-6-15 cdl	PN- Approved 10/30/15		
30	Dennis	290 Piney	2/13/15	B-30382	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG	Permit Issued 8-24-2015 cdl	ME approved 4/16/2015		
31	Humarian	781 Quintana	9/2/15	B-30631	Remodel exterior & interior w/ADA restrooms & parking lot upgrades.	Approved 11-13-15. JG.	Permit Issued 10-16-2015 cdl	PN- Approved 10/10/15		
32	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
33	Dow	670 Shasta	10/12/15	B-30699	Addition to SFR of 238sf living space and Demo & reconstruct of 276sf garage	Disapproved 10-27-15. JG	Permit issued 10-27-2015 cdl	PN- Disapproved per memo 10/23/15		
33	Dolezal	1885 Sunset	10/30/15	B-30758	Lot 6: New SFR with 1140sf and 480 garage	Under review		PN- Disapproved per memo 12/17/15		
34	Dolezal	1889 Sunset	10/30/15	B-30757	Lot 5: New SFR with 1140sf with 480 garage	Under review		PN- Disapproved per memo 12/17/15		
32	Dolezal	1893 Sunset	10/30/15	B-30756	Lot 4: New SFR with 1140sf living and 480sf garage	Under review		PN- Disapproved per memo 12/17/15		
33	Dolezal	1897 Sunset	10/30/15	B-30753	Lot 1: New SFR with 1140sf living and 480sf garage	Under review		PN- Disapproved per memo 12/17/15		
32	Dolezal	1901 Sunset	10/30/15	B-30754	Lot 2: New SFR with 1541sf living and 483sf garage	Under review		PN- Disapproved per memo 12/17/15		
33	Dolezal	1905 Sunset	10/30/15	B-30755	Lot 3: New SFR with 1457sf living and 480sf garage	Under review		PN- Disapproved per memo 12/17/15		
35	Reddell	310 Trinidad	6/1/15	B-30508	New 1763sf SFR w/427sf garage & 150sf storage/deck.	JG. waiting on planning permit approval. CP0479 / UP0431 approved 10/12/15		PN- Plans disapproved. Need lateral sewer video & plans update - 11/24/15		
36	Barbis	166 Vashon	8/27/15	B-30623	186sf Addition to front exterior of SFR	Approved 10-2-15. WM	Building plans approved 10-09-2015 cdl	PN- Plans disapproved for plan corrections - 9/30/15		
Planning Projects & Permits with Final Action:										
1	Frye	3420 Toro Lane	1/13/14	CP0-419 & UP0-383	Coastal Development Permit and Conditional Use Permit for New SFR and garage on vacant beach front lot.	WM. Revising MND. MND complete and routed to State Clearinghouse on 6-6-15. hearing on August 18, 2015. Approved by PC on 10-6-15. Appealed to Council and heard on 12-8-15. Appeals denied and Council approved permit request. Appealed to Coastal Commission.	BC-disapproved- need geologic and engineering geology report.FD/TP Approve2/24/14	RPS conditoinally approved per memo of 7/20/14		wm

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – NONE

Jacinth presented staff report.

Chairperson Tefft opened Public Comment period.

https://youtu.be/i_kXBTpulfk?t=26m40s

Tricia Knight, representative for Verizon, answered questions from the Planning Commission and addressed the 72 hour backup generator. Knight noted she is not familiar with the generator and would have to look into it.

Chairperson Tefft closed Public Comment period.

https://youtu.be/i_kXBTpulfk?t=41m40s

MOTION: Commissioner Luhr moved to approve PC Resolution 45-15 with amended condition of a minimum of 72 hours of backup power supply to the antenna, in the form of a generator or other acceptable back up power source, shall be supplied and shown on building plans unless deemed infeasible by the Community Development Manager and changes to Planning Conditions 1 and 6. Vice-Chairperson Sorenson seconded the motion and the motion passed unanimously (5-0).

B-2 Case No.: #CP0-460 and UP0-402

Site Location: 485 Piney Way, Morro Bay, CA

Project Description: Coastal Development Permit and Conditional Use Permit approval for installation of an unmanned telecommunication wireless facility which consists of 3 new directional panels antennas on the roof of an existing church screened with a faux chimney. Project also includes installation of associated equipment of 2 new equipment cabinets adjacent to church. The project is located outside of the Coastal Commission Appeals Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Continue the hearing item to the December 1, 2015 Planning Commission for full consideration at that time.

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

https://youtu.be/i_kXBTpulfk?t=48m31s

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – NONE

Jacinth requested the Planning Commission continue the item to the December 1st meeting due to an error in noticing.

Chairperson Tefft opened Public Comment period.

https://youtu.be/i_kXBTpulfk?t=49m48s

Diane Anderson, Morro Bay resident, stated she is appalled the Planning Commission and the Church is placing a cell tower in a residential area. She feels it should be placed in a commercial area.

Chairperson Tefft closed Public Comment period.

https://youtu.be/i_kXBTpulfk?t=51m13s

MOTION: Vice-Chairperson Sorenson moved to continue item CP0-460 and UP0-402 to the December 1st Planning Commission meeting. Commissioner Sadowski seconded the motion and the motion passed unanimously (5-0).

https://youtu.be/i_kXBTpulfk?t=51m36s

C. UNFINISHED BUSINESS

C-1 Planning Commission review of General Plan conformity for disposition of vacant City owned property located at Mindoro Street, West of Highway, APN: 065-113-066.

Staff Recommendation: Adopt Resolution 33-15

Staff Contact: Scot Graham, Community Development Manager

https://youtu.be/i_kXBTpulfk?t=52m12s

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – NONE

Graham presented staff report.

Chairperson Tefft opened Public Comment period.

https://youtu.be/i_kXBTpulfk?t=1h4m6s

Ted Shade, resident near Mindoro property stated if someone built a home on the lot, he doesn't believe it would match the bulk and scale of the neighborhood. Shade also noted there is no space for on-street parking for this property.

Chairperson Tefft closed Public Comment period.

https://youtu.be/i_kXBTpulfk?t=1h11m8s

MOTION: Vice-Chairperson Sorenson moved to approve PC Resolution 33-15 as amended with special circumstances. Commissioner Sadowski seconded the motion and the motion passed unanimously (5-0).

https://youtu.be/i_kXBTpulfk?t=1h28m44s

D. NEW BUSINESS – NONE

E. PLANNING COMMISSIONER COMMENTS

https://youtu.be/i_kXBTpulfk?t=1h29m29s

Commissioner Sadowski stated his concerns with the capacity issue of the Water Reclamation Facility.

Commissioner Luhr wanted status from staff on the Haul-Out Facility and the manufactured home on Greenwood.

Graham updated the Commissioner on their questions.

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

https://youtu.be/i_kXBTpulfk?t=1h42m33s

Graham notified the Planning Commissioners the RFP period for the General Plan update closed today.

G. ADJOURNMENT

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –NOVEMBER 24, 2015

The meeting adjourned at 7:44 p.m. to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on December 1, 2015, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary

AGENDA ITEM: A-2

DATE: January 19, 2016

ACTION: _____

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – DECEMBER 1, 2015
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Robert Tefft Katherine Sorenson Michael Lucas Richard Sadowski	Chairperson Vice-Chairperson Commissioner Commissioner
ABSENT:	Gerald Luhr	Commissioner
STAFF:	Scot Graham Cindy Jacinth	Community Development Manager Associate Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS –

Commissioner Sadowski announced there was a memorial for Ben Tierra who was a member of the Coast Alliance. Sadowski also thanked Tognazzini's for providing the food.

PUBLIC COMMENTS

<https://youtu.be/ifncn6Hbp9E?t=1m54s>

Chairperson Tefft opened Public Comment period and seeing none closed the Public Comment period.

<https://youtu.be/ifncn6Hbp9E?t=2m47s>

PRESENTATIONS – NONE

A. CONSENT CALENDAR

<https://youtu.be/ifncn6Hbp9E?t=3m9s>

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

MOTION: Commissioner Luhr moved to approve PC 47-15 with amended conditions. Vice-Chairperson Sorenson seconded and the motion passed (3-2). Commissioners Lucas and Sadowski voting no.

<https://youtu.be/ifncn6Hbp9E?t=3m29s>

B. PUBLIC HEARINGS

Continued from the 11-24-15 Planning Commission meeting

B-1 Case No.: #CP0-460 and UP0-402

Site Location: 485 Piney Way, Morro Bay, CA

Project Description: Coastal Development Permit and Conditional Use Permit approval for installation of an unmanned telecommunication wireless facility which consists of 3 new directional panels antennas on the roof of an existing

church screened with a faux chimney. Project also includes installation of associated equipment of 2 new equipment cabinets adjacent to church. The project is located outside of the Coastal Commission Appeals Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Conditionally approve

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

<https://youtu.be/ifncn6Hbp9E?t=3m52s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
Commissioner Lucas spoke to Reverend Paulson in the lobby before the meeting.

Jacinth presented staff report.

Chairperson Tefft opened Public Comment period.

<https://youtu.be/ifncn6Hbp9E?t=17m38s>

Tricia Knight, representative for Verizon, stated the reasons why there are going to be more of these small cell towers going up in town; based on capacity.

Richard Hopper, MB resident, stated his concerns for having the cell tower across from his residence. He noted he spoke to Tricia Knight to see if the cell tower could be moved 12 feet to the back of the roof.

Ann Travers, MB resident, stated her concerns about living between two cell towers and having more towers in her neighborhood. She asked if the cell tower could be moved to the Piney Way side instead of the proposed area.

Barbara Nordin, MB resident, asked if she could have a cell tower on top of her house, or was it limited to only churches. She noted she will be living between two cell towers and is very concerned about this.

Chairperson Tefft closed Public Comment period.

<https://youtu.be/ifncn6Hbp9E?t=30m14s>

Chairperson Tefft opened Public Comment period.

<https://youtu.be/ifncn6Hbp9E?t=54m28s>

Knight stated the questions and concerns that are being asked tonight are also the same ones which came up in 2008 with the nearby Sprint facility at St. Peters. She noted the carriers are aware of the ordinances and the guidelines.

Nordin stated she would like the Planning Commission to deny the application and have the applicant re-apply. She noted she would like to have the cell tower placed in another location. She suggested placing the cell tower on City Hall.

Travers read part of the General Plan and stated the City Council overturned an appeal in 2008 for the placement of a cell tower on St. Peter's Episcopal Church. She stated the City was then sued by Sprint and had to overturn the overturned appeal. She also noted the City Council back then wanted to protect the neighborhood.

Betty Winholtz, Morro Bay resident, stated she is against the project and also is against the 1401 Quintana project which is on a scenic highway. She would like the Planning Commission to set some standards.

Chairperson Tefft closed Public Comment period.
<https://youtu.be/ifncn6Hbp9E?t=1h5s>

The Planning Commission discussed sending a letter to City Council requesting Council to study the ramifications of having cell towers in close proximity of the neighborhood.

MOTION: Vice-Chairperson Sorenson moved to deny project based on proximity of existing tower and visual blight. Commissioner Lucas seconded and the motion passed (3-1, Chairperson Tefft voting no)
<https://youtu.be/ifncn6Hbp9E?t=1h32m32s>

- B-2 Case No.:** #CP0-483 and UP0-421
Site Location: 1401 Quintana, Morro Bay, CA
Project Description: Coastal Development Permit and Conditional Use Permit approval for installation of an unmanned telecommunication wireless facility which consists of a cylindrical antenna on top of an existing 28 ft. utility pole and the installation of an equipment cabinet adjacent to the utility pole within the public right-of-way. The project is located outside of the Coastal Commission Appeals Jurisdiction
CEQA Determination: Categorically Exempt, Section 15303, Class 3
Staff Recommendation: Conditionally Approve
Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270
<https://youtu.be/ifncn6Hbp9E?t=1h32m26s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – NONE

Graham requested to continue to the next Planning Commission on December 15th due to the site was not noticed.

Chairperson Tefft opened Public Comment period.
<https://youtu.be/ifncn6Hbp9E?t=1h33m24s>

Knight stated the city ordinances were used as guidelines and noted there are no rules for proximity in the ordinances. She feels the applicant shouldn't be handicapped for this.

Chairperson Tefft closed Public Comment period.
<https://youtu.be/ifncn6Hbp9E>

MOTION: Vice-Chairperson Sorenson moved to continue to the next meeting. Commissioner Sadowski seconded the motion and the motion passed unanimously (4-0).
<https://youtu.be/ifncn6Hbp9E?t=1h35m36s>

C. UNFINISHED BUSINESS - NONE

D. NEW BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS

<https://youtu.be/ifncn6Hbp9E?t=1h36m10s>

Commissioner Lucas would like to propose a discussion on the proximity of cell towers in the city. He would like more information on where the existing facilities are located and would like staff to provide projects which have been approved to date, and what projects have been deemed complete to date. Commissioner Lucas noted the noticing was only done for one cell tower and not for other existing cell towers in the neighborhood.

Vice-Chairperson Sorenson stated she is aware we need the cell towers but would like to educate ourselves on their locations. She stated maybe the carrier would consider one large facility instead of three smaller ones. She noted the visual clutter will affect the nature of the community, and direction from the City Council would be helpful.

Chairperson Tefft stated there was a small number of the community here tonight and noted if the issue was agendized at City Council, maybe people would be more aware of what's going on. Tefft stated he doesn't understand what negative impact the Planning Commission is trying to mitigate.

Commissioner Sadowski stated the community should receive some kind of awareness. Maybe writing a letter to the City Council to have it discussed and brought back to the Planning Commission would help generate some type of dialogue.

Graham suggested the Planning Commission narrow their discussion due to the discussion not being an agendized item. He noted they now have direction and provided different options for the Planning Commission to decide on.

The Planning Commission agreed on placing the discussion as an agendized item for the next meeting.

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

Graham updated the Planning Commission on the Bike Park. Grading has been completed and the fencing and parking area are being worked on. It is projected to be completed in a couple of weeks.

Graham notified the Planning Commission the Boat Haul-Out will be discussed at the next Harbor Advisory Board next Thursday at 6 p.m.

Graham notified the Planning Commission about the General Plan Consultant. He stated only one proposal was submitted, and noted two consultants combined together as one. Michael Baker International is the consultant who acquired PMC. The GPAC Committee will interview the consultant.

G. ADJOURNMENT

The meeting adjourned at 8:01 p.m. to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on December 15, 2015, at 6:00 p.m.

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –DECEMBER 1, 2015

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: January 19, 2016

Staff Report

TO: Planning Commissioners

DATE: January 19, 2016

FROM: Whitney McIlvaine, Contract Planner

SUBJECT: Continued Review of Coastal Development and Conditional Use Permits (CP0-469/UP0-414 and CP0-470/UP0-415) to allow demolition of existing residential structures and construction of two new single-family houses on adjacent lots in the Embarcadero bluff area at 1147 and 1149 West Avenue in the R-2/PD/SP zone.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECTS by adopting Planning Commission Resolutions 5-16 and 6-16 which include the Findings and Conditions of Approval for each project as depicted on development plans dated December 4, 2015.

APPLICANTS/AGENT:

William Merrifield, Owner of 1147 West Avenue
A. J. Wright, Owner of 1149 West Avenue
Chuck Stevenson, Agent

LEGAL DESCRIPTION/APN:

066-034-023: 1147 West Avenue
066-034-022: 1149 West Avenue

PROJECT DESCRIPTION:

Plans show demolition of two vacant residential structures and construction of two new single family homes, each on its own lot. The proposed two-story houses are nearly identical with different architectural surface treatment for the exteriors. Each house has 2,805 square feet of living area, a 600+/- square foot garage and a 277 square foot second story balcony at the rear, facing west. The home at 1149 West Avenue is sited further back from the street due to the lot's slightly greater depth.

PREVIOUS REVIEW:

Review of these projects was continued from the August 4, 2015 Planning Commission meeting to allow for archaeological investigation of the project sites. Minutes are available on the City's website at <http://www.morro-bay.ca.us/ArchiveCenter/ViewFile/Item/2513>.

Prepared By: __WM__

Department Review: __SG__

PROJECT SETTING:

The projects are located on two adjacent lots on the bluff above the Embarcadero. Both lots are nearly flat. The bluff edge is approximately along the westerly property lines. The face of the bluff slopes down to development on Front Street. The entire site (both lots) is currently developed with two vacant residential structures, one approximately 1,100 square feet and one approximately 375 square feet. The project sites are zoned Duplex Residential with a Planned Development overlay, which requires additional architectural and site development review. The projects are also within the Beach Street Specific Plan area. Bluff top lots along West Avenue are developed with one and two story houses. The lots along the inland side of West Avenue are developed with a combination of residential and commercial uses.



<u>Adjacent Zoning/Land Use</u>			
North :	R-2/PD/SP Residential	South	R-2/PD/SP Residential
East:	C-2/PD/SP and C-VS/PD/SP Custom auto body and second floor residential	West:	C-VS/S-4/SP Restaurant and Motel

Site Characteristics	
Lot Sizes	6,302 SF at 1147 West St. and 6,774 SF at 1149 West St.
Existing Use	Vacant Residential Structures
Terrain	Level
Vegetation	Non-native grasses and iceplant
Access	West Avenue

General Plan, Zoning Ordinance & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low/Medium Density Residential
Base Zone District	Duplex Residential (R-2)
Zoning Overlay District	Planned Development (PD)
Specific Planning Area	Beach Street Specific Plan(SP)
Coastal Zone	Located in the Coastal Zone within the appeal jurisdiction
Bluff Property	Subject to Bluff Development Standards

Zoning Ordinance Standards		
	Standards	Proposed
Front-Yard Setback	15 feet (per the Beach Street Specific Plan)	1147 West St.: 31'5" 1149 West St.: 42'7"
Side-Yard Setback	10% of average lot width with 5' maximum and 3' minimum In this case, 4.1 feet	1147 West St.: 4'1" and 4'2" 1149 West St.: 4'1" and 4'7"
Rear-Yard Setback	In R-2: 5 feet Bluff setback –per geotechnical report*	1147 West St.: 24' * 1149 West St.: 24' *
Lot Coverage	50% allowed	1147 West St.: 39.32% 1149 West St.: 36.58%
Height within 50 feet of Bluff Edge	14 feet for flat roofs and roof deck sills; 17 feet for roofs with a 4:12 or steeper pitch*	1147 West St.: 14 feet 1149 West St.: 14 feet
Height beyond 50 feet of Bluff Edge	25 feet maximum*	1147 West St.: 24' 1149 West St.: 24.4'
Parking	2 covered and enclosed spaces	2 covered and enclosed spaces
* - See discussion of bluff development standards below		

PROJECT ANALYSIS:

Background

County records indicate the existing structures were built in 1951. City records show a fence permit in 1988.

Permit Requirements

Title 17 of the Morro Bay Municipal Code (MBMC) establishes land use and zoning permit requirements. The projects at 1147 and 1149 West Avenue propose construction of two new single family dwellings on separate bluff top lots in the Coastal Commission appeal jurisdiction with a Planned Development (PD) overlay. These projects require Planning Commission approval of both a coastal development permit and a conditional use permit.

New single family residences west of Main Street and within the Coastal Commission appeal jurisdiction require a regular coastal development permit (MBMC Section 17.58.020H).

Development within the Planned Development overlay zone requires a conditional use permit (MBMC Section 17.40.030).

Development on bluff properties requires a conditional use permit (MBMC Section 17.45.030).

Zoning Overlays

Planned Development: The project site has a Planned Development (PD) overlay. This overlay is applied to parcels, which because of location, size, or public ownership warrant more detailed review. The overlay is applied to all lands within the Beach Street Area Specific Plan.

Beach Street Specific Plan: The proposed projects are in designated “Area B” of the Beach Street Specific Plan. Projects in this area are subject to a public view access fee of \$2.00 per linear foot of property fronting along the top of the bluff or \$100, whichever is greater. This is for the purpose of designing, constructing or maintaining a public view deck on Surf Street. The specific plan also requires the installation of frontage improvements on West Avenue. Conditions in resolutions for approval reflect these requirements.

Setbacks

The current R-2 zoning establishes the minimum front, side, and rear setbacks for the site, as noted in the *Zoning Ordinance Standards* table above. The westerly side setback is also subject to bluff development standards, which generally require a minimum setback of 20 feet from the

bluff edge. Lesser bluff setbacks are allowed in the Embarcadero Bluff Area (see discussion below). As noted above, the Beach Street Specific Plan allows a lesser front setback of 15 feet. The projects meet or exceed setback requirements.

Bluff Development Standards

Geologic Report: Chapter 17.45 of the Zoning Ordinance establishes bluff development standards and requires use permit approval for development of bluff properties. The projects are within the Embarcadero Bluff Area, which allows for development within the bluff buffer (typically a minimum of 20 feet from the bluff edge) and on the bluff face, subject to setback and/or construction recommendations in the required geologic report to ensure structural stability without altering bluff landforms or requiring protective devices such as extensive retaining walls.

The applicants submitted a geotechnical engineering report, prepared by Earth Systems Pacific (April 13, 2015). The report notes that on-site sandy soils are highly erodible and includes recommendations for minimizing erosion during and after construction. Because the lower portion of the bluff to west of the building sites is retained by development along Front Street and the upper portion is not overly steep, the report's conclusion (page 4) states, "...no additional structural considerations with respect to the slope are considered necessary for the structures in their proposed location." Planning conditions 11 and 12 in the resolutions for approval would require each of the projects to comply with recommendations in the geotechnical engineering report, including inspections and oversight by a geotechnical engineer.

At the August 4, 2015 Planning Commission meeting, several questions related to site geology and drainage were raised by Commissioners and owners of property at the base of the bluff below the projects. In a phone conversation with Fred Potthast of Earth Systems Pacific on December 10, 2015, staff confirmed that the building setback of roughly 25 feet from the edge of a bluff that is approximately 25 feet tall meets generally acceptable engineering standards. Mr. Potthast noted that any wall or fence near the bluff edge should be setback a minimum of 5 feet from the edge of the bluff and constructed with a deep footing to minimize surcharge and erosion concerns in this area (Planning condition 12).

Drainage: Zoning regulations require new development on coastal bluff properties to install drainage systems to carry run off inland to the nearest public street. However, State-mandated storm water management standards, adopted by the City, to protect water quality and control run-off flow from new and redevelopment projects, override this requirement. Since both projects have more than 2,500 sq. ft. of new or redeveloped impervious area, they are subject to these overriding requirements. Building permit plans must demonstrate compliance with storm water management standards (Public Works conditions 1 and 2). Project plans currently show storm water retention on site near the West Avenue frontage. As much as possible storm water should be directed away from the bluff edge. Any hardscape near the bluff should include drain inlets to

collect storm water and direct it toward the street side of the lots.

Height Limits: New development within 50 feet of the bluff edge is limited to a maximum height of 14 feet, although for peaked roofs with a minimum pitch of 4 in 12, a height of up to 17 feet may be permitted. Planning condition 8 is included in each resolution to ensure both structures comply with the bluff development height standards.

Public Coastal Views: Development on bluff properties is also subject to visual analysis of potential impact on public coastal views. Standing in front of the property on West Avenue, parts of Morro Rock are visible over the top of the main single story house and also between the two onsite structures.



With construction of the proposed projects, the rock will be glimpsed between homes as is the case elsewhere along West Avenue. Although these projects will reduce coastal views, the impact is less than significant given that West Avenue functions more like an alley.



Street Elevation

The new structures will be visible from the Embarcadero. (The photo to the right is taken from the Front Street parking lot. The larger existing house on the project site is visible above the restaurant and motel.)

Photo simulations of the built homes will be available at the meeting.



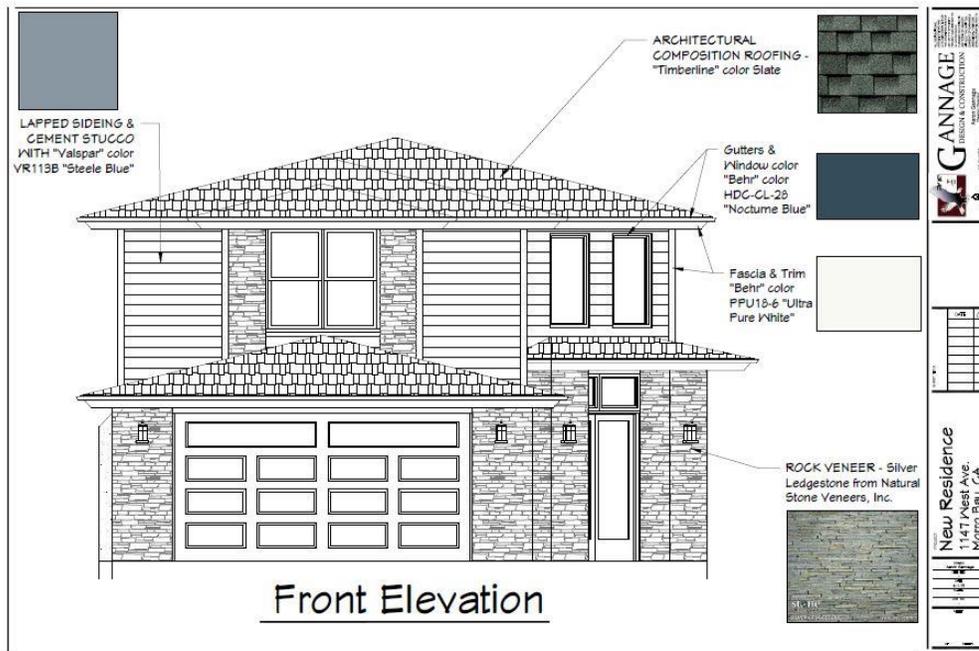
Architectural Design

The project will be an improvement over the appearance of the existing structures which are in poor condition and have been vacant for some time. A color and material exhibit was submitted for each project. (See Exhibits C and D). Structurally, the two houses are essentially identical. A different exterior treatment is proposed for each house and the front setbacks vary. The new homes should appear compatible with other newer two-story homes along this stretch of the bluff such as the one shown right at 1155 West Avenue, built in 2010.



1147 West Avenue:

The proposed exterior treatment for 1147 West Avenue includes a combination of stucco, lapped siding and stone veneer. The siding and stucco color would be a medium grey. The fascia and trim would be white. The stone veneer appears to be a variegated slate blue color. A dark bluish gray is proposed for the gutters and window frames. Dark gray architectural asphalt shingles are proposed for the roof material.

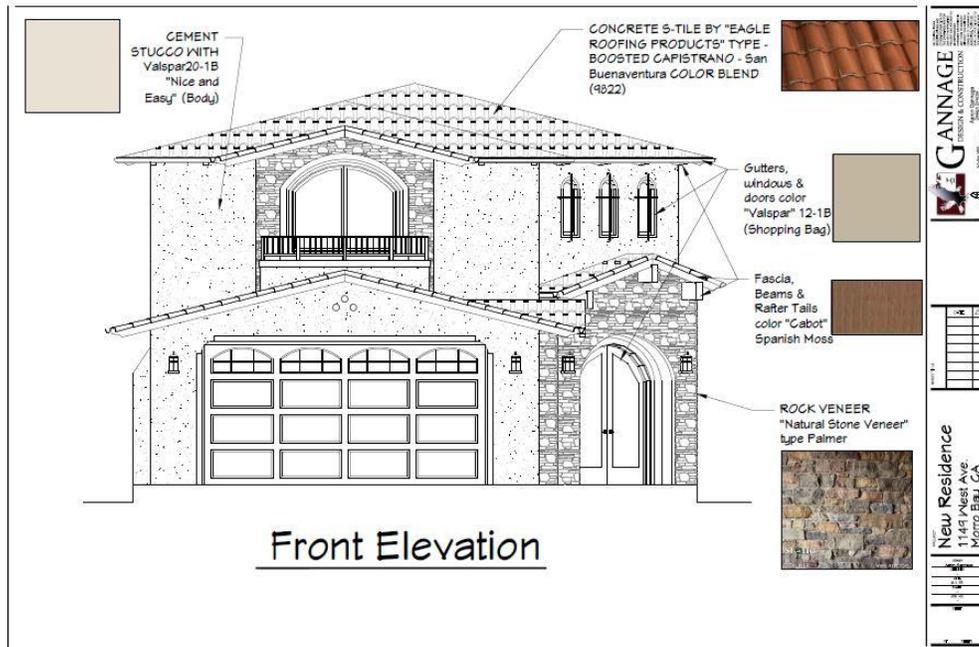


At the August 4, 2015 meeting, Planning Commissioners indicated a preference for better overall continuity of exterior architectural treatment. Previous plans showed only stucco on the side elevations. Revised plans include horizontal siding on the upper level of the side elevations. Staff recommends a more similar trim detail for the upper and lower windows.



1149 West Avenue:

The proposed exterior treatment for 1149 West has a Spanish/Mediterranean look in warm earth tones. The primary materials are stucco and stone veneer. Windows are both arched and rectilinear. Reddish concrete tiles are proposed for the roof. The window treatment, garage door design, and exterior light fixtures are all generally in keeping with the proposed architectural style.



Plans have been revised since the August 4, 2015 hearing to include a lower sill at the windows. Staff recommends the windows be recessed which would improve the articulation of the side elevations. With recessed windows, the decorative lintel above the windows may not be necessary.



Landscaping

Bluff development standards state that landscaping shall be designed to minimize ecological and geologic disturbance and that only plant materials recognized for drought tolerance and erosion control shall be authorized on bluffs and bluff tops.

An identical, conceptual landscape plan is included for each project. While the plan is somewhat perfunctory and some plant material is mischaracterized, it does illustrate areas available for landscaping. Plants called out are generally drought tolerant. Plans submitted for a building permit should identify street tree locations and clarify how landscaping will be handled in the areas designated for drainage basins. (See Planning condition 11 in both resolutions.) Varying the landscape plan for each site is a good way to individualize the projects.

ENVIRONMENTAL DETERMINATION:

A phase II archaeological evaluation was prepared for the proposed redevelopment of 1147 and 1149 West Avenue. Although several fragmented artifacts were found, the evaluation report concluded that the combined project area is ineligible for listing in the California Register for Historical Resources and that the projects will not have an adverse effect on historic resources. However, since there is a possibility for encountering additional artifacts in the course of construction, an archaeological monitoring plan has been developed and is included in the recommended conditions of approval.

Because the projects have been determined not to have a potentially significant adverse impact on unique or historical archaeological resources and because there are no other potentially significant environmental impacts associated with the proposed projects, the projects meet the

requirements for a Categorical Exemption under CEQA Guidelines Section 15303(a) Class 3, and no further environmental review is necessary pursuant to Section 15064.5. The exemption applies to construction of a limited number of new structures in an urbanized area. The project is not subject to any of the exceptions listed in CEQA Section 15300.2.

PUBLIC NOTICE:

Notice of a public hearing on these items was published in the San Luis Obispo Tribune newspaper on January 8, 2016, and all property owners of record and occupants within 500 feet of the subject sites were mailed notification of this evening's public hearing and invited to voice any concerns regarding the applications.

CONCLUSION:

With incorporation of the recommended conditions of approval, the projects are consistent with required development standards of the Zoning Ordinance and applicable provisions of the General Plan and Local Coastal Plan.

Staff recommends that the Planning Commission conditionally approve the requested Coastal Development Permits and Conditional Use Permits for the projects at 1147 and 1149 West Avenue Street as shown on the project plans date stamped December 4, 2015 by adopting Planning Commission Resolutions 5-16 (1147 West Avenue) and 6-16 (1149 West Avenue).

EXHIBITS:

- Exhibit A – Planning Commission Resolution 5-16 (1147 West Avenue)
- Exhibit B - Planning Commission Resolution 6-16 (1149 West Avenue)
- Exhibit C – Color and Material Board (1147 West Street)
- Exhibit D – Color and Material Board (1149 West Street)
- Exhibit E – 1147 West Street Plan Reductions dated 6-1-15
- Exhibit F – 1149 West Street Plan Reductions dated 6-1-15

Full size plans and the Geotechnical Engineering Report (Earth Systems Pacific April, 2015) are included in the Commissioner packets and available for review at the Community Development Dept. at 955 Shasta Street.

EXHIBIT A
RESOLUTION NO. PC 5-16

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING COASTAL DEVELOPMENT PERMIT (CP0-469) AND CONDITIONAL
USE PERMIT (UP0-414) TO ALLOW DEMOLITION OF VACANT RESIDENTIAL
STRUCTURES AND CONSTRUCTION OF A NEW 3,480 SQUARE-FOOT SINGLE-
FAMILY DWELLING ON A BLUFF PROPERTY IN THE COASTAL APPEAL
JURISDICTION
AT 1147 WEST STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on January 19, 2016, for the purpose of considering Coastal Development Permit CP0-469 and Conditional Use Permit UP0-414 for demolition of existing structures and construction of a new single-family home at 1147 West Street, on a bluff property in the Coastal Commission appeal jurisdiction; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 3(a), for construction of a limited number of new structures in an urbanized area. None of the exceptions found in CEQA Section 15300.2 apply to this project.
2. A Phase II archaeological evaluation of the project site was conducted by Albion Environmental, Inc. which concluded that redevelopment of the site will not cause an adverse effect to a historical resource, but also recommended a monitoring plan in the event of an unforeseen encounter of subsurface intact archaeological deposits. A detailed monitoring plan is included as a condition of project approval.

Coastal Development Finding

1. As conditioned, the project is consistent with applicable provisions of the Local Coastal Program for new single-family residences and bluff development in the

Embarcadero Area.

Conditional Use Permit and Planned Development Findings

1. As conditioned, the project is consistent with the General Plan and Local Coastal Program regarding the location of residential uses and development of bluff property in the Embarcadero Area.
2. As conditioned, the project will not be detrimental to the health, safety and welfare of persons residing or working in the neighborhood.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-469 and Conditional Use Permit UPO-414 for property located at 1147 West Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated January 19, 2016, for the project at 1147 West Street (APN:066-034-023) depicted on plans received by the City on December 4, 2015, as part of Coastal Development Permit CP0-469 and Conditional Use Permit UP0-414, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Manager"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Manager. Any changes to this approved permit determined, by the Manager, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all

applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Manager or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Manager, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Archaeology: The project shall comply with all archaeological monitoring procedures outlined in the monitoring plan prepared by Albion Environmental, Inc. specifically for this project and included in this resolution as Attachment 1. Plans submitted for a building permit shall include all provisions of the monitoring plan on a separate sheet and shall list the archaeological monitor and contact information on the title sheet.
3. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in

- such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
4. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
 5. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
 6. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Manager Manager.
 7. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Manager. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
 8. Building Height Verification: Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Manager certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor shall submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and zoning ordinance standards, including the bluff development standards.
 9. Building Height Calculation: Plans submitted for a building permit shall clearly identify the high and low topographic elevation points within the footprint of the new structure as certified by a licensed land surveyor.
 10. Bluff Standards for Building Height: Building height shall comply with the maximum bluff property building height standards, which are 14 feet for flat roofs and roof deck sills, and 17 feet for roofs with a minimum pitch of 4 in 12 within 50 feet of the edge of bluff, and 25 feet beyond 50 feet from the edge of the bluff. Height shall be measured from the average natural grade beneath the building footprint as certified in writing by a licensed land surveyor.
 11. Geotechnical Engineering Report: The applicant shall comply with all recommendations contained in the geotechnical engineering report, prepared by Earth Systems Pacific (April 13, 2015). Plans submitted for a building permit shall be

stamped by a licensed geotechnical engineer. A copy of all inspection reports by the geotechnical engineer shall be provided to the Community Development Manager.

12. Fence/Wall at Bluff Edge: Any fence or wall proposed near the bluff edge shall be setback a minimum of 5 feet from the edge of bluff and shall not exceed 4 feet in height. Foundation construction for any such retaining or garden wall shall be subject to review and inspection by a licensed geotechnical engineer to ensure the structure does not surcharge the bluff in a manner that will induce erosion.
13. Undergrounding: Prior to final occupancy clearance, the applicant shall install all utility distribution and service lines underground.
14. Landscaping: Project landscaping shall include native and drought tolerant plants. A street tree is required to be planted as part of frontage improvements. In addition to lower growing shrubs and groundcover, the landscape plan submitted with plans for a building permit shall include a selection of larger native and drought tolerant shrubs to the satisfaction of the Community Development Manager.
15. HVAC Location: Any HVAC system shall be located under the roof lines or on the ground outside of required setbacks and not visible from the public right of way to the satisfaction of the Community Development Manager.
16. Public View Access Fee: Projects in this area are subject to a public view access fee of \$2.00 per linear foot of property fronting along the top of the bluff or \$100, whichever is greater, payable prior to issuance of a building permit.
17. Exterior Materials: Provide a similar window trim treatment on both floor levels and all building elevations to the satisfaction of the Community Development Manager.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual Projects with more than 2,500 sq. ft. of new or redeveloped impervious area are subject to these requirements. It appears this project is over the 2500 sq. ft. threshold and performance requirements 1 & 5 are required.
2. As part of plans submitted for a building permit, provide a drainage plan for the site demonstrating that it does not allow concentrated flow of storm water toward the bluff and complies with the applicable drainage requirements of the Bluff Development Standards (MBMC 17.45.040).
3. Provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.

4. Include the locations of all proposed utilities, gas, sewer, water etc. Indicate on the plans the location of the lateral and if the sewer lateral is proposed or existing. If the existing sewer lateral is going to be used the following must be completed prior to building permit issuance.
 - a. Conduct a video inspection of the conditions of existing sewer lateral prior to building permit issuance. Submit a DVD to City Public Services Department. Repair or replace as required to prohibit inflow/infiltration.
 - b. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project. (MBMC 14.07.030) Indicate on the plans.
5. A standard encroachment permit shall be required for the proposed driveway; the driveway should comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for the installation of the sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.
6. Beach Street Specific Plan: The proposed project is located in Sub-area B of this Specific Plan Area and subject to the following conditions:
 - a. Curb, gutter, sidewalk, and street trees: In addition to any other improvements found necessary by the Planning Commission, the applicant is required to maintain or replace curb, gutter, six-foot wide sidewalks and street trees pursuant to City Standards and Municipal Code Section 14.44. Sidewalks and driveway approaches shall conform to current ADA requirements.
7. Add the following Notes to the Plans:
 - a. Any damage to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
 - b. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

BUILDING CONDITION

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

FIRE CONDITION

1. Sprinklers: Fire sprinklers shall be installed in the new single family house.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 19th day of January, 2016 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Chairperson Robert Tefft

ATTEST

Scot Graham, Community Development Manager

The foregoing resolution was passed and adopted this 19th day of January, 2016.

B-1 EXHIBIT A & B ATTACHMENT 1

MONITORING PLAN

The Project proponents and the City of Morro Bay will meet their responsibilities under CEQA by implementing a plan to monitor construction of the Project and taking appropriate action if cultural resources are encountered. This document, the Monitoring Plan, describes the following topics

- Field procedures for resource evaluation;
- Communications protocols;
- Decision criteria for treatment actions;
- Evaluation procedures; and
- Native American involvement in the monitoring effort.

General Monitoring Procedures

Archaeological monitoring of the Project will be conducted by a qualified archaeologist. Duties include observing all ground-disturbing activities within the subject parcel located at 1147 and 1149 West Avenue in Morro Bay. Given the areas high sensitivity for archaeological features including human remains, a monitor shall be present for all initial earth disturbing activities.

Archaeological monitors will be equipped to identify and fully record newly discovered features in the field, using standard techniques such as drawings, written descriptions, photography and maps. Monitors will be briefed on procedures to follow in the event that cultural materials are encountered. A Native American representative will also be present. Protocols for Native American involvement are discussed below (see Native American Participation).

Prior to the start of Project construction, the archaeological monitor will provide cultural resources awareness training to all construction crew and supervisors. The training will include a description of the kinds of resources that may be found in the area, protocols to be used in the event of an unanticipated discovery, the importance of cultural resources to the Native American community, and a discussion of laws pertaining to significant archaeological and historical sites.

The success and efficiency of archaeological monitoring is directly related to the day-to-day working relationship between the monitor and the equipment operator. Cooperation, which by necessity develops over time, adds to this efficiency, and monitoring activities will, over time become a routine element of the daily construction activities.

The following section outlines specific archaeological monitoring procedures.

Field Monitoring Procedures

The archaeological monitor will rely primarily on observation of soil disturbance during construction activities (i.e., manual or machine excavations, grading). The monitor will periodically ask the equipment operator or laborer to temporarily halt, while the monitor takes a closer look at excavation areas. The monitor will be observing consistency or changes in soils, or may be examining specific materials that may be cultural in origin. This will usually be done from outside the excavation area,

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however on occasion the monitor may wish to observe the soils or materials at close range. In this case, the operator will be asked to hold the equipment at a safe distance while the monitor makes the close observations. While substantial finds may require up to ½ hour to assess, as noted below, it is usually the case that the monitor will require only a minute or two to complete the assessment. In such cases it will be unnecessary to turn off or move the equipment.

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If potentially significant cultural materials are encountered (i.e., intact features; artifact/ecofact rich midden soils, human remains), the archaeological monitor will halt excavation within the immediate vicinity (approximately 50 feet from discovery in all directions) to determine the nature of the find.

The monitor will conduct a brief field assessment (1–30 minutes) to determine if the discovery constitutes a potential significant archaeological resource. Generally, an archaeological resource is considered potentially significant if it appears relatively intact or undisturbed, includes human remains, or is a discrete feature such as a hearth pit or wall segment.

The monitor will immediately notify construction crews if additional time is required to consult with the Project archaeological consultant/contractor or other specialists. Should significant cultural resources be encountered during construction, the monitor will notify the following parties first by telephone and then by follow up email:

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Telephone (805) 459-9493; Email: chsdesign1@yahoo.com
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Protocols for determining significance are outlined in the following section entitled “Evaluation Process”. Procedures for discoveries involving human remains are detailed in the section entitled “Treatment of Human Remains”.

If the discovery is determined to be not potentially significant, the monitor will indicate that construction can proceed.

If the find is deemed potentially significant, crews will be asked to move to a new location so that a more in-depth archaeological evaluation and mitigation (if needed) can occur. The Project archaeological consultant/contractor will consult with The City of Morro Bay Planning Department, the land owners, and Native American representatives to develop a treatment plan to address project impacts.

Evaluation Process

Determining CRHR Eligibility

In accordance with the CEQA, cultural resources encountered during the Project monitoring shall be evaluated to determine if the resource is a historical resource (or is a contributing element of an existing historical resource, meeting the established criteria for inclusion in the California Register of

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historical Resources (CRHR) (CEQA Guidelines, Section 15064.5 [a]). Cultural resource evaluations also assess potential impacts that a project may impose on identified historical resources or unique archaeological resources. Significance and impact assessments typically focus on deposit content, extent, and integrity, and therefore incorporate an appropriate level of sub-surface investigation. Evaluation of newly discovered sites or features depends largely on size of the deposit, and varies widely in level of effort required.

Evaluation of archaeological resources will be accomplished using criteria set forth in Section 15064.5 (a) (3) of the Guidelines. This statute states that a site is eligible for listing in the California Register of Historical Resources if the resource meets one of the following criteria:

- a) is associated with events that have made a significant contribution to broad patterns of California's history and cultural heritage;
- b) is associated with the lives of persons significant in our past
- c) embodies the distinctive characteristic of a type, period, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- d) has, or may be likely to yield, important information in prehistory or history.

If the resource is considered not significant (not a historical resource under CEQA), then the effects of the project on that resource shall not be considered significant and the resource need not be considered further in the CEQA process.

If the resource is considered significant (a historical resource under CEQA), and it is determined that the Project will cause a substantial adverse change in the significance of a resource, then it will be necessary to develop mitigation measures to render said impacts to a level of less than significant (CEQA Guidelines, Section 15064.5 [c]). Under CEQA, avoidance is the preferred mitigation for archaeological sites. Other mitigation measures are provided in the Guidelines (Section 15126.4[b] [3]).

In-field evaluation of materials and/or features discovered during project monitoring recovered during the evaluation phase will be used to assess eligibility for inclusion in the CRHR. This process involves determining if the find retains integrity, and if so, making a determination whether constituents have the potential to provide meaningful data to address various research issues, and is therefore a contributing element to known historic resources identified on the property.

An assessment of site integrity for the current study involves an evaluation of both surface and subsurface contexts. The former includes assessment of degree of any significant surface disturbance including, but not limited to, vehicle tracks, construction or grading activities, natural weathering and erosion, vandalism, and historic/modern impacts. The latter, by contrast, involves assessing the condition of the buried deposit and its surrounding matrix, and noting any impacts, both natural and anthropogenic, that might have compromised the integrity and subsurface structure. The assessment of subsurface deposition typically involves some amount of archaeological exploration including manual excavation and screening. The amount of excavation/screening required depends on the size of the impact; limited impacts such as a posthole will require less archaeological investigation (in terms of cubic meters excavated) than a larger impact such as a utility line or structure foundation. Taken together, surface and subsurface conditions signal how well the cultural resources from a given site have the potential of providing meaningful data to address various research issues.

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Determinations of scientific value are made according to what each site might still contribute regarding its own character and to what it can offer concerning regional archaeological patterns. Should a particular site have low individual data potential but contain unique information (e.g., from rare artifacts, lithic materials, or reduction patterns), it may be deemed eligible based on its ability to provide useful data about broader prehistoric trends. If a site has low data potential and stands to offer only redundant information, then it will normally be considered ineligible.

To summarize, in-field evaluations will take into consideration depositional integrity and scientific value to determine if the feature/materials constitute a historical resource, or are a contributing element of known eligible resource.

Eligible sites/features are those that possess depositional integrity AND meet one or more of the following criteria:

- has discrete temporal components;
- is unique;
- includes a diverse assemblage;
- has a functionally specific assemblage; or
- contains sufficient data to address previously stated research objectives

A site/feature may be judged as ineligible if it:

- lacks depositional integrity;
- lacks discrete temporal components; or
- has insufficient data to address research issues

Significant features may include, but are not limited to human internments, prehistoric artifact caches, intact midden deposits, hearth or cooking features, house floors, structure foundations, trash pits, and privies.

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NATIVE AMERICAN PARTICIPATION

The Native American community, represented by present-day members of the Northern Chumash Council, the *yak tityu tityu* tribe, and the Salinan tribe have an interest in the Project and its effects on known or potential traditional cultural resources. This interest focuses on the treatment of prehistoric sites, particularly the disposition of human remains and any materials that might be associated with human interments. Tribal representatives view these archaeological remains as material representations of their traditional past. Also, they view the proper treatment of the remains of their ancestors as a personal and communal responsibility of the highest order.

Native American involvement in the project is authorized at several regulatory levels. San Luis Obispo County's General Plan and CEQA guidelines note that representatives of the community will be consulted in the development of mitigation plans and that they will be present during ground disturbance in probable burial or sacred sites. Various sections of both the State Health and Safety and Public Resource Codes address the discovery and treatment of human remains.

Native American Monitoring

A Native American monitor will be present during all initial ground disturbing activities. If possible, the Project archaeological consultant/contractor should be responsible for employing Native American monitors (or contracting with groups that provide monitoring services), and ensuring that Native Monitors are present when necessary. Monitors will be responsible for providing advice on the treatment of resources and will communicate findings to other members of their community. Monitors might, if appointed by the California Native American Heritage Commission, act as Most Likely Descendants, upon discovery of human remains (see Treatment of Human Remains, below).

Prior to construction, the Project archaeological consultant/contractor will develop a list of potential monitors and make financial arrangements for either wages or subcontractor fees. Since many of the possible monitors have other long-standing monitoring commitments, final arrangements for Native American monitors will not be made until a firm construction start date is announced.

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TREATMENT OF HUMAN REMAINS

The California Public Resources and Health and Safety Codes define the process for the treatment of Native American human remains discovered in the course of project development. The steps described below will be followed if human remains are discovered in the course of the Improvement Project.

- If human remains are discovered, the archaeological monitor shall halt all activities in the vicinity and immediately notify the Native American Monitor, and the land owner's liaison, and the City of Morro Bay Community Development Manager of the find.
- Upon approval from the land owner's liaison and the City of Morro Bay Community Development Manager, the Project archaeological consultant/contractor shall notify the San Luis Obispo County Coroner.
- There will be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the San Luis Obispo County Coroner is contacted to determine that no investigation of the cause of death is required, and that the coroner determines the remains to be Native American.
- If the remains are Native American in origin, then the Coroner will contact the Native American Heritage Commission within 24 hours.
- The Native American Heritage Commission, upon notification by the Coroner, will notify the most likely descendants regarding the discovery of Native American human remains.
- The descendants, within 24 hours of notification by the Commission, will inspect the site of the discovery of Native American human remains and recommend to the MCAS and the County means of reburial, with appropriate dignity, the human remains and any associated grave goods.
- In the event that no descendant is identified, or the descendant fails to make a recommendation for disposition, or the Project rejects the recommendation of the descendant, the Project will reinter the remains and burial items with appropriate dignity in or near the Project corridor in a location not subject to further disturbance.

It is likely that the Most Likely Descendent will request that human remains and associated materials not be disturbed and left in place in the Project Area. The Project archaeological consultant /contractor, the land owners and the City of Morro Bay Community Development Manager will work with the Most Likely Descendent to determine if the remains can be: 1) left in place, or 2) safely re-interred in a nearby location.

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REPORTING

Upon completion of all earth disturbing activities, the Project archaeological consultant/contractor shall submit a letter report to the land owners and the City of Morro Bay Community Development Manager summarizing all monitoring, evaluation, and mitigation activities and confirming that all recommended mitigation measures have been met. The report will be submitted within three weeks from the end of construction activities.

EXHIBIT B
RESOLUTION NO. PC 6-16

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION
APPROVING COASTAL DEVELOPMENT PERMIT (CP0-470) AND CONDITIONAL
USE PERMIT (UP0-415) TO ALLOW DEMOLITION OF VACANT RESIDENTIAL
STRUCTURES AND CONSTRUCTION OF A NEW 3,385 SQUARE-FOOT SINGLE-
FAMILY DWELLING ON A BLUFF PROPERTY IN THE COASTAL APPEAL
JURISDICTION
AT 1149 WEST STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on January 19, 2016, for the purpose of considering Coastal Development Permit CP0-470 and Conditional Use Permit UP0-415 for demolition of existing structures and construction of a new single-family home at 1149 West Street, on a bluff property in the Coastal Commission appeal jurisdiction; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt under Section 15303, Class 3(a), for construction of a limited number of new structures in an urbanized area. None of the exceptions found in CEQA Section 15300.2 apply to this project.
2. A Phase II archaeological evaluation of the project site was conducted by Albion Environmental, Inc. which concluded that redevelopment of the site will not cause an adverse effect to a historical resource, but also recommended a monitoring plan in the event of an unforeseen encounter of subsurface intact archaeological deposits. A detailed monitoring plan is included as a condition of project approval.

Coastal Development Finding

1. As conditioned, the project is consistent with applicable provisions of the Local Coastal Program for new single-family residences and bluff development in the

Embarcadero Area.

Conditional Use Permit and Planned Development Findings

1. As conditioned, the project is consistent with the General Plan and Local Coastal Program regarding the location of residential uses and development of bluff property in the Embarcadero Area.
2. As conditioned, the project will not be detrimental to the health, safety and welfare of persons residing or working in the neighborhood.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-469 and Conditional Use Permit UPO-414 for property located at 1147 West Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated January 19, 2016, for the project at 1149 West Street (APN:066-034-011) depicted on plans received by the City on December 4, 2015, as part of Coastal Development Permit CP0-470 and Conditional Use Permit UP0-415, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Manager"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Manager. Any changes to this approved permit determined, by the Manager, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be

- complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
 6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Manager or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Manager, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
 7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Archaeology: The project shall comply with all archaeological monitoring procedures outlined in the monitoring plan prepared by Albion Environmental, Inc. specifically for this project and included in this resolution as Attachment 1. Plans submitted for a building permit shall include all provisions of the monitoring plan on a separate sheet and shall list the archaeological monitor and contact information on the title sheet.
3. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or

- repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
4. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
 5. Conditions of Approval on Building Plans: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
 6. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Manager.
 7. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Manager. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
 8. Building Height Verification: Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Manager certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor shall submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and zoning ordinance standards, including the bluff development standards.
 9. Building Height Calculation: Plans submitted for a building permit shall clearly identify the high and low topographic elevation points within the footprint of the new structure as certified by a licensed land surveyor.
 10. Bluff Standards for Building Height: Building height shall comply with the maximum bluff property building height standards, which are 14 feet for flat roofs and roof deck sills, and 17 feet for roofs with a minimum pitch of 4 in 12 within 50 feet of the edge of bluff, and 25 feet beyond 50 feet from the edge of the bluff. Height shall be measured from the average natural grade beneath the building footprint as certified in writing by a licensed land surveyor.
 11. Geotechnical Engineering Report: The applicant shall comply with all recommendations contained in the geotechnical engineering report, prepared by Earth Systems Pacific (April 13, 2015). Plans submitted for a building permit shall be

stamped by a licensed geotechnical engineer. A copy of all inspection reports by the geotechnical engineer shall be provided to the Community Development Manager.

12. Fence/Wall at Bluff Edge: Any fence or wall proposed near the bluff edge shall be setback a minimum of 5 feet from the edge of bluff and shall not exceed 4 feet in height. Foundation construction for any such retaining or garden wall shall be subject to review and inspection by a licensed geotechnical engineer to ensure the structure does not surcharge the bluff in a manner that will induce erosion.
13. Undergrounding: Prior to final occupancy clearance, the applicant shall install all utility distribution and service lines underground.
14. Landscaping: Project landscaping shall include native and drought tolerant plants. A street tree is required to be planted as part of frontage improvements. In addition to lower growing shrubs and groundcover, the landscape plan submitted with plans for a building permit shall include a selection of larger native and drought tolerant shrubs to the satisfaction of the Community Development Manager.
15. HVAC Location: Any HVAC system shall be located under the roof lines or on the ground outside of required setbacks and not visible from the public right of way to the satisfaction of the Community Development Manager.
16. Public View Access Fee: Projects in this area are subject to a public view access fee of \$2.00 per linear foot of property fronting along the top of the bluff or \$100, whichever is greater, payable prior to issuance of a building permit.
17. Exterior Details: Recess windows on the side building elevations to the satisfaction of the Community Development Manager.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual Projects with more than 2,500 sq ft of new or redeveloped impervious area are subject to these requirements. It appears this project is over the 2500 sq ft threshold and performance requirements 1 & 5 are required.
2. As part of plans submitted for a building permit, provide a drainage plan for the site demonstrating that it does not allow concentrated flow of storm water toward the bluff and complies with the drainage requirements of the Bluff Development Standards (MBMC 17.45.040).
3. Provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.

4. Include the locations of all proposed utilities, gas, sewer, water etc. Indicate on the plans the location of the lateral and if the sewer lateral is proposed or existing. If the existing sewer lateral is going to be used the following must be completed prior to building permit issuance.
 - a. Conduct a video inspection of the conditions of existing sewer lateral prior to building permit issuance. Submit a DVD to City Public Services Department. Repair or replace as required to prohibit inflow/infiltration.
 - b. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project. (MBMC 14.07.030) Indicate on the plans.
5. A standard encroachment permit shall be required for the proposed driveway; the driveway should comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for the installation of the sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.
6. Beach Street Specific Plan: The proposed project is located in Sub-area B of this Specific Plan Area and subject to the following conditions:
 - a. Curb, gutter, sidewalk, and street trees: In addition to any other improvements found necessary by the Planning Commission, the applicant is required to maintain or replace curb, gutter, six-foot wide sidewalks and street trees pursuant to City Standards and Municipal Code Section 14.44. Sidewalks and driveway approaches shall conform to current ADA requirements.
7. Add the following Notes to the Plans:
 - a. Any damage to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
 - b. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Services Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

BUILDING CONDITION

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

FIRE CONDITION

1. Sprinklers: Fire sprinklers shall be installed in the new single family house.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 19th day of January, 2016 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Chairperson Robert Tefft

ATTEST

Scot Graham, Community Development Manager

The foregoing resolution was passed and adopted this 19th day of January, 2016.

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MONITORING PLAN

The Project proponents and the City of Morro Bay will meet their responsibilities under CEQA by implementing a plan to monitor construction of the Project and taking appropriate action if cultural resources are encountered. This document, the Monitoring Plan, describes the following topics

- Field procedures for resource evaluation;
- Communications protocols;
- Decision criteria for treatment actions;
- Evaluation procedures; and
- Native American involvement in the monitoring effort.

General Monitoring Procedures

Archaeological monitoring of the Project will be conducted by a qualified archaeologist. Duties include observing all ground-disturbing activities within the subject parcel located at 1147 and 1149 West Avenue in Morro Bay. Given the areas high sensitivity for archaeological features including human remains, a monitor shall be present for all initial earth disturbing activities.

Archaeological monitors will be equipped to identify and fully record newly discovered features in the field, using standard techniques such as drawings, written descriptions, photography and maps. Monitors will be briefed on procedures to follow in the event that cultural materials are encountered. A Native American representative will also be present. Protocols for Native American involvement are discussed below (see Native American Participation).

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If potentially significant cultural materials are encountered (i.e., intact features; artifact/ecofact rich midden soils, human remains), the archaeological monitor will halt excavation within the immediate vicinity (approximately 50 feet from discovery in all directions) to determine the nature of the find.

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The monitor will immediately notify construction crews if additional time is required to consult with the Project archaeological consultant/contractor or other specialists. Should significant cultural resources be encountered during construction, the monitor will notify the following parties first by telephone and then by follow up email:

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Telephone (805) 459-9493; Email: chsdesign1@yahoo.com
 - Should Mr. Stevenson not be reachable by telephone, then the monitor will notify:
 - § Mr. Bill Merrifield
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Protocols for determining significance are outlined in the following section entitled “Evaluation Process”. Procedures for discoveries involving human remains are detailed in the section entitled “Treatment of Human Remains”.

If the discovery is determined to be not potentially significant, the monitor will indicate that construction can proceed.

If the find is deemed potentially significant, crews will be asked to move to a new location so that a more in-depth archaeological evaluation and mitigation (if needed) can occur. The Project archaeological consultant/contractor will consult with The City of Morro Bay Planning Department, the land owners, and Native American representatives to develop a treatment plan to address project impacts.

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- c) embodies the distinctive characteristic of a type, period, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- d) has, or may be likely to yield, important information in prehistory or history.

If the resource is considered not significant (not a historical resource under CEQA), then the effects of the project on that resource shall not be considered significant and the resource need not be considered further in the CEQA process.

If the resource is considered significant (a historical resource under CEQA), and it is determined that the Project will cause a substantial adverse change in the significance of a resource, then it will be necessary to develop mitigation measures to render said impacts to a level of less than significant (CEQA Guidelines, Section 15064.5 [c]). Under CEQA, avoidance is the preferred mitigation for archaeological sites. Other mitigation measures are provided in the Guidelines (Section 15126.4[b] [3]).

In-field evaluation of materials and/or features discovered during project monitoring recovered during the evaluation phase will be used to assess eligibility for inclusion in the CRHR. This process involves determining if the find retains integrity, and if so, making a determination whether constituents have the potential to provide meaningful data to address various research issues, and is therefore a contributing element to known historic resources identified on the property.

An assessment of site integrity for the current study involves an evaluation of both surface and subsurface contexts. The former includes assessment of degree of any significant surface disturbance including, but not limited to, vehicle tracks, construction or grading activities, natural weathering and erosion, vandalism, and historic/modern impacts. The latter, by contrast, involves assessing the condition of the buried deposit and its surrounding matrix, and noting any impacts, both natural and anthropogenic, that might have compromised the integrity and subsurface structure. The assessment of subsurface deposition typically involves some amount of archaeological exploration including manual excavation and screening. The amount of excavation/screening required depends on the size of the impact; limited impacts such as a posthole will require less archaeological investigation (in terms of cubic meters excavated) than a larger impact such as a utility line or structure foundation. Taken together, surface and subsurface conditions signal how well the cultural resources from a given site have the potential of providing meaningful data to address various research issues.

B-1 EXHIBIT A & B ATTACHMENT 1

Determinations of scientific value are made according to what each site might still contribute regarding its own character and to what it can offer concerning regional archaeological patterns. Should a particular site have low individual data potential but contain unique information (e.g., from rare artifacts, lithic materials, or reduction patterns), it may be deemed eligible based on its ability to provide useful data about broader prehistoric trends. If a site has low data potential and stands to offer only redundant information, then it will normally be considered ineligible.

To summarize, in-field evaluations will take into consideration depositional integrity and scientific value to determine if the feature/materials constitute a historical resource, or are a contributing element of known eligible resource.

Eligible sites/features are those that possess depositional integrity AND meet one or more of the following criteria:

- has discrete temporal components;
- is unique;
- includes a diverse assemblage;
- has a functionally specific assemblage; or
- contains sufficient data to address previously stated research objectives

A site/feature may be judged as ineligible if it:

- lacks depositional integrity;
- lacks discrete temporal components; or
- has insufficient data to address research issues

Significant features may include, but are not limited to human internments, prehistoric artifact caches, intact midden deposits, hearth or cooking features, house floors, structure foundations, trash pits, and privies.

B-1 EXHIBIT A & B ATTACHMENT 1

NATIVE AMERICAN PARTICIPATION

The Native American community, represented by present-day members of the Northern Chumash Council, the *yak tityu tityu* tribe, and the Salinan tribe have an interest in the Project and its effects on known or potential traditional cultural resources. This interest focuses on the treatment of prehistoric sites, particularly the disposition of human remains and any materials that might be associated with human interments. Tribal representatives view these archaeological remains as material representations of their traditional past. Also, they view the proper treatment of the remains of their ancestors as a personal and communal responsibility of the highest order.

Native American involvement in the project is authorized at several regulatory levels. San Luis Obispo County's General Plan and CEQA guidelines note that representatives of the community will be consulted in the development of mitigation plans and that they will be present during ground disturbance in probable burial or sacred sites. Various sections of both the State Health and Safety and Public Resource Codes address the discovery and treatment of human remains.

Native American Monitoring

A Native American monitor will be present during all initial ground disturbing activities. If possible, the Project archaeological consultant/contractor should be responsible for employing Native American monitors (or contracting with groups that provide monitoring services), and ensuring that Native Monitors are present when necessary. Monitors will be responsible for providing advice on the treatment of resources and will communicate findings to other members of their community. Monitors might, if appointed by the California Native American Heritage Commission, act as Most Likely Descendants, upon discovery of human remains (see Treatment of Human Remains, below).

Prior to construction, the Project archaeological consultant/contractor will develop a list of potential monitors and make financial arrangements for either wages or subcontractor fees. Since many of the possible monitors have other long-standing monitoring commitments, final arrangements for Native American monitors will not be made until a firm construction start date is announced.

B-1 EXHIBIT A & B ATTACHMENT 1

TREATMENT OF HUMAN REMAINS

The California Public Resources and Health and Safety Codes define the process for the treatment of Native American human remains discovered in the course of project development. The steps described below will be followed if human remains are discovered in the course of the Improvement Project.

- If human remains are discovered, the archaeological monitor shall halt all activities in the vicinity and immediately notify the Native American Monitor, and the land owner's liaison, and the City of Morro Bay Community Development Manager of the find.
- Upon approval from the land owner's liaison and the City of Morro Bay Community Development Manager, the Project archaeological consultant/contractor shall notify the San Luis Obispo County Coroner.
- There will be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the San Luis Obispo County Coroner is contacted to determine that no investigation of the cause of death is required, and that the coroner determines the remains to be Native American.
- If the remains are Native American in origin, then the Coroner will contact the Native American Heritage Commission within 24 hours.
- The Native American Heritage Commission, upon notification by the Coroner, will notify the most likely descendants regarding the discovery of Native American human remains.
- The descendants, within 24 hours of notification by the Commission, will inspect the site of the discovery of Native American human remains and recommend to the MCAS and the County means of reburial, with appropriate dignity, the human remains and any associated grave goods.
- In the event that no descendant is identified, or the descendant fails to make a recommendation for disposition, or the Project rejects the recommendation of the descendant, the Project will reinter the remains and burial items with appropriate dignity in or near the Project corridor in a location not subject to further disturbance.

It is likely that the Most Likely Descendent will request that human remains and associated materials not be disturbed and left in place in the Project Area. The Project archaeological consultant /contractor, the land owners and the City of Morro Bay Community Development Manager will work with the Most Likely Descendent to determine if the remains can be: 1) left in place, or 2) safely re-interred in a nearby location.

B-1 EXHIBIT A & B ATTACHMENT 1

REPORTING

Upon completion of all earth disturbing activities, the Project archaeological consultant/contractor shall submit a letter report to the land owners and the City of Morro Bay Community Development Manager summarizing all monitoring, evaluation, and mitigation activities and confirming that all recommended mitigation measures have been met. The report will be submitted within three weeks from the end of construction activities.

EXHIBIT C



Color Perspective View



Schematic Perspective View



ALL DESIGN IDEAS, SPECIFICATIONS AND NOTATIONS ARE FOR THE CLIENT'S USE ONLY. THE DRAWINGS ARE FOR THE CLIENT'S USE ONLY AND SHALL BE RESTRICTED TO THE CLIENT'S USE ONLY. WITHOUT THE WRITTEN PERMISSION OF GANNAGE DESIGN & CONSTRUCTION, THESE DRAWINGS SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR MANNER. GANNAGE DESIGN & CONSTRUCTION ASSOCIATES, THEIR USE & ASSOCIATES, SHALL BE RESTRICTED TO THE CLIENT'S USE ONLY. WHICH THEY WERE PREPARED.

GANNAGE
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Or: 805-512-2899
Fax: 805-537-5997

SHEET TITLE

DATE	△

PROJECT
New Residence
1147 West Ave.
Morro Bay, CA

DRAWN
Aaron Gannage

CHECKED
-

DATE
10-28-15

SCALE
-

JOB NO.
-

SHEET

OF SHEETS

EXHIBIT C



Street Elevation

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OF SHEETS

EXHIBIT C

LAPPED SIDING &
CEMENT STUCCO
WITH "Valspar" color
VR113B "Steele Blue"

ARCHITECTURAL
COMPOSITION ROOFING -
"Timberline" color Slate

Gutters &
Window color
"Behr" color
HDC-CL-28
"Nocturne Blue"

Fascia & Trim
"Behr" color
PPU18-6 "Ultra
Pure White"

ROCK VENEER - Silver
Ledgestone from Natural
Stone Veneers, Inc.



Front Elevation

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EXHIBIT C



Garaga® Garage Doors

ACADIA 138, UNCOMPROMISING QUALITY AND VALUE

The Acadia 138 is the only solution when wanting to add uncompromising style and beauty to your home without sacrificing superior Garaga quality and durability. This door is designed to withstand any environment where superior insulation is not a top priority.

1 3/8"-thick galvanized steel door. Polyurethane-injected insulation provides R-12 thermal resistance. Baked on polyester paint coating.



Components of a system that is 100% Garaga **100% GARAGA**



Add Arts and Crafts allure to a traditional Craftsman or deluxe modern home with this tall Imperial bronze outdoor wall light. The handsome details of the square cast aluminum housing are enhanced with warm opaque linen glass that softens the single light inside, reducing glare and hot spots. A beautiful home accent from the Quoizel outdoor lighting Hillcrest Collection.

- Medium-size, updated Arts and Crafts outdoor wall light.
- Imperial bronze finish.
- Cast aluminum construction.
- Opaque linen glass.
- Design by Quoizel lighting.
- Takes one maximum 150 watt incandescent or 23 watt CFL bulb or equivalent (not included).
- Designed to reduce glare and hotspots.
- ETL-listed.
- Mount as pictured only.
- 9" wide.
- 20" high.
- Extends 9 3/4" from the wall.
- Wallplate is 13" by 5".
- Height from center of wall opening is 6 1/2".

QUOIZEL

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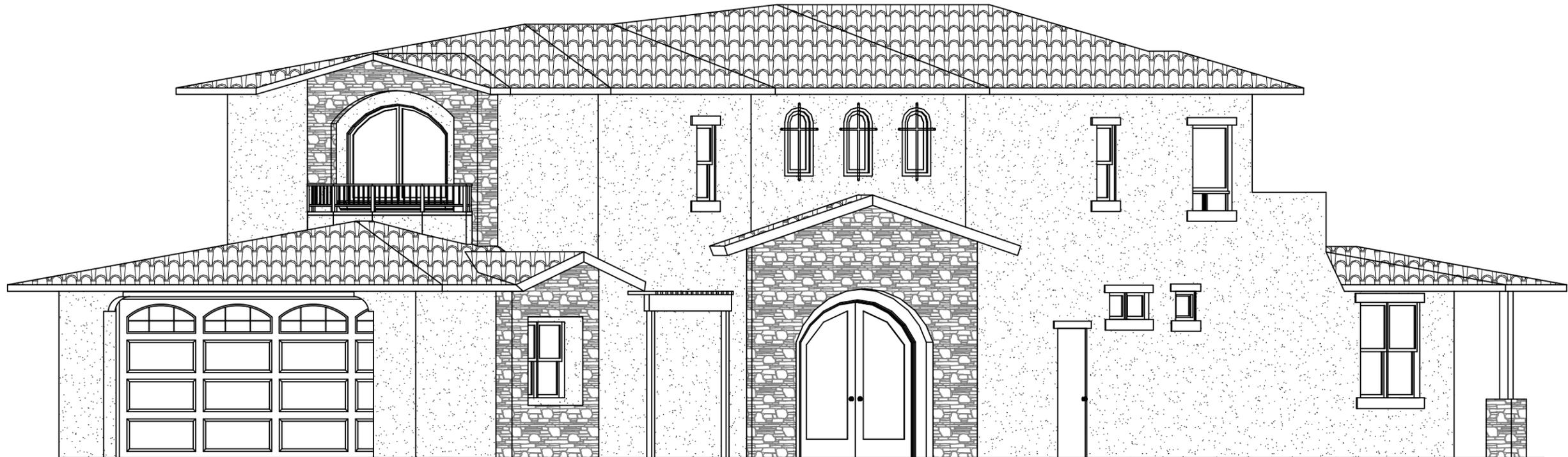
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EXHIBIT D



Color Perspective View



Schematic Perspective View

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SHEET TITLE

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1149 West Ave.
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EXHIBIT D



Street Elevation

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SHEET TITLE

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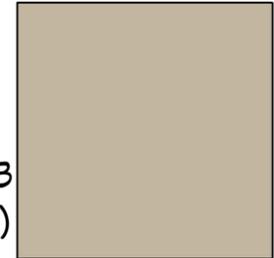
EXHIBIT D

CEMENT
STUCCO WITH
Valspar20-1B
"Nice and
Easy" (Body)

CONCRETE S-TILE BY "EAGLE
ROOFING PRODUCTS" TYPE -
BOOSTED CAPISTRANO - San
Buenaventura COLOR BLEND
(9822)



Gutters,
windows &
doors color
"Valspar" 12-1B
(Shopping Bag)



Fascia,
Beams &
Rafter Tails
color "Cabot"
Spanish Moss



ROCK VENEER
"Natural Stone Veneer"
type Palmer



Front Elevation

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1149 West Ave.
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EXHIBIT D



Amarr ® Garage Doors

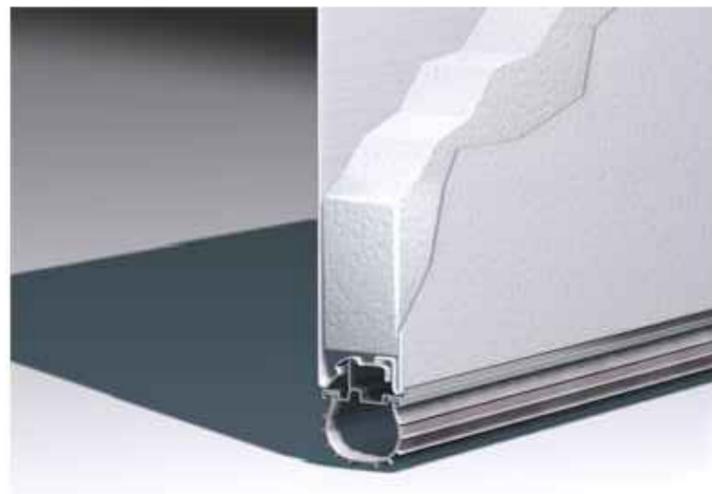
Timeless beauty and affordability. Featuring the Safe Guard system, the Amarr Stratford collection is made with durable, low-maintenance, standard gauge steel and is available in over 150 door designs.

R-Value 6.48-6.64

Maintenance Low Safety High

Warranty 15 years - Lifetime

Door Style



STRATFORD 3000

Triple-Layer: Steel + Insulation + Steel

For the toughest, most energy-efficient steel door, a Stratford 3000 triple-layer door includes the ultimate in thermal properties, plus a layer of steel for a finished interior look and added durability.

- Heavy-Duty Exterior and Interior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Thermal Insulation
- Superior Energy Efficiency
- Extra Quiet Operation



Lavish Mediterranean styling from John Timberland® recalls the romance and magic of the port city of Marseille. Champagne hammered glass is paired with rich detailing and a Valencia bronze finish.



- Valencia bronze finish.
- Champagne hammered glass.
- Takes three 40 watt bulbs (not included).
- 21 3/4" high x 9" wide.
- Extends 10" from the wall.
- Backplate is 16" high, 5 1/2" wide.
- Mounting point to top of fixture is 8 1/4".

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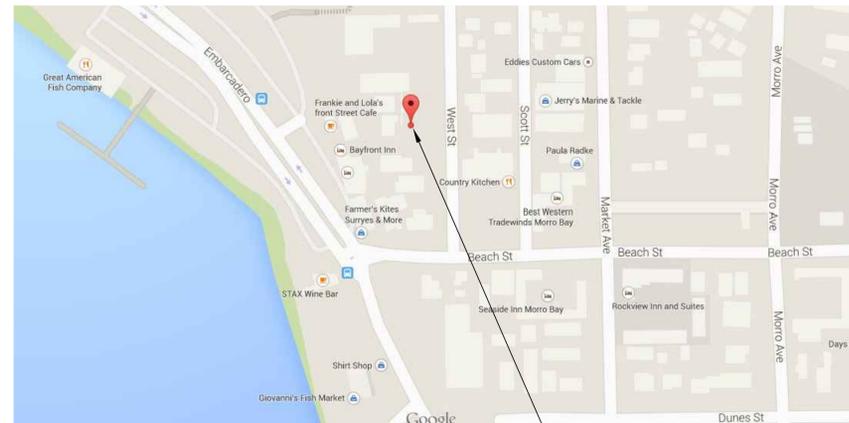
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SHEET

New Residence

1147 West Ave., Morro Bay, CA



Vicinity Map

SITE LOCATION

Consultant Directory

Designer
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 PH: (808) 212-3699
 Contact: Aaron Gannage

Civil & Structural Engineer
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 205 Suburban Road, Suite 1
 San Luis Obispo, CA 93401
 PH: (805) 489-9900
 Contact: Mike Allshouse

Energy Compliance
 Carstairs Energy
 P.O. Box 4736
 San Luis Obispo, Ca 93403
 Ph. 805-904-9048
 Contact: Tim Carstairs

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General Notes

- All work described in the drawings shall be verified by the contractor for dimension, grade, extent and compatibility to the existing site. Any discrepancies and unexpected conditions that affect or change the work described in the Contract Documents shall be brought to the Architect's attention immediately. Do not proceed with the work in the area of discrepancies until all such discrepancies are resolved. If the Contractor chooses to do so, he shall be proceeding at his own risk.
- Omissions from the drawings and specification or the mis-description of the work which is manifestly necessary to carry out the intent of the drawings and specifications, or which is customarily performed, shall not relieve the Contractor from performing such omitted or mis-described details of the work as if fully and completely set forth and described in the drawings and specifications.
- Dimensions shown shall take precedence over drawings scale or proportion. Larger scale drawing shall take precedence over smaller scale drawings.
- The Contractor shall coordinate with the Owner for the selection of all plumbing fixtures including toilets, tub/shower, lavatories, sinks and all appropriate faucets, trim and drains. The Owner shall select all colors, finish and options.

Lot Description

APN: 066-034-011
 ADDRESS: 1147 West Ave.
 ZONING: R-2/PD/SP Overlay
 LOT NUMBER: 7
 BLOCK: 61 of the Bakersfield colony Tract
 LOT AREA: 6,302 S.F.

Property Owner

Bill Merrifield
 P.O. Box 1925
 Morro Bay, CA 93443

Occupancy & Construction Type

SINGLE FAMILY RESIDENCE: R-3
 GARAGE: U-1
 CONSTRUCTION TYPE: V-B

Scope of Work

New Two Story Residence, 3 bedroom, 2 bath

Building Height

EXISTING AVERAGE NATURAL GRADE:	44.35'
FINISH SLAB:	45.35'
FINISH SECOND FLOOR:	55.35'
TOP OF STRUCTURE:	68.35'
MAXIMUM BUILDING HEIGHT ABOVE NATURAL GRADE:	24'-0"
MAXIMUM BUILDING HEIGHT ALLOWED:	25'-0"
	69.35'

Building Area

PROPOSED FIRST FLOOR LIVING AREA:	1,675 SQ. FT.
PROPOSED SECOND FLOOR LIVING AREA:	1,130 SQ. FT.
TOTAL LIVING AREA:	2,805 SQ. FT.
PROPOSED GARAGE AREA:	675 SQ. FT.
PROPOSED COVERED PATIO AREA:	128 SQ. FT.
PROPOSED SECOND FLOOR DECK AREA:	277 SQ. FT.
TOTAL PROPOSED BUILDING COVERAGE:	2,478 SQ. FT.

Lot Coverage

PROPOSED LOT COVERAGE:	2,478 SQ. FT. 39.32%
MAXIMUM LOT COVERAGE ALLOWED:	50.00%

Impermeable Surface

PROPOSED BUILDING COVERAGE:	2,478 SQ. FT.
PROPOSED HARDSCAPE:	1,000 SQ. FT.
TOTAL IMPERMEABLE SURFACE:	3,478 SQ. FT. 55.18%

Code Compliance

THIS PROJECT HAD BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE CITY OF MORRO BAY ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND I/NE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.

This project shall comply with the following model codes:
 City of Morro Bay Municipal Code Ordinance 583, Title 14 MBMC
 2013 California Building Code
 2013 California Residential Code
 2013 California Mechanical Code
 2013 California Electrical Code
 2013 California Plumbing Code
 2013 California Energy Code
 2013 California Fire Code
 2013 California Green Building Standards Code

ALL DESIGN IDEAS, THE DRAWINGS ARE FOR THE PROJECT AND ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE WRITTEN ASSOCIATES. THEIR USE ON THE DRAWING SITE FOR WHICH THEY WERE PREPARED.

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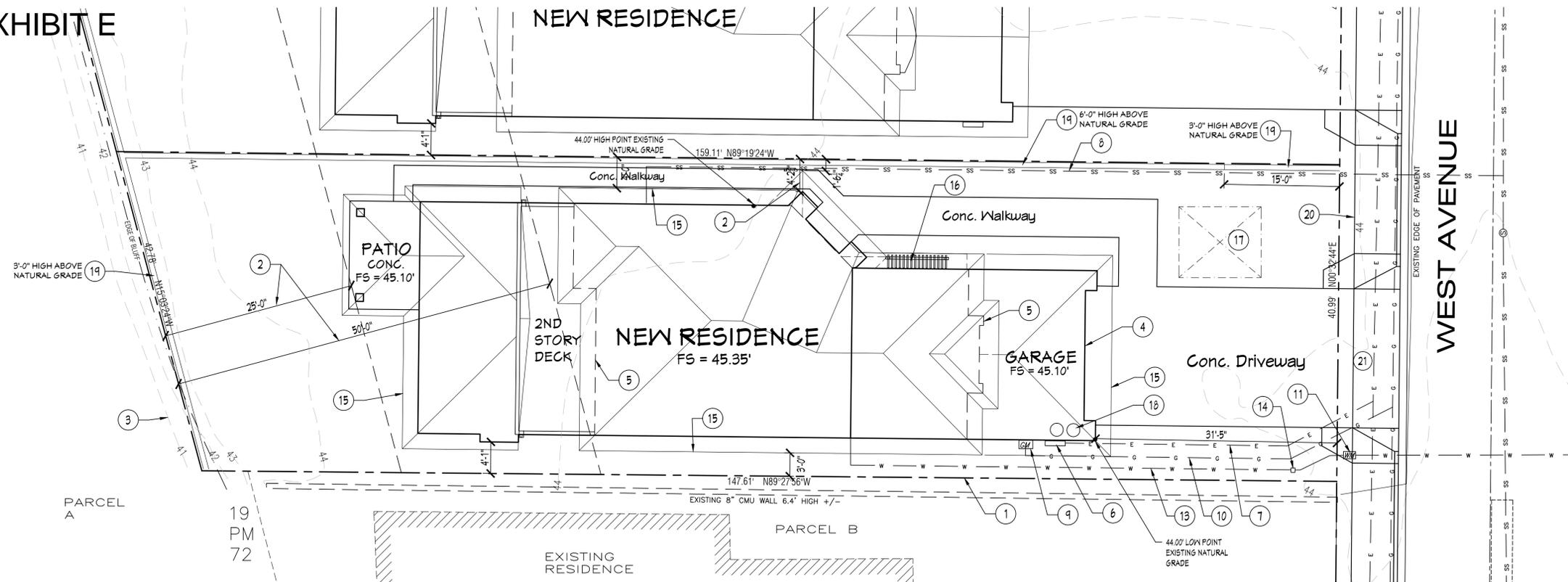


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 Morro Bay, CA

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 Aaron Gannage
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EXHIBIT E

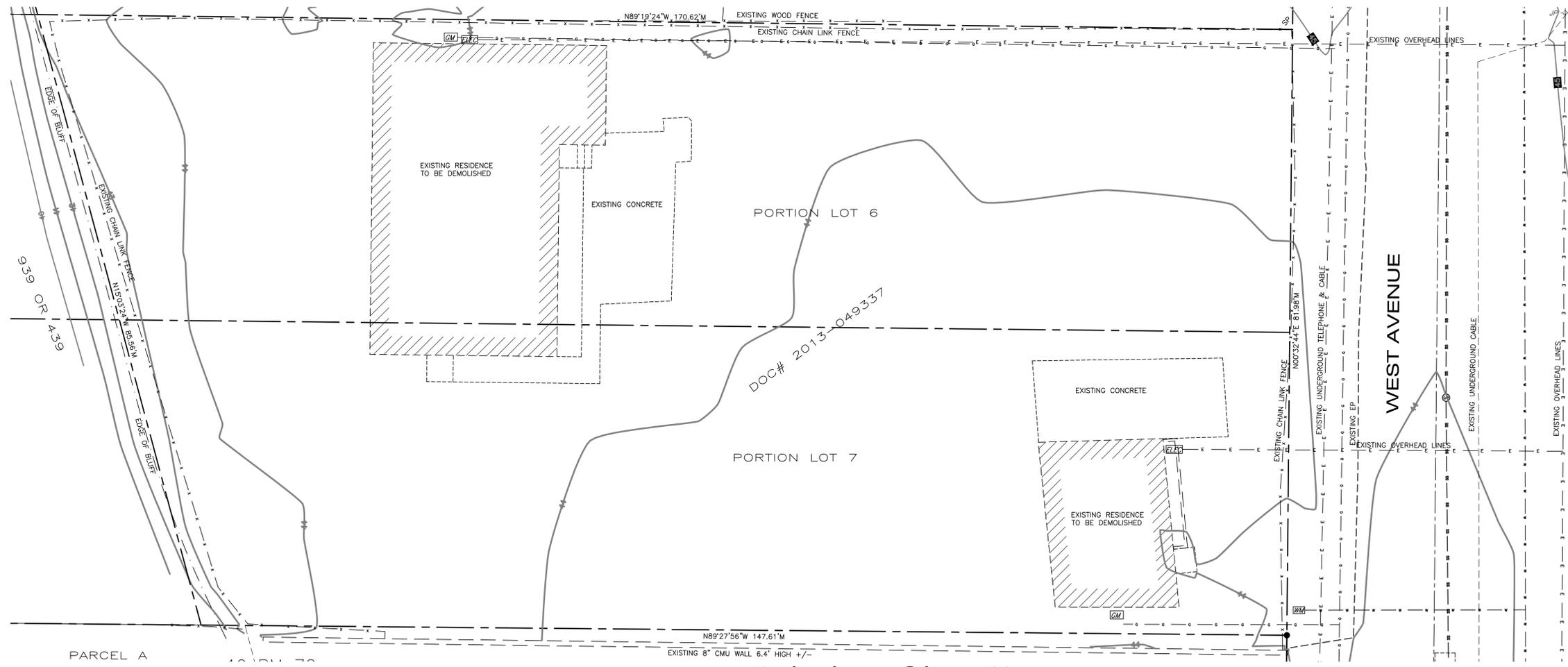


Site Plan Key Notes

- 1 PROPERTY LINE
- 2 BUILDING SETBACK
- 3 EXISTING NATURAL GRADE CONTOUR LINES
- 4 BUILDING FOOTPRINT OUTLINE
- 5 SECOND FLOOR FOOTPRINT OUTLINE
- 6 200amp MAIN ELECTRICAL PANEL
- 7 UNDERGROUND PHONE, CABLE, AND ELECTRICAL LINE
- 8 UNDERGROUND SEWER LINE
- 9 GAS METER
- 10 UNDERGROUND GAS LINE
- 11 EXISTING WATER METER
- 12 NEW WATER METER
- 13 UNDERGROUND WATER LINE
- 14 BACKFLOW PREVENTION DEVICE
- 15 ROOF OVERHANG OUTLINE & ROOF PITCH CHANGES
- 16 TRELLIS
- 17 DRAINAGE BASIN LOCATION
- 18 TRASH LOCATION IN GARAGE
- 19 PROPOSED NEW 8" CMU WALL
- 20 PROPOSED NEW CURB, GUTTER & SIDEWALK
- 21 PROPOSED DRIVEWAY APPROACH PER CITY STANDARDS

Proposed Site Plan

SCALE: 1/8" = 1'-0"



Existing Site Plan

SCALE: 1/8" = 1'-0"

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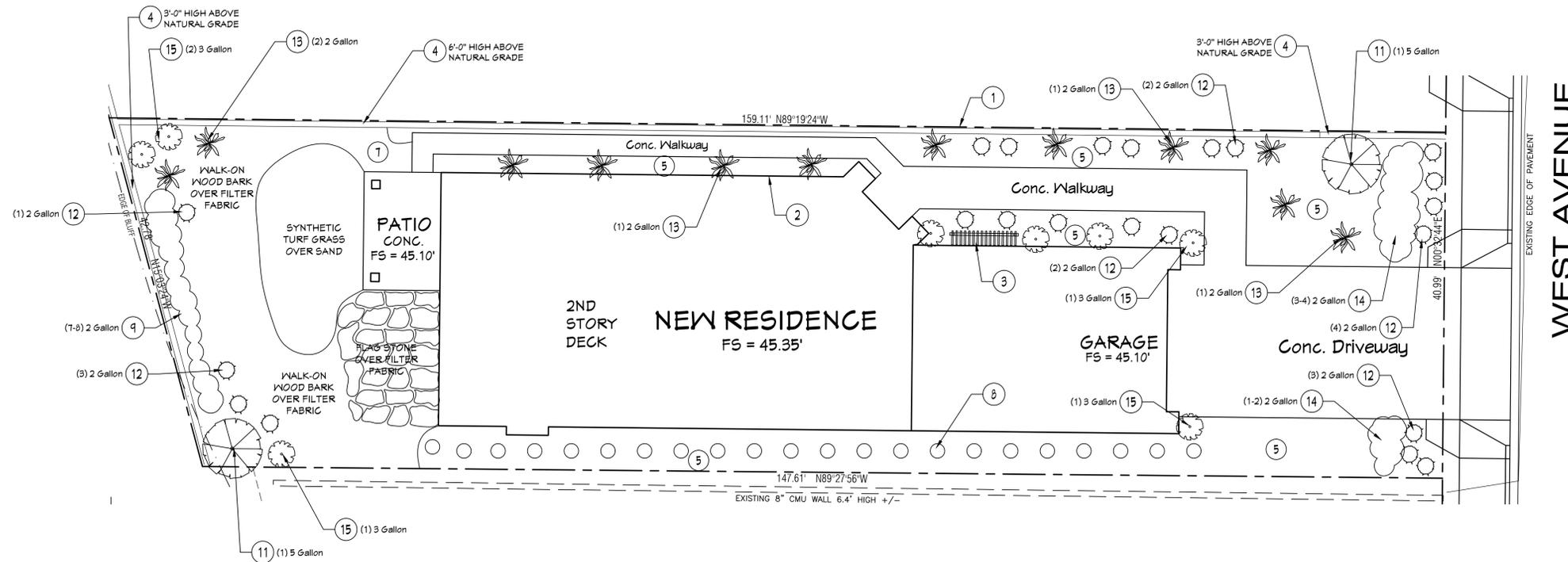
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A-1
OF SHEETS

Landscape Plan Key Notes

- 1 PROPERTY LINE
- 2 BUILDING FOOTPRINT OUTLINE
- 3 TRELLIS
- 4 PROPOSED NEW 8" CMU WALL
- 5 GRAVEL GROUND COVER OVER FILTER FABRIC
- 6 PERMEABLE TURF GRASS OVER SAND
- 7 WALK-ON WOOD BARK OVER FILTER FABRIC
- 8 12" ROUND STEPPING PAVERS
- 9 COASTAL SUCCULENT - Calandrinia spectabilis
- 10 COASTAL SUCCULENT - Yankee Point Geanothus shrub
- 11 COASTAL SUCCULENT - Manzanita Tree
- 12 COASTAL SUCCULENT - Salvia Aplana
- 13 COASTAL SUCCULENT - Agave
- 14 COASTAL SUCCULENT - Flax Gras
- 15 COASTAL SUCCULENT - Yucca



Proposed Landscape Plan

SCALE: 1/8" = 1'-0"

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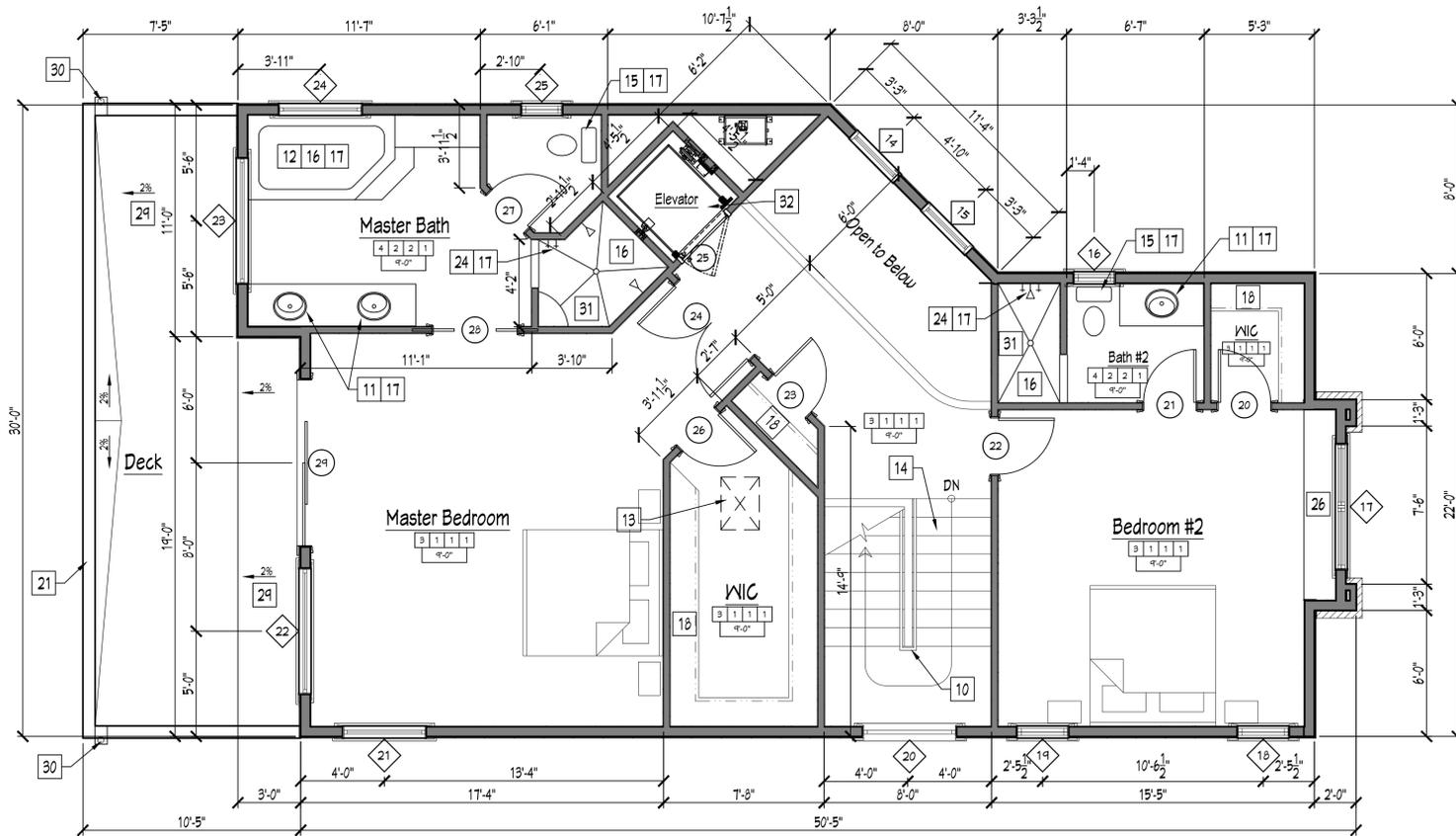
Aaron Gannage
Design Director
P.O. Box 14502
San Luis Obispo, CA 93406
E-mail: aaron@gannagedesign.com
Off: 800-212-9899
Fax: 805-537-5597

DATE	△

PROJECT
New Residence
1147 West Ave.
Morro Bay, CA

DRAWN	Aaron Gannage
CHECKED	
DATE	10-28-15
SCALE	
JOB NO.	
SHEET	

L-1
OF SHEETS



Proposed Second Floor Plan

SCALE: 1/4" = 1'-0"

Finish Schedule

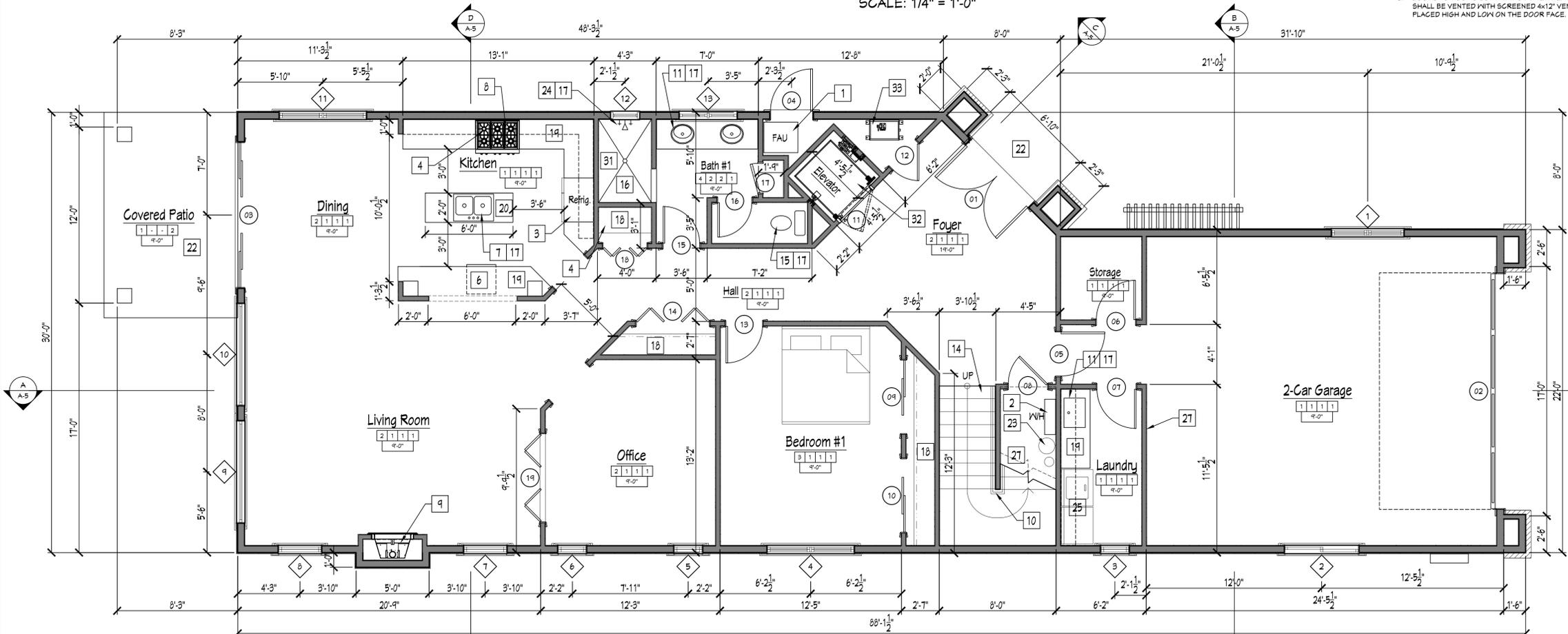
- BASE: (ALL ITEMS LISTED AS PER OWNER, TO BE CHOSEN BY OWNER AND INSTALLED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE. IF NOT NOTED "PER OWNER", THEN CONTRACTOR PROVIDED AND INSTALLED)
- FLOOR: CEILING HEIGHT
- FLOOR:
1. CONCRETE
 2. HARDWOOD FLOOR PER OWNER
 3. CARPET PER OWNER
 4. TILE PER OWNER
- BASE:
1. PRIMED WOOD BASE, STYLE & COLOR PER OWNER
 2. 4" TILE BASE TO MATCH FLOOR TILE PER OWNER
- WALLS: (USE DENGSHIELD TILE BACKER IN ALL WET AREAS)
1. 3/8" TYPE-X GYP. BC - SKIP SMEAR TRONEL FINISH & PAINT W/ BENJAMIN MOORE, FINISH PER OWNER (COLOR PER OWNER)
 2. TILE AND DENGSHIELD TILE BACKER AT TUB AND SHOWER AREAS PER OWNERS DIRECTION. 10" MIN AT SHOWER
- CEILING: (USE DENGSHIELD TILE BACKER IN ALL WET AREAS)
1. 3/8" TYPE-X GYP. BC - SKIP SMEAR TRONEL FINISH & PAINT W/ BENJAMIN MOORE, FINISH PER OWNER (COLOR PER OWNER)
 2. 1x6 DOUGLAS FIR SMOOTH T&G WITH STAIN FINISH (COLOR PER OWNER)

Water Heater Notes

1. TANKLESS WATER HEATERS SHALL BE NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING. THE GAS PIPING SERVING THIS APPLIANCE MUST BE SIZED IN COMPLIANCE WITH THE WATER HEATER'S LISTED INSTALLATION INSTRUCTIONS AND THE 2013 CA PLUMBING CODE.
2. WATER HEATER SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE. THE RELIEF VALVE SHALL BE PROVIDED WITH A DRAIN LINE WHICH EXTENDS FROM THE VALVE TO THE OUTSIDE OF THE BUILDING. REFER TO DASHED LINE FOR LOCATION.
3. DOORS TO ROOMS CONTAINING WATER HEATER SHALL BE VENTED WITH SCREENED 4x12" VENTS MIN FLANGED HIGH AND LOW ON THE DOOR FACE.

Floor Plan Key Notes

- 1 TRANE GAS FURNACE MODEL #TUH1B040A9H21B
- 2 "RANNAI" Indoor Gas Tankless Water Heater Model# RL941 (REU-VC2837FUD-US) 9.8 GPM, AC 120 Volts, 60 Hz, Gas Supply: 3/4 Inch MNPT, Cold Water Inlet: 3/4 Inch MNPT, Hot Water Outlet: 3/4 Inch MNPT
- 3 36" WIDE REFRIGERATOR CABINET PER OWNER
- 4 MODEM, WIFI ROUTER, HOME NETWORKING LOCATION
- 5 MICROWAVE BELOW PER OWNER. OUTLET HEIGHTS TO BE VERIFIED BY CABINET DESIGNER
- 6 DISHWASHER PER OWNER
- 7 SINK & DISPOSAL PER OWNER. PROVIDE COUNTERTOP AIR SWITCH.
- 8 36" WIDE GAS RANGE PER OWNER
- 9 KINGSMAN Zero-Clearance Direct Vent Gas Fireplace, model "HB3624"
- 10 STAIR HANDRAIL, REFER TO DETAIL
- 11 VANITY, SINKS & FAUCETS PER OWNER
- 12 TUB PER OWNER
- 13 22" x 30" ATTIC ACCESS, 30" MIN. TO ROOF FRAMING
- 14 STAIRS TO BE 18 RISERS @ 7 3/8" & 11 TREADS @ 10 1/2"
- 15 TOILET PER OWNER
 * MINIMUM CLEARANCES: 24" FRONT, 30" COMPARTMENT WIDTH
 * NEW WATER CLOSETS AND ASSOCIATED FLUSHMETER VALVES, IF ANY SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A112.14.2, H.S. CODE, SECTION 1102.1.3 (B) & CAL GREEN CODE
 * 4" MIN SINKER LINE REQUIRED
- 16 SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 10' ABOVE THE DRAIN OUTLET. TILE PER OWNER FROM TUB DECK TO CEILING
- 17 REQUIRED MAXIMUM FIXTURE FLOW RATES:
 TANK TYPE WATER CLOSET: 1.20 GALLONS PER MINUTE @ 80PSI
 SINGLE SHOWER HEAD: 2.0 GALLONS PER MINUTE @ 80PSI
 MULTIPLE SHOWERHEADS: 2.0 GALLONS PER MINUTE (INCL HANDHELD SHOWER HEAD)
 COMBINED LAVATORY FAUCET: @ ONE SHOWER
 RESIDENTIAL LAVATORY FAUCET: 1.5 GALLONS PER MINUTE @ 80PSI
 KITCHEN FAUCET: 1.5 GALLONS PER MINUTE @ 80PSI
- 18 CLOSET ORGANIZER PER OWNER
- 19 COUNTERTOPS & CABINETS STYLES PER OWNER
- 20 PERMANENT ISLAND PER OWNER W/ (1) GFCI OUTLET MIN.
- 21 DECK GUARDRAIL, REFER TO DETAIL 32/53.2
- 22 LANDING AT DOOR TO BE 36" WIDE x 36" DEEP MIN. SLOPE 2% AWAY FROM DOOR IF SOLID SURFACE
- 23 WATER SOFTENER AND WATER FILTER
- 24 SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION
- 25 WASHER AND GAS DRYER PER OWNER WITH UPPER CABINETS ABOVE. Clothes dryer shall be provided with moisture exhaust Min. 4" dia. to be vented to the exterior of the building, and be equipped with a back-draft damper. Exhaust duct is limited to 14 feet in length with two elbows. This shall be reduced 2 feet for every elbow in excess of two.
- 26 BUILT-IN 24" HIGH WINDOW SEAT
- 27 ONE-HOUR CONSTRUCTION SEPARATING GARAGE FROM LIVING SPACE WITH 5/8" TYPE "X" GYPSUM BOARD AT WALL AND CEILING
- 28 1'-6" HIGH ROD IRON RAIL AROUND EXT. WINDOW PLANTER SHELF
- 29 WATERPROOF DECKING
- 30 4"x4" METAL SUPPER
- 31 FLOOR FRAMING & SLAB OF SHOWER TO BE RECESSED 3/4" FOR SLOPED FLOOR AND NO CURB AT SHOWER ENTRY
- 32 Residential elevator by "INCLINATOR" model HIH 950. Verify shaft dimensions are adequate prior to construction & ordering Refer to sheet a5.1 for more info
- 33 Elevator Mechanical location



Proposed First Floor Plan

SCALE: 1/4" = 1'-0"

Wall Legend

- 2x6 EXTERIOR WALLS INSULATION PER TITLE 24
- 2x4 INTERIOR WALLS INSULATION PER TITLE 24

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FAX: 805-357-5587

DATE	△

PROJECT
New Residence
 1147 West Ave.
 Morro Bay, CA

DRAWN	Aaron Gannage
CHECKED	
DATE	10-28-15
SCALE	
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SHEET	

A-2
OF SHEETS



Entry Elevation

SCALE: 3/16" = 1'-0"



Front Elevation

SCALE: 1/4" = 1'-0"

"GARAGA" Garage door
Style "Acadia 138"



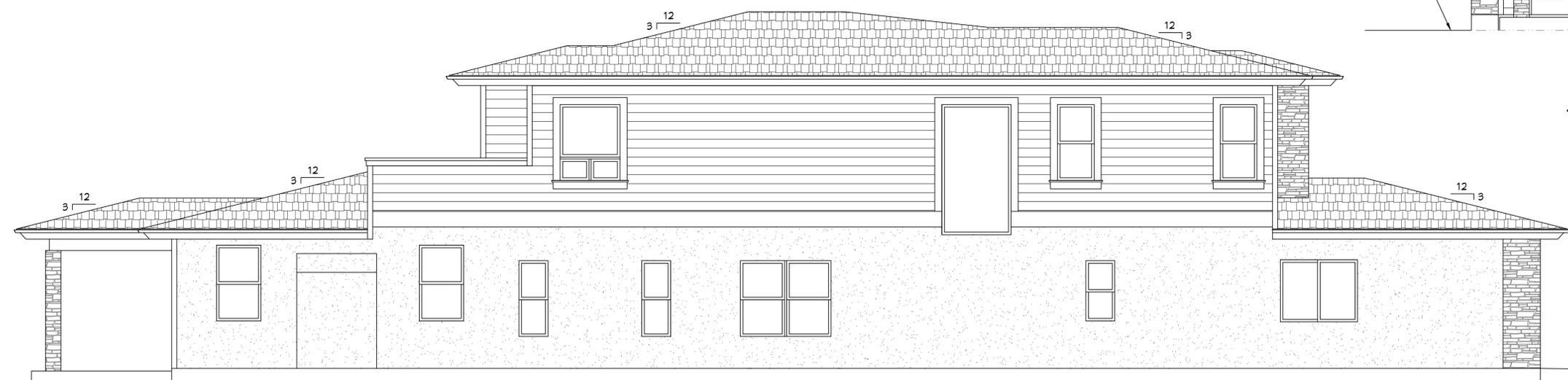
Right Elevation

SCALE: 1/4" = 1'-0"



Rear Elevation

SCALE: 1/4" = 1'-0"



Left Elevation

SCALE: 1/4" = 1'-0"

Elevation Key Notes

- 1 ARCHITECTURAL COMPOSITION ROOFING PER OWNER, WITH 30# FELT UNDERLAYMENT
- 2 2x8 WOOD FASCIA TRIM (AT 30° ANGLE) WITH PAINT FINISH
- 3 4" METAL GUTTERS
- 4 2x4 WALL CORNER TRIM
- 5 2x4 WINDOW TRIM WITH 2x6 WINDOW SILL TRIM
- 6 "HARDIE" BOARD LAPPED SIDING OVER BUILDING MEMBRANE
- 7 3-COAT CEMENT STUCCO WITH SMOOTH FINISH OVER LATH AND PAPER
- 8 ALUMINUM CLAD WOOD WINDOWS
- 9 ALUMINUM CLAD WOOD DOORS
- 10 EXTERIOR WALL MOUNTED LIGHT
- 11 FINISH GRADE
- 12 ROCK VENEER PER OWNER
- 13 EXPOSED WOOD BEAM WITH PAINT FINISH
- 14 WOOD TRELLIS WITH PAINT FINISH
- 15 WATER FOUNTAIN

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PROJECT **New Residence**
1147 West Ave.
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CHECKED
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DATE
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SCALE
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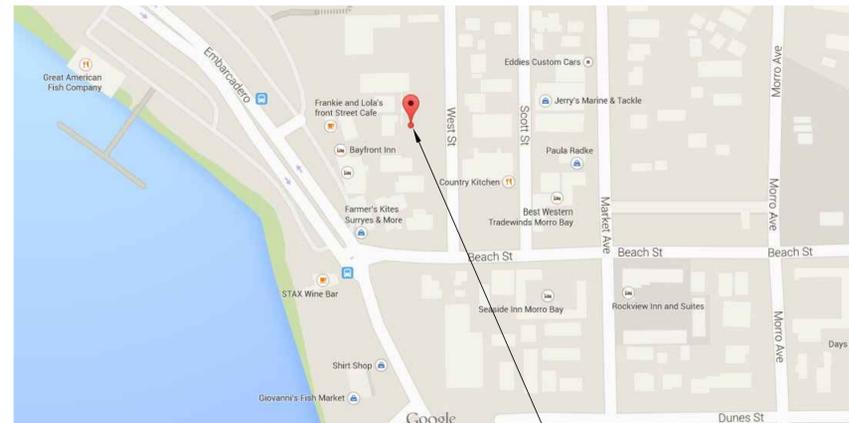
JOB NO.
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SHEET
A-4

OF SHEETS

New Residence

1149 West Ave., Morro Bay, CA



Vicinity Map

SITE LOCATION

Consultant Directory

Designer
 Gannage Design & Construction
 P.O. 14502
 San Luis Obispo, CA 93406
 PH: (808) 212-3699
 Contact: Aaron Gannage

Civil & Structural Engineer
 Praxis Consolidated International
 205 Suburban Road, Suite 1
 San Luis Obispo, CA 93401
 PH: (805) 489-9900
 Contact: Mike Allshouse

Energy Compliance
 Carstairs Energy
 P.O. Box 4736
 San Luis Obispo, Ca 93403
 Ph. 805-904-9048
 Contact: Tim Carstairs

Sheet Index

T-1	Title Sheet, Building Info, Existing Site Plan
T1.1	Green Building Code
A-1	Existing & Proposed Site Plan
C-1	Grading & Drainage Notes
C-2	Grading & Drainage Plan
C-3	Grading & Drainage Details
L-1	Proposed Landscape Plan
A-2	Proposed First & Second Floor Plan
A-3	Door & Window Schedule
A-4	Proposed Elevations
A-5	Proposed Building Sections
A-6	Proposed Roof Plan
A-7	Proposed Electrical & Lighting Plan
A-8	Proposed Elevator Details
T24.1	Title 24 Energy Calculations
T24.2	Title 24 Energy Calculations
S1.1	Structural General Notes
S1.2	Structural General Details
S2.1	Structural Foundation Plan
S2.2	Structural Floor & Lower Roof Framing Plan
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S3.2	Structural Floor Framing Details
S3.3	Structural Roof Framing Details
SWSB1	Simpson Strong-Wall Details
SWSB2	Simpson Strong-Wall Details

General Notes

- All work described in the drawings shall be verified by the contractor for dimension, grade, extent and compatibility to the existing site. Any discrepancies and unexpected conditions that affect or change the work described in the Contract Documents shall be brought to the Architect's attention immediately. Do not proceed with the work in the area of discrepancies until all such discrepancies are resolved. If the Contractor chooses to do so, he shall be proceeding at his own risk.
- Omissions from the drawings and specification or the mis-description of the work which is manifestly necessary to carry out the intent of the drawings and specifications, or which is customarily performed, shall not relieve the Contractor from performing such omitted or mis-described details of the work as if fully and completely set forth and described in the drawings and specifications.
- Dimensions shown shall take precedence over drawings scale or proportion. Larger scale drawing shall take precedence over smaller scale drawings.
- The Contractor shall coordinate with the Owner for the selection of all plumbing fixtures including toilets, tub/shower, lavatories, sinks and all appropriate faucets, trim and drains. The Owner shall select all colors, finish and options.

Lot Description

APN: 066-034-011
 ADDRESS: 1149 West Ave.
 ZONING: R-2/PD/SP Overlay
 LOT NUMBER: 6
 BLOCK: 61 of the Bakersfield colony Tract
 LOT AREA: 6,774 S.F.

Property Owner

A.J. Wright
 775 Center Court
 Morro Bay, CA

Occupancy & Construction Type

SINGLE FAMILY RESIDENCE: R-3
 GARAGE: U-1
 CONSTRUCTION TYPE: V-B

Scope of Work

New Two Story Residence, 3 bedroom, 2 bath

Building Height

EXISTING AVERAGE NATURAL GRADE:	44.35'
FINISH SLAB:	45.70'
FINISH SECOND FLOOR:	55.70"
TOP OF STRUCTURE:	68.70'
MAXIMUM BUILDING HEIGHT ABOVE NATURAL GRADE:	24'-4"
MAXIMUM BUILDING HEIGHT ALLOWED:	25'-0"
	69.35'

Building Area

PROPOSED FIRST FLOOR LIVING AREA:	1,770 SQ. FT.
PROPOSED SECOND FLOOR LIVING AREA:	1,130 SQ. FT.
TOTAL LIVING AREA:	2,805 SQ. FT.
PROPOSED GARAGE AREA:	580 SQ. FT.
PROPOSED COVERED PATIO AREA:	128 SQ. FT.
PROPOSED SECOND FLOOR DECK AREA:	277 SQ. FT.
TOTAL PROPOSED BUILDING COVERAGE:	2,478 SQ. FT.

Lot Coverage

PROPOSED LOT COVERAGE:	2,478 SQ. FT. 36.58%
MAXIMUM LOT COVERAGE ALLOWED:	50.00%

Impermeable Surface

PROPOSED BUILDING COVERAGE:	2,478 SQ. FT.
PROPOSED HARDSCAPE:	1,620 SQ. FT.
TOTAL IMPERMEABLE SURFACE:	4,098 SQ. FT. 60.49%

Code Compliance

THIS PROJECT HAD BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE CITY OF MORRO BAY ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND I/WE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.

This project shall comply with the following model codes:
 City of Morro Bay Municipal Code Ordinance 503, Title 14 MBMC
 2013 California Building Code
 2013 California Residential Code
 2013 California Mechanical Code
 2013 California Electrical Code
 2013 California Plumbing Code
 2013 California Energy Code
 2013 California Fire Code
 2013 California Green Building Standards Code

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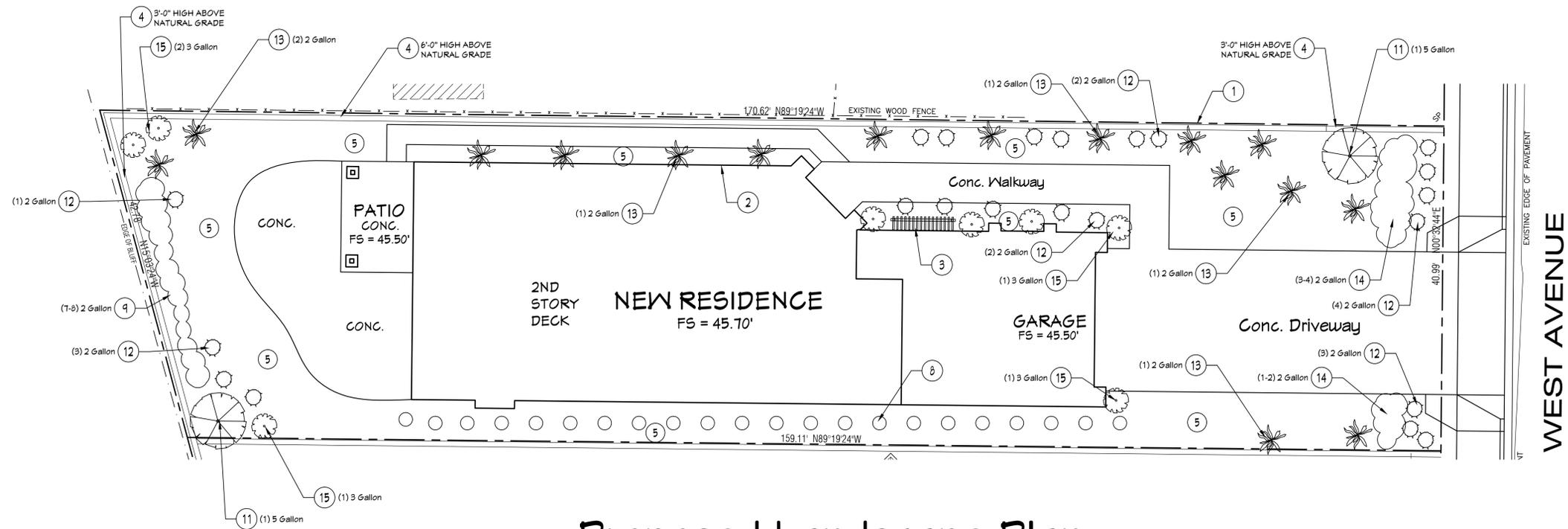
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SHEET	T-1
OF SHEETS	

Landscape Plan Key Notes

- 1 PROPERTY LINE
- 2 BUILDING FOOTPRINT OUTLINE
- 3 TRELLIS
- 4 PROPOSED NEW 8" CMU WALL
- 5 GRAVEL GROUND COVER OVER FILTER FABRIC
- 6 PERMEABLE TURF GRASS OVER SAND
- 7 WALK-ON WOOD BARK OVER FILTER FABRIC
- 8 12" ROUND STEPPING PAVERS
- 9 COASTAL SUCCULENT - *Galandrinia spectabilis*
- 10 COASTAL SUCCULENT - Yankee Point *Ceanothus* shrub
- 11 COASTAL SUCCULENT - Manzanita Tree
- 12 COASTAL SUCCULENT - *Salvia Apiana*
- 13 COASTAL SUCCULENT - Agave
- 14 COASTAL SUCCULENT - Flax Gras
- 15 COASTAL SUCCULENT - Yucca



Proposed Landscape Plan

SCALE: 1/8" = 1'-0"

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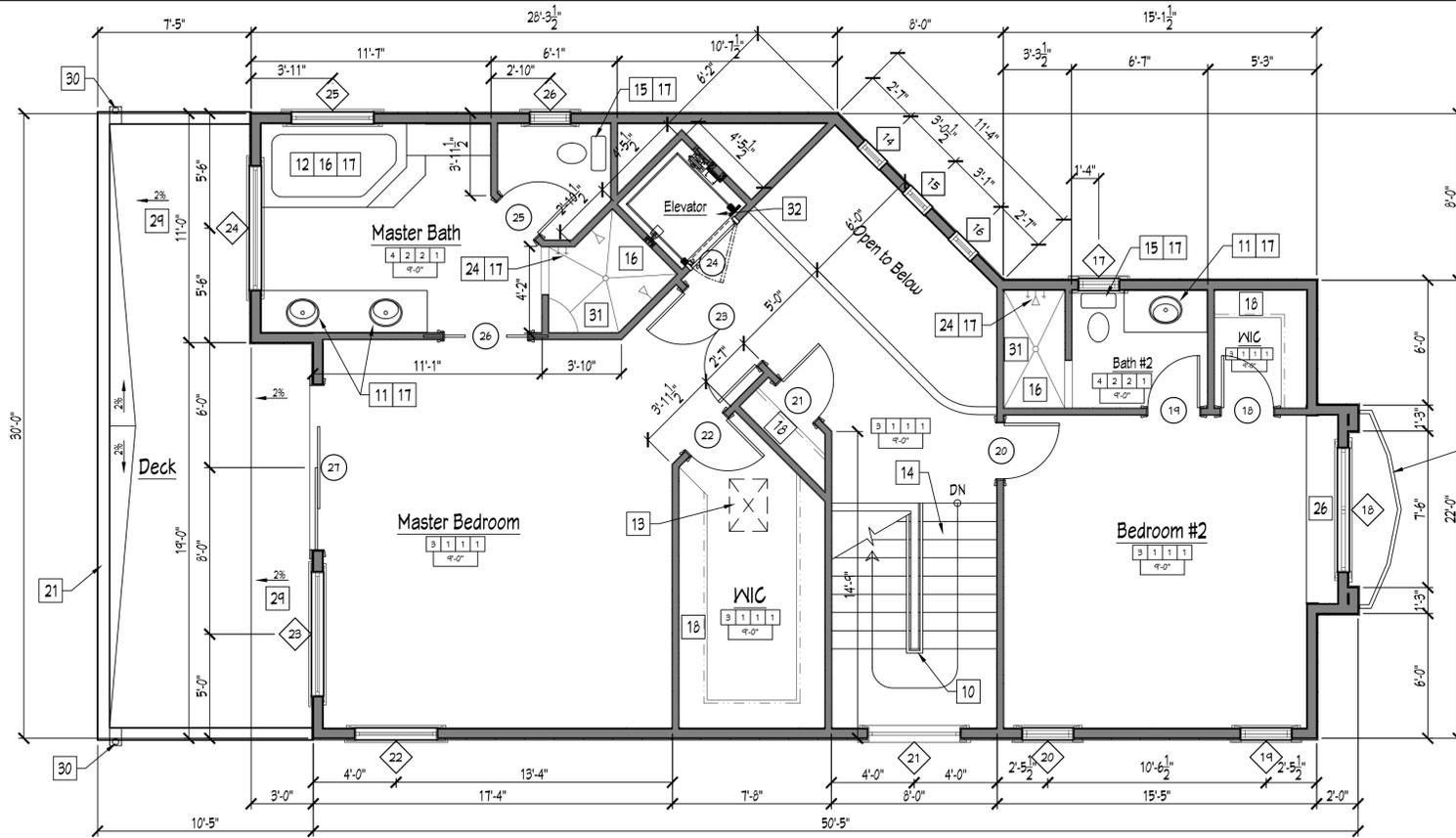
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SHEET TITLE

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Proposed Second Floor Plan
SCALE: 1/4" = 1'-0"

Finish Schedule

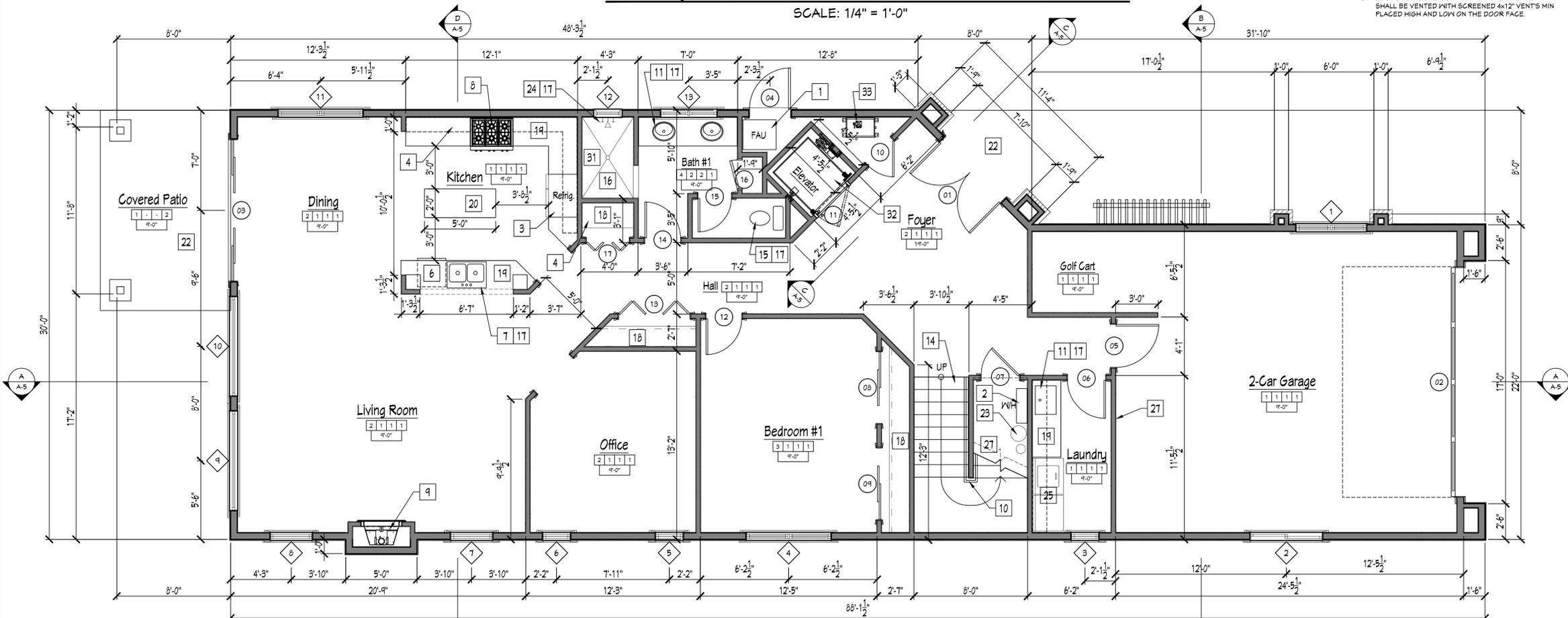
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2. HARDWOOD FLOOR PER OWNER
3. CARPET PER OWNER
4. TILE PER OWNER
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Proposed First Floor Plan
SCALE: 1/4" = 1'-0"

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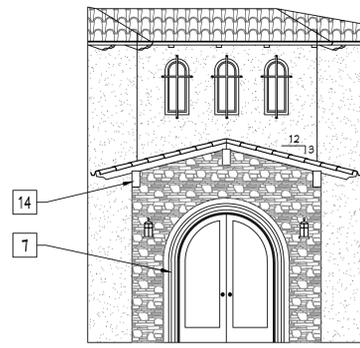
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DATE	BY
10-28-15	

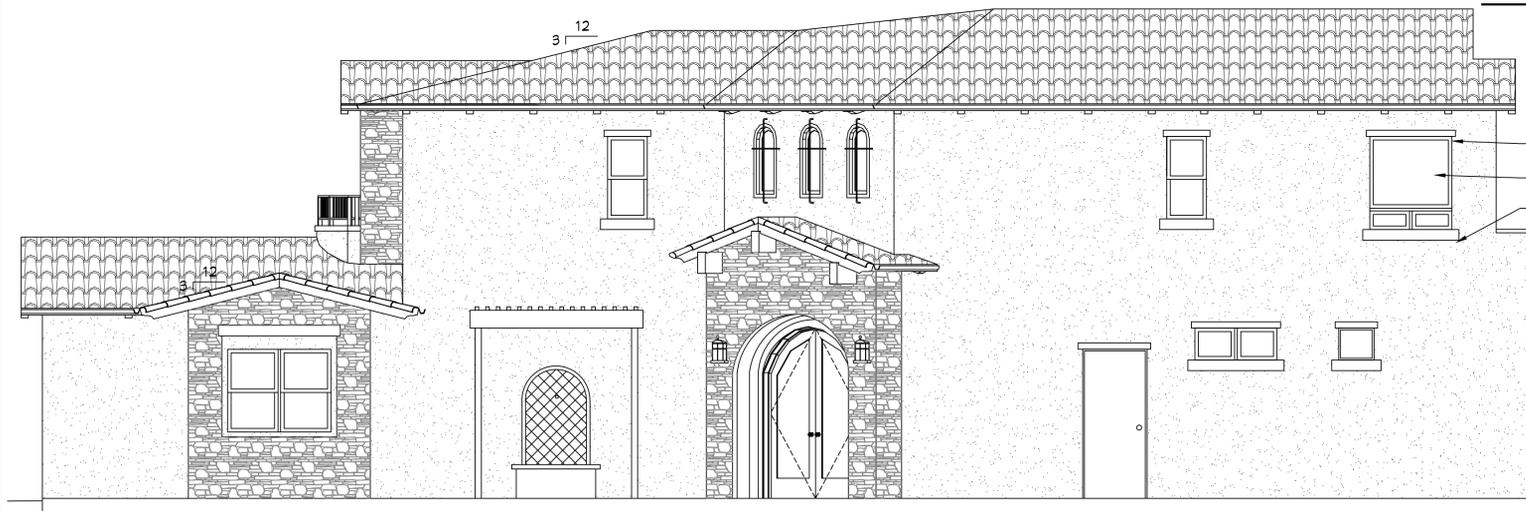
A-2
OF SHEETS



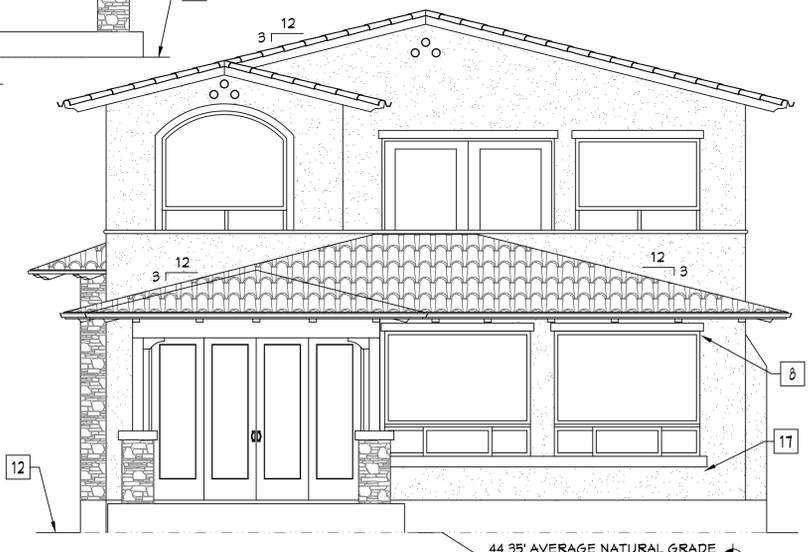
Entry Elevation
SCALE: 3/16" = 1'-0"



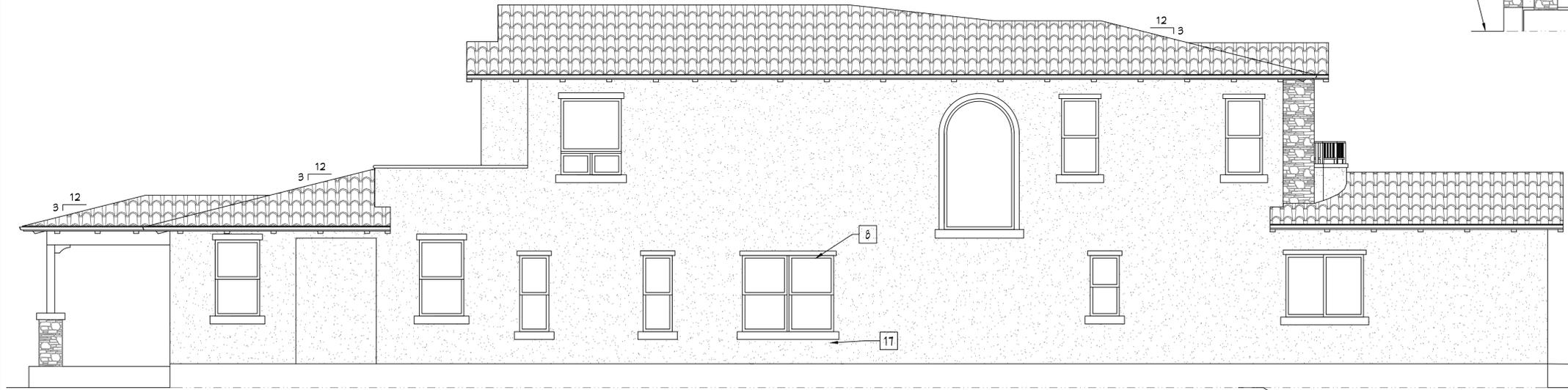
Front Elevation
SCALE: 1/4" = 1'-0"



Right Elevation
SCALE: 1/4" = 1'-0"



Rear Elevation
SCALE: 1/4" = 1'-0"



Left Elevation
SCALE: 1/4" = 1'-0"

Elevation Key Notes

- 1 CONCRETE S-TILE BY "EAGLE ROOFING PRODUCTS" TYPE - BOOSTED CAPISTRANO, WITH 30# FELT UNDERLAYMENT
- 2 SHAPED 4x6 WOOD EAVE RAFTER TAILS @ 36" MIN WITH STAIN FINISH
- 3 1/2" ROD IRON PLANTER RAILING
- 4 3/4" ROD IRON WINDOW CROSS DETAIL
- 5 2x6 WOOD FASCIA TRIM WITH PAINT FINISH
- 6 4" METAL GUTTERS
- 7 CAST CONCRETE SURROUND, PER OWNER
- 8 4" HIGH 2" DEEP WINDOW LINTEL, PER OWNER
- 9 3-COAT CEMENT STUCCO WITH SMOOTH FINISH OVER LATH AND PAPER
- 10 ALUMINUM CLAD WOOD WINDOWS
- 11 ALUMINUM CLAD WOOD DOORS
- 12 FINISH GRADE
- 13 ROCK VENEER PER OWNER
- 14 EXPOSED BEAM WITH STAIN FINISH
- 15 EXPOSED POST WITH STAIN FINISH
- 16 CAST CONCRETE WALL CAP PER OWNER
- 17 6" WIDE 2" DEEP WINDOW SILL, PER OWNER

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GANNAGE
DESIGN & CONSTRUCTION

Aaron Gannage
Design Director

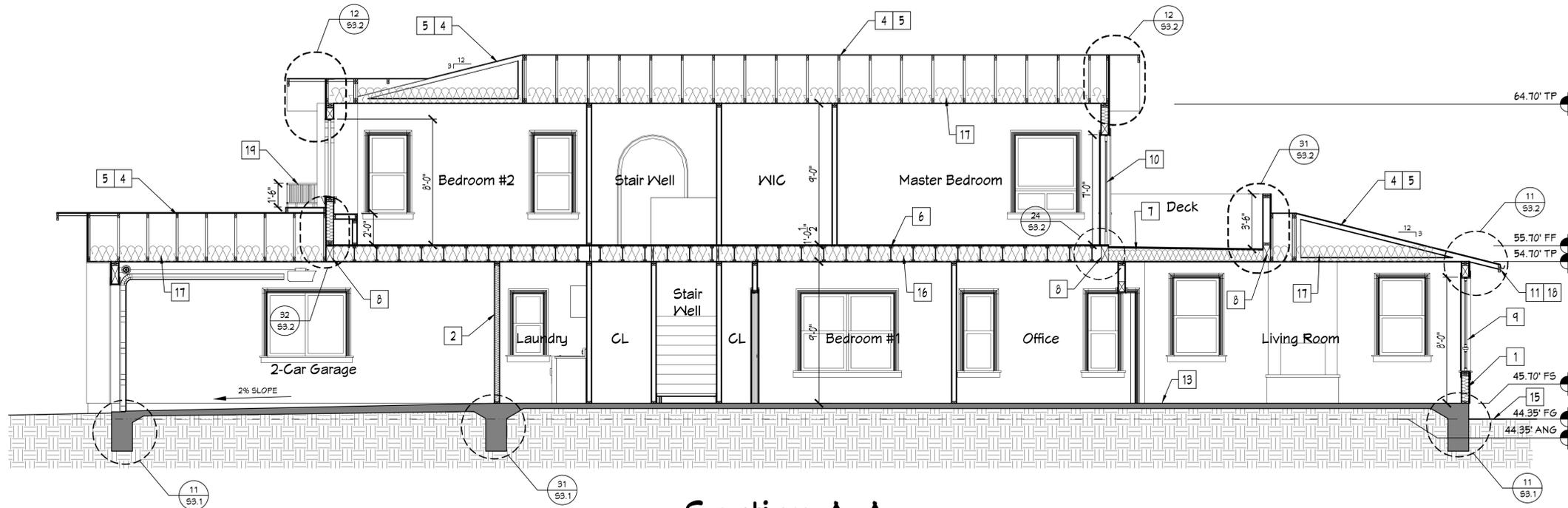
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DATE	BY

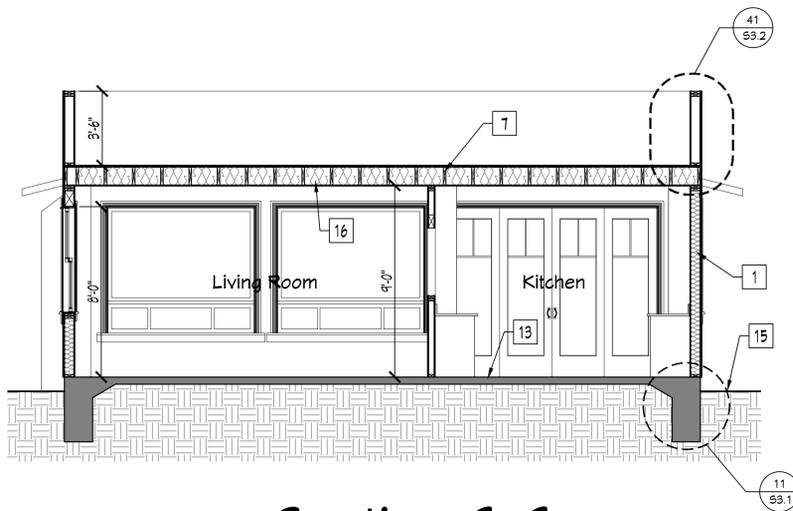
PROJECT
New Residence
1149 West Ave.
Morro Bay, CA

DRAWN	Aaron Gannage
CHECKED	
DATE	10-28-15
SCALE	
JOB NO.	
SHEET	



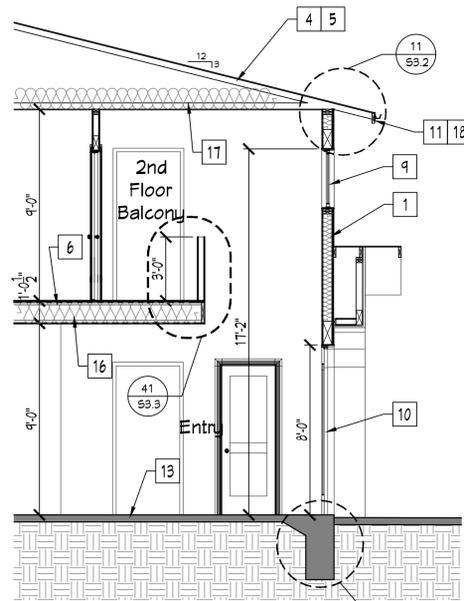
Section A-A

SCALE: 1/4" = 1'-0"



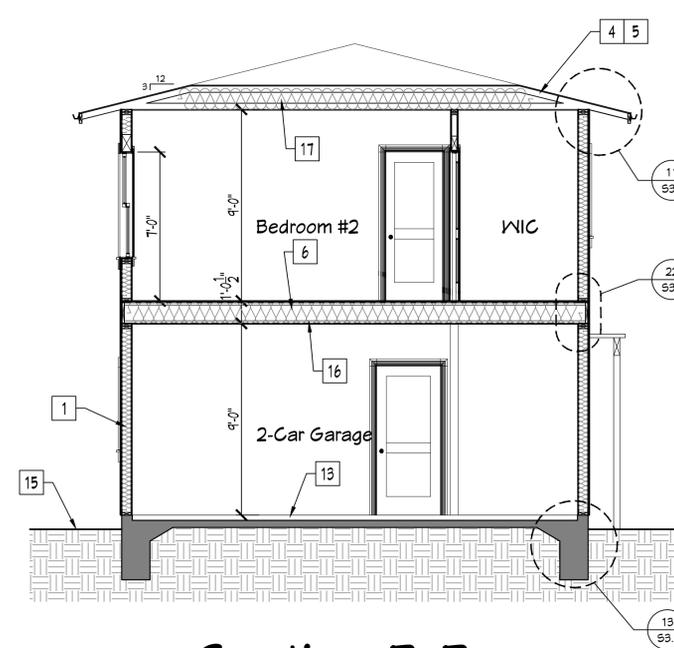
Section C-C

SCALE: 1/4" = 1'-0"



Section C-C

SCALE: 1/4" = 1'-0"



Section B-B

SCALE: 1/4" = 1'-0"

Section Key Notes

- 1 EXTERIOR 2x6 STUD WALL, INSULATE PER TITLE 24, WITH 5/8" DRYWALL INTERIOR AND EXTERIOR 3-COAT CEMENT STUCCO WITH SMOOTH FINISH OVER LATH AND PAPER
- 2 INTERIOR 2x4 STUD WALL WITH 5/8" DRYWALL EACH SIDE, INSULATE PER TITLE 24
- 3 INTERIOR 2x6 STUD BEARING WALL WITH 5/8" DRYWALL EACH SIDE
- 4 PRE-MANUFACTURED TRUSSES @ 24"oc
- 5 ROOF SHEATHING PER STRUCTURAL PLANS
- 6 TJI FLOOR JOIST & FLOOR SHEATHING PER STRUCTURAL PLANS
- 7 DECK JOIST & DECK SHEATHING PER STRUCTURAL PLANS, RIP TO SLOPE 2%
- 8 BEAM PER STRUCTURAL PLANS
- 9 WINDOW PER SCHEDULE
- 10 DOOR PER SCHEDULE
- 11 4" METAL GUTTERS
- 12 5/8" DRYWALL AT CEILING
- 13 CONCRETE SLAB PER STRUCTURAL PLAN
- 14 EXISTING NATURAL GRADE
- 15 FINISH GRADE
- 16 FLOOR INSULATION PER TITLE 24
- 17 ROOF CEILING INSULATION PER TITLE 24
- 18 2x6 WOOD FASCIA TRIM WITH PAINT FINISH
- 19 1'-6" HIGH ROD IRON RAIL AROUND EXT. WINDOW PLANTER SHELF

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DATE	△

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New Residence
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SHEET
A-5
OF SHEETS