



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, February 2, 2016
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Michael Lucas

Commissioner Richard Sadowski
Commissioner Joseph Ingrassia

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

ELECTION OF CHAIRPERSON AND VICE-CHAIRPERSON

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of December 15, 2015.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 *Continued from the 1/5/2016 Planning Commission Meeting*

Case No.: #UP0-433

Site Location: 430 Olive Street, Morro Bay, CA

Proposal: Conditional Use Permit approval for a 500 sq. ft. addition to an existing 2,212 sq. ft. nonconforming single-family residence in the R-1 Residential Zoning District. Specifically, the Applicant proposes to extend the existing living room, bedroom, and bathroom into the existing patio space. The project is located outside of the Coastal Commission Appeals Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15301, Class 1

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner, (805) 772-6270

C. NEW BUSINESS

C-1 Discussion of City Annual Water Equivalency Unit (WEU) Program - *no staff report*

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on February 16, 2016 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695

Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$263 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.

Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date: February 2, 2016

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Crafton	430 Olive Street	11/13/15	UP0-433	Conditional Use Permit for a 500 sq. ft. addition to a nonconforming structure	JG. Under Review. Spoke with Applicant, will make small corrections. Scheduled for 1/5/15 PC meeting. Continued to a date uncertain. Photosimulation received, scheduled for 2/2 PC meeting		Conditionally Approved per memo dated 11/25/15		jg
4	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM.Tentatively scheduled for 3-1-16 PC hearing.				wm
11	Moore	379 Orton St.	11/17/15	CP0-494	New SFR (Manufactured home) on vacant lot. 1493sf living, 528sf garage	Project review complete. To be noticed for admin approval 1-28-16.		Conditionally Approved per memo dated 11/25/15		wm
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
6	James	1230 Clarabelle	1/11/16	CP0-496	Admin CDP for new SFR - 1853sf home with 563sf garage.	JG Under initial review. Correction Letter sent 1/21. Corrections recv'd 1/26				jg
7	Mazzacane	270 Kern	1/7/16	CP0-495	Admin CDP for demo/reconstruct. Demo 848sf SFR and construct new 2763sf SFR w/ 532 sf garage	JG Under initial review. Waiting on comments...				jg
8	May / Ingraffia	636 Fresno	12/21/15	UP0-436	Conditional Use Permit for an 830 sq. ft. addition to a nonconforming structure	JG. Under initial review. Incomplete letter sent 1/21				jg
9	Adamson	2629 Koa	12/14/15	UP0-435	An existing flag pole that exceeds the 25' height limit the the R-1/S.2 zone	JG. Noticed 12/23/15 waiting on structural calcs from applicant				jg
10	Smith	1556 Main	12/14/15	UP0-434	An existing flag pole that exceeds the 25' height limit in the light industrial zoning district	JG. Noticed 12/23/16. Waiting on proof of pole age from applicant				jg
12	Najarian	325 Sicily	10/30/15	CP0-491	Administrative Coastal Development Permit for New SFR - 1686 sf living plus 507sf garage	JG. Under Initial Review. Sent back to Agent for Lot Coverage correction on 12/4. Awaiting resubmittal. Recv'd 1/11/16 under review. Waiting on comments				jg

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13	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review.				cj
14	Elliott/ Bernal	2620 Laurel Ave	9/30/15	CP0-489	Admin CDP for new 2,461sf Single family home w/ 710 sf garage and 1495sf of balcony	JG. Under Initial Review. Correction letter sent 10/27		PN- Conditionally approved per memo dated 10/22/15		jg
15	Black Hill Villas	485 South Bay Blvd	8/7/15	A00-027	Precise Plan CUP modification to reflect Coastal Commission approved changes to CDP	Precise Plan requires modification for City approvals to be consistent with Coastal Commission approvals.. Under review. Traffic Study update received and under review by Public Works Dept.				cj
16	SLCUSD	235 Atascadero	7/20/15	CP0-485 / UP0-427	CDP & CUP for new pool and student services building at Morro Bay High School	Under initial review. Incomplete letter sent. Resubmitted 9-10-15 Incomplete letter sent 10-9-15. CJ.. Resubmittal received 10-27-15. Project review complete. Initial study/ environmental review in process.				cj
17	DeGarimore	1001 Front St.	7/14/15	A00-026	Amendment to CUP to modify project description to remove proposed new awning.	Letter sent to applicant 9-9-15 regarding public access requirements. In process.				cj
18	Gambriel	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Incomplete letter sent 9/4/15.		PN-Plans Disapproved. Req. Stormwater determination form & plan update-8/25/15		wm
19	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		jg
20	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street		RPS disapproved on 12/15/14 since proposed pole site will be removed during undergrounding project		jg
21	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story 19 foot building (retail/restaurant use) & outdoor improvements	Under review. Deemed incompleated. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent . Resubmittal received. Not compliant with view corridors requirements. Resubmitta received 1-20-16.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj

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22	Wordeman	2900 Alder	7/28/14	CP0-447	Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.	Under Review. Correction letter sent 8-27-14. Resubmittal received 1-26-15. JG. Correction letter sent. Partial resubmittal rcv'd 2/23. Under Review. JG. Correction letter sent 1/30 JG. Resubmittal received 6/8/15. Under review. Correction letter sent. Resubmittal rcv'd 9/22/15. corrections required, letter sent 10/15/15. Resubmittale Rcv'd 1/27/2016	BC- conditionally approved.	PN-Disapproved for plan corrections per memo dated 10/5/15		jg
23	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requiementson 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15. Resubmittal received 5/8/15. Reviewing initial study for pending route to State Clearinghouse. Stormwater Control Plan also being reviewed. Reviewing outstanding cultural resources concerns. Reviewed project with archaeologist 1-27-16.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13.9/9/14 FD App TP. 2/10/15 FD Not App TP.	PN- on hold until Sonic submits Preliminary Stormwater Requirements. RPS: Intial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17.		cj
24	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing.Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG. No recent contact.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 6/11/12		
Planning Commission Continued projects:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
25	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Project referred to env. consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ env. consultant re environmental 4/7 CJ. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Received plans revisions and sent request for Coastal concurrence 9-2-15. CJ. Continued to a date uncertain to redraw ESH buffer setback.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 11/20/12	Conditionally approved, per memo 9/22/15	cj
26	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UPO-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj
27	City of Morro Bay	End of Nutmeg	1/18/12	UPO-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		wm
Projects Appealed or Forwarded to City Council:										

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28	Redican	725 Embarcadero Rd.	6/26/13	UP0-359	Use Permit for seven boat slips and gangway	Under review. Incomplete letter sent 7-23-13. Resubmittal received on October 1, 2013. Additional info requested and resubmittal received 12-2-13. Incomplete letter sent 12-30. Meeting with Applicant on 2-13-14. Emailed Applicant 2-26-14 to clarify eelgrass study requirements for environmental review. Info hold letter sent 9-2-14. Resubmitted 10-28-14. Initial Study/MND complete & routed to State Clearinghouse 1-2-15. Anticipate 2-17-15 PC hearing. Comments received from Coastal Commission regarding eelgrass mitigation. Dock revision in progress. Project continued to 3-17-15 mtg to ensure legal noticing. Applicant submitted revised dock plans based on Coastal Commission feedback re: MND. Supplemental info sent to Coastal on 5/12/15. Applicant consulting with Coastal staff regarding MND environmental 7-2015. CJ. Requested continuance at 10-6-15 PC meeting to modify project description. Continued to a date uncertain upon applicant request. Plans revised to include Interior tenant improvements of new 2nd floor deck area. Revised visual sims in progress. Reviewed by PC on 1-5-16. Forwarded to City Council	Bldg -- Review complete, applicant to obtain building permit prior to construction. Disapproved 4/21/14TP-Disapprove 11/19/13.	Conditionally Approved, PW requirements will be addressed with Building Permit review	Harbor conditions: 1. one slip to be reserved for public use; 2. southern-most end tie to remain vacant in order to not encroach on neighboring lease site. Note-water lease line will need to be extended out to accommodate slips. EE 12/16/13	cj
29	Knight / Verizon	485 Piney Way	1/29/15	CP0-460 & UP0-402	CDP /CUP for Verizon wireless telecommunications facility (panel antennas & equipment cabinet)	CJ - RF Compliance Report under review. Incomplete letter sent 3-2-15. Revised RF report submitted 6-5-15. Requested RF clarification via email 7-9-15. Received revised RF report. (continued from 11-24-15 meeting. Denied at 12-1-15 mtg/ Reso for Denial to be considered at 12-15 mtg. Appealed by Applicant on 12/21/15		ME conditionally approved per memo 2/3/15		cj
30	Hough	289 Main	10/16/13	CP0-410 & UP0-369	CDP and CUP to construct a 2,578sf single family home on vacant lot	CJ- under review. Met with Applicant's representative 11-21-13. Met w/ Applicant representative 3-3-14 regarding bluff determination per LCP maps. Letter sent 4-1-14 re completeness and bluff standards. CJ. Visited site to review project 10-24-14. Concurrent request sent re bluff to Coastal Commission 10-27-14. Discussed project with Coastal staff 11-18-14 with referral to CCC Geologist 1-2015. Met w/ Coastal geologist 2-12-15 on site. Resubmittal received and review complete for PC hearing. Denied at 10-6-15 hearing. Resolution for denial on 10-20-15 agenda. DENIED 10-20-15. Appealed granted and project remanded back to PC for review of revised plans. Scheduled for Council hearing on 3-22-16.	BC- conditionally approved. TP-Disapprove 12/6/13.	BCR: Conditionally approved: ECP and sewer video required per memo of 10/28/13. Began resubmittal review 3/18/15		cj

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31	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report brought to PC on 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop held 5/19/14. Result of sign workshops discussed at 11-3-15 PC mtg.	No review performed.	N/R		sg
Environmental Review										
32	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Final Map Under Review Projects:										
33	Tract 2670	1899 -1911 Sunset	11/17/15	Map	Final Map. - Tract 2670 6 lot subdivision and 1 common lot	Under review. Correction letter sent on 12-17-15				cj
34	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.		sg/cj

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Projects requiring coordination with another jurisdiction:										
35	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
36	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing:										
41	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review.	No review performed.			

wm

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
42	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues.	No review preformed.	N/A		sg
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										
39	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		
40	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW-Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. Applicant requested to keep project open 9-25-14.	Please route project to Building upon resubmittal.	N/A		cj
Grants										

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
41	Coastal Conservancy, California Coastal Commission, California Ocean Protection Council	City-wide				\$250,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Application submitted July 15, 2013. Awaiting results. Agency requested additional information and submitted 10-7-13. Notice received application was successful for amount requested. City funded \$250,000. Staff in contact with CA Ocean Protection Council staff to commence grant contract.	No review performed.	N/A		
42	City of Morro Bay	City-wide				Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14. 2016 Program year applications due 10/23/15. Final 2016 funding recommendations to be reviewed by Council on 3-8-16.	No review performed.	N/R		
43	City of Morro Bay	City-wide				Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				

Projects in Building Plan Check:

1	Abel	765	Alta	12/21/15	B-30796	SFR Addition			JL/PN-Not Approved per Memo dated 12/21/15		
2	Sangren	675	Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A		
3	LaPlante	3093	Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit on hold until Planning process complete. CJ.	BC- Application on hold during planning process of 4-2-2012	DH- Provide SW mgmt, drainage rpt, EC per memo of 1/18/12.		
4	Tays	982	Carmel	10/1/15	B-30684	SFR Alteration and 65sf addition (includes new bathroom)	Disapproved 11-17-15. SG.	Plans denied 10-05-2015 cdl	PN- Approved per memo dated 11/23/15		
5	Diaz	365	Driftwood	8/14/15	B-30601	SFR Addition of 328sf upstairs to create Master bedroom and bathroom.	JG. Plans disapproved, incomplete.	Approved 10-13-2015 cdl	PN- Approved 10/5/15		
6	Ocean View Manor	456	Elena	9/10/15	B-30651	Remodel of existing senior rental 40 apts. with common building and site improvements			PN-Disapproved 11/30/15		
7	Parks	2810	Elm	12/7/15	B-30775	New 480sf detached garage with new driveway & walkway			PN-Approved 12/16/15		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
8	Leage	1205 Embarcadero	9/10/15	B-30651	686sf second story addition	Correction letter sent. Not compliant w/ Planning conditions. CJ	Plans Denied 09-24-2015 cdk	PN- Approved 10/1/15, no memo.		
9	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process. Plans have been denied.	Memo of 11/29/13. CDP application should address soil revegetationor		
10	Appleby	381 Fresno	7/31/14	B-30227	Carport& Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	Building approved 08-04-15 cdl	RPS - No PW comments if street access is not required for storage bldg		
11	Decker	430 Fresno	6/8/15	B-30491	Convert existing laundry room into bathroom.	Approved. SG 6/15/15	Plans approved. 07-02-15 cdl	PN- Disapproved, needs sewer video & bwv 6/12/15		
	Nico	2431 Greenwood	12/14/15	B-30783	74 sqft addition to existing 604 sqft deck			JL/PN-Approved 12/21/15		
12	Monie	2577 Greenwood	6/8/15	B-30483	600sf addition (1st & 2nd floor) to front of existing SFR			PN-Disapproved, needs Erosion control plan 11/23/15		
13	Jackson, Addis	2860 Greenwood	9/2/15	B-30639	Detached 160sf Guest cottage	Disapproved 9-28-15. JG	Perit Denied 9-9-15 cdl	PN-Disapproved, needs Erosion control plan 11/23/15		
14	Hurless	2265 Hemlock	8/27/15	B-30477	SFR Garage converted to 492sf apartment with new bedroom and bathroom.	Disapproved 8-28-15. JG	05-15-15 Plans denied. Cdl	PN- Disapproved needs sewer lateral video-		
15	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	WM. Expecting Admin Use Permit application for minor revision to approved design.	Plans approved 9-18-15 cdl	PN-Disapproved, needs swr video & plan corrections. 9/24/15		
16	Nisbet	225 Kern	11/30/15	B30761	Remodel & Addition of 123sf to 1,107sf of existing SFR	JG. Requires a Conditional Use Permit		PN-Disapprovedper memo dated 12/2/15		
17	Nisbet	500 Kings	10/20/15	B30710	New 2,434 sf SFR with 672 sf garage and 228 sf of decking & shared driveway with adjacent lot		Plans under review. 10-21-15 cdl	PN-Disapprovedper memo dated 10/27/15		
18	Nisbet	570 Kings		B30600	New 2,317sf SFR w/ 583sf garage and separate detached 735sf 3-car garage.	Disapproved 8-31-15. CJ.	Plans denied 08-19-15 cdl	PN-Disapproved for plan corrections per memo dated 8/31/15		
19	Banuelos	350 Las Vegas	8/19/15	B-30613	Demo 832sf SFR & 384sf non-conforming detached garage. Build new 1,600sf SRF & 484sf garage.	Approved 11-12-15. JG.	Plans denied 10-16-15 cdl	PN-Approved 11/12/15		
20	Ryan	1125 Las Tunas	10/8/15	B-30695	New SFR with 2185sf & 580sf garage	Disapproved 10-27-15. JG	Plans denied 10-19-15 cdl	JL/PN-Disapproved per memo dated 12/21/15		
21	Douglas	2587 Laurel	7/27/15	B-30352	Addendum to B-30074. Add 24 sq. ft., converting 1,020 sq. ft. to habitable space, add 120 sq. ft. porch, and 191 sq.ft. deck	Under Review. JG. Denial	Plans Denied 08-05-15 cdl	PN 9/30/15 Approved as submitted. No memo		
22	Peter	890 Main	10/15/15	B-30702	76sf concrete accessible ramp at building entrance	Approved 10-21-15. SG	Plans Approved 10/19/15 cdl	PN-Approved 11/25/15		
23	Candy Fish Sushi	898 Main	2/23/15	B-30380	Demise wall to add inside seating in restaurant	Approved 2/26/15 JG	Plans denied 3-2-15 cdl			
24	Dyson	117 Main	8/18/14	B-30248	Covered Patio	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
25	Boisclair	900 Main	8/5/15	B-30587	Commerical Interior Remodel, with new restrooms, removing existing driveway & street trees	Approved 10-8-15. JG	Building plans Approved 10-13-2015 cdl	PN- Disapproved, need update to Arborist Report, 10/12/15		

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26	Zanovich	380 Marina	10/2/15	B-30685	Enclose existing deck on SFR	Disapproved 10-23-15. JG. Approved 12/10	Bldg. Plans approved. 10-19-2015 cdl	PN- Conditionally Approved, 10/16/15		
27	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved 9/25/14. CJ.	Plansw approved 9-30-2014 bc	RPS returned for corrections per memo of		
28	Bunker	491 Panay	12/8/15	B30777	203sf interior remodel to existing 1144sf two story SFR			PN- Approved 12/16/15		
29	Sciortino	966 Pecho	10/26/15	B30715	575sf addition to single level SFR & 77sf deck addition	Approved 10-27-15. JG	Permit issued 8-6-15 cdl	PN- Approved 10/30/15		
30	Dennis	290 Piney	2/13/15	B-30382	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG	Permit Issued 8-24-2015 cdl	ME approved 4/16/2015		
31	Humarian	781 Quintana	9/2/15	B-30631	Remodel exterior & interior w/ADA restrooms & parking lot upgrades.	Approved 11-13-15. JG.	Permit Issued 10-16-2015 cdl	PN- Approved 10/10/15		
32	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
33	Dow	670 Shasta	10/12/15	B-30699	Addition to SFR of 238sf living space and Demo & reconstruct of 276sf garage	Disapproved 10-27-15. JG	Permit issued 10-27-2015 cdl	PN- Disapproved per memo 10/23/15		
33	Dolezal	1885 Sunset	10/30/15	B-30758	Lot 6: New SFR with 1140sf and 480 garage	Under review		PN- Disapproved per memo 12/17/15		
34	Dolezal	1889 Sunset	10/30/15	B-30757	Lot 5: New SFR with 1140sf with 480 garage	Under review		PN- Disapproved per memo 12/17/15		
32	Dolezal	1893 Sunset	10/30/15	B-30756	Lot 4: New SFR with 1140sf living and 480sf garage	Under review		PN- Disapproved per memo 12/17/15		
33	Dolezal	1897 Sunset	10/30/15	B-30753	Lot 1: New SFR with 1140sf living and 480sf garage	Under review		PN- Disapproved per memo 12/17/15		
32	Dolezal	1901 Sunset	10/30/15	B-30754	Lot 2: New SFR with 1541sf living and 483sf garage	Under review		PN- Disapproved per memo 12/17/15		
33	Dolezal	1905 Sunset	10/30/15	B-30755	Lot 3: New SFR with 1457sf living and 480sf garage	Under review		PN- Disapproved per memo 12/17/15		
35	Reddell	310 Trinidad	6/1/15	B-30508	New 1763sf SFR w/427sf garage & 150sf storage/deck.	JG. waiting on planning permit approval. CP0479 / UP0431 approved 10/12/15		PN- Plans disapproved. Need lateral sewer video & plans update - 11/24/15		
36	Barbis	166 Vashon	8/27/15	B-30623	186sf Addition to front exterior of SFR	Approved 10-2-15. WM	Building plans approved 10-09-2015 cdl	PN- Plans disapproved for plan corrections - 9/30/15		
Planning Projects & Permits with Final Action:										
5	Najarian	986 Las Tunas	11/17/15	CP0-493	Administrative Coastal Development Permit for New SFR - 1679 sf living plus 434 sf garage	JG. Under Initial Review. Met with Agent 12/18 re. corrections, waiting on submittal. Notice 1/14/16. Permit issued 1/26/16		Conditionally Approved per memo dated 11/25/15		jg
2	Merrifield	1147 West St.	4/24/15	CP0- 469 & UP0-414	Coastal Development and Conditional Use Permits to construct new SFR subject to bluff development stds.	WM Phase 1 arch report req'd. Continued to a date uncertain. Approved by PC on 1-19-16. Permit issued.		PN - Conditionally approved with comments-6/1/15		wm
3	Wright	1149 West St.	4/24/15	CP0-470 & UP0-415	Coastal Development and Conditional Use Permits to construct new SFR subject to bluff development stds.	WM Phase 1 arch report req'd. Continued to a date uncertain. Approved by PC on 1-19-16. Permit issued.		PN - Conditionally approved with comments-6/1/15		wm

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner

C. PUBLIC HEARINGS

C-1 **Case No.:** #CP0-483 and UP0-421

Site Location: 1401 Quintana, Morro Bay, CA

Project Description: Coastal Development Permit and Conditional Use Permit approval for installation of an unmanned telecommunication wireless facility which consists of a cylindrical antenna on top of an existing 28 ft. utility pole and the installation of an equipment cabinet adjacent to the utility pole within the public right-of-way. The project is located outside of the Coastal Commission Appeals Jurisdiction

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

<https://youtu.be/uxBvteYLogA?t=1h15m24s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Gargiulo presented staff report.

Chairperson Tefft opened Public Comment period.

<https://youtu.be/uxBvteYLogA?t=1h27m1s>

Tricia Knight, representative for Verizon, stated she appreciated the great job on the staff report. She explained where and why the sites are located in the proposed areas. She stated Chief Knuckles contacted Verizon last year regarding the need for cell towers due to the struggles the Fire Department have in emergency situations.

Knight also noted PG&E notifies them where they prefer the equipment to be located.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/uxBvteYLogA?t=1h34m46s>

MOTION: Commissioner Luhr moved to approve Resolution PC 47-15 with modified Planning Condition 1 to reflect the canister containing the antenna shall be painted to match the color of the utility pole and Planning Condition 9 added to reflect a post construction RF compliance report shall be submitted to the Community Development Manager prior to final inspection. The study shall measure actual RF emission levels for all antennas. Vice-Chairperson Sorenson seconded and the motion passed (3-2) with Commissioners Lucas and Sadowski voting no.
<https://youtu.be/uxBvteYLogA>

C-2 **Case No.:** #CP0-466 and #UP0-412

Site Location: 702 Morro Bay Blvd., Morro Bay, CA

Proposal: Coastal Development Permit and Conditional Use Permit approval for installation of an unmanned telecommunication wireless facility which consists of a screened cylindrical antenna on a short pole on the roof of an existing two-story commercial building with an associated equipment cabinet at ground level at the rear of

the building. The project is located outside of the Coastal Commission Appeals Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Contract Planner, (805) 772-6270

<https://youtu.be/uxBvteYLogA?t=1h36m7s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Gargiulo presented staff report.

Chairperson Tefft opened Public Comment period.

<https://youtu.be/uxBvteYLogA?t=1h43m55s>

Tricia Knight, representative for Verizon Wireless, read a letter from Fire Chief Knuckles requesting Verizon to pursue strengthening the network due to lack of data service. Knight noted the equipment for the cell tower is located in the back alley and is not visible from the street.

Joel Grazia, Morro Bay resident, asked if the applicant provided technical information or support regarding the height minimal vs. optimal. Grazia also asked what the view from the street level was and asked if anyone thought about placing the cell tower in the center of the building.

Ann Travers, Morro Bay resident, stated the locations of the other cell towers in the neighborhood.

Duane Bonham, Verizon RF Engineer, stated the optimal height would be above the tree height.

Knight spoke about the analysis which was done to help with emergency services. Knight also noted six cell sites were chosen and all have met the criteria.

Bonham, answered questions brought up by the Planning Commission.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/uxBvteYLogA?t=2h6m48s>

Chairperson Tefft opened Public Comment period.

<https://youtu.be/uxBvteYLogA?t=2h23m29s>

Knight explained the application process which was taken for the project and noted there is a new ordinance which would address the questions being asked tonight. Knight stated she will work with staff on the next project to provide the overall network data the Planning Commission is requesting, but also noted this application was deemed complete.

Bonham, answered more questions from the Planning Commission and went over the different types of emergency backups Verizon has at other sites.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/uxBvteYLogA?t=2h39m5s>

MOTION: Commissioner Luhr moved to approve Resolution PC 49-15 for CP0-466 and UP0-412. Vice-Chairperson Sorenson seconded and the motion passed (3-2) with Commissioners Lucas and Sadowski voting no.
<https://youtu.be/uxBvteYLogA?t=2h46m57s>

- C-3 **Case No.:** #UP0-359
 Site Location: 725 Embarcadero, Morro Bay, CA
 Proposal: Conditional use permit for construction of new gangway, dock, and seven (7) boat slips which will be 6 private month-to-month rentals and 1 public slip controlled by the Harbor Dept. The dock and slips would be supported by eleven (11) new guide piles consisting of 35 – 55-foot by 16-in diameter 0.375 wall steel. The upper 25 feet of the exterior surface that would be exposed will be coated with a marine grade epoxy/polyurethane coating. All on-site work would occur from a barge stocked and prepared at the APC dock in Morro Bay, and tugged into position for pile installation. The project also includes expansion of Water Lease Site 82-85W from approximately 50-feet to 93.71-feet. In addition, the project proposes a second story dining deck expansion along the west side of the building. This project is located in the original jurisdiction of the California Coastal Commission.
 CEQA Determination: Mitigated Negative Declaration, State Clearinghouse #2015011002
 Staff Recommendation: Adopt the Mitigated Negative Declaration and Forward Favorable Recommendation to City Council to Conditionally Approve Concept Plan
 Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577
<https://youtu.be/uxBvteYLogA?t=2h47m58s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Jacinth announced that the applicant is requesting a continuance. Staff recommendation is to continue to the 1-5-16 Planning Commission meeting.

Chairperson Tefft opened Public Comment period and seeing none, closed the Public Comment period.
<https://youtu.be/uxBvteYLogA?t=2h53m48s>

MOTION: Commissioner Sadowski moved to continue item C-3 to the January 5, 2016 Planning Commission Meeting. Commissioner Lucas seconded the motion and the motion passed unanimously (5-0).
<https://youtu.be/uxBvteYLogA?t=2h54m7s>

D. UNFINISHED BUSINESS

- D-1 **Case No.:** #CP0-460 and UP0-402
 Site Location: 485 Piney Way, Morro Bay, CA
 Project Description: Review Resolution 48-15 for Denial of Coastal Development Permit and Conditional Use Permit for installation of an unmanned telecommunication wireless facility which consists of 3 new directional panels antennas on the roof of an

existing church screened with a faux chimney. Project also includes installation of associated equipment of 2 new equipment cabinets adjacent to church.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Move for reconsideration of resolution

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

<https://youtu.be/uxBvteYLogA?t=2h54m31s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Jacinth presented staff report.

Commissioner Luhr abstained due to he was not present at the last meeting.

Chairperson Tefft opened Comment period.

<https://youtu.be/uxBvteYLogA?t=2h58m1s>

Knight stated she met with neighbor Mr. Hopper regarding impacts to his view shed and agreed to move the chimney to the east to lessen view impacts as requested by Mr. Hopper. Knight also noted this was an area where Fire Chief Knuckles was having capacity issues.

Travers, stated the City Council approved and adopted the amended land use ordinance for cell towers in 2005. She asked why the standard wasn't being used. She noted the ordinance states no antenna shall be placed within 100 feet near a residence. Travers stated in 2010 a draft wireless ordinance was brought to City Council and it addresses the issue of appropriate locations of antennas. She doesn't understand why these steps weren't implemented when the City Council had already adopted them. Travers went over other issues she was concerned about.

Barbara Nordin, Morro Bay resident, stated Verizon made a deal with PG&E to place cell towers on their equipment. She asked why the City wasn't included on this. She noted the City could be making money and suggested the antennas could be placed on the water tower, City Hall or Fire Department.

Lopez, wanted to clarify to the Planning Commission the item is under "Unfinished Business" and not a Public Hearing. Lopez also noted the only item before the Commission is to whether or not to make a motion for reconsideration of resolution.

Chairperson Tefft closed the Comment period.

<https://youtu.be/uxBvteYLogA?t=3h5m14s>

MOTION: Vice-Chairperson Sorenson moved to approve Resolution PC 48-15, CP0-460 and UP0-402 with the additional Coastal Development Permit Finding:

That the project is not in accordance with the certified Local Coastal Program and the General Plan for the City of Morro Bay based on incompatibility with nearby uses including proximity of nearby wireless facilities and has to do with the aggregate visual clutter caused by nearby wireless facilities and potentially 20-30 utility constructions within our residential neighborhoods which affects our view potentials.

Commissioner Lucas proposed the “Whereas” acknowledged the previous discussion of cell tower resolutions put forward from this panel, in consideration of the past record by the community in hearings.

Commissioner Lucas seconded the motion and the motion passed (3-1) with Chairperson Tefft voting no.

E. PLANNING COMMISSIONER COMMENTS
<https://youtu.be/uxBvteYLogA?t=3h39m44s>

Commissioner Luhr stated his concern regarding mobile homes installed in Morro Bay. Luhr’s concern is the foundation it would be built on. He feels mobile homes should meet the same standards as a new home construction build. Staff will agendize the item to a future meeting.

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS
<https://youtu.be/uxBvteYLogA?t=3h39m12s>

Graham stated they will be conducting the consultant interviews for the General Plan and LCP Update tomorrow, 3 p.m. to 5 p.m. at the Community Center Multipurpose Room.

G. ADJOURNMENT

The meeting adjourned at 9:48 p.m. to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on January 5, 2016, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: February 2, 2016

Staff Report

TO: Planning Commission

DATE: February 2, 2016

FROM: Joan Gargiulo, Contract Planner

SUBJECT: **Conditional Use Permit (#UP0-433) Continued from the 1/5/2016 Planning Commission Meeting:** Conditional Use Permit approval for a 500 sq. ft. addition to an existing 2,212 sq. ft. nonconforming single-family residence in the R-1 Residential Zoning District. Specifically, the Applicant proposes to extend the living room, bedroom, and bathroom into the existing patio space.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 05-16** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated January 15, 2016.

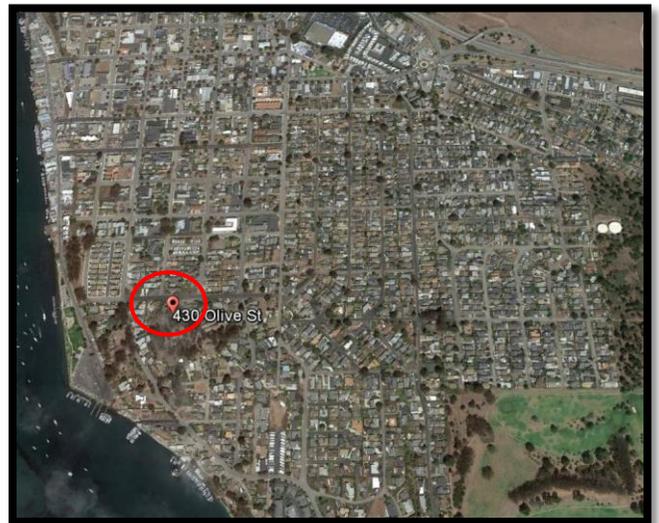
APPLICANTS: Jerry C Crafton

ARCHITECT: Vernon R. Stevens, Freeline Architecture

LEGAL DESCRIPTION/APN: 066-222-005

PREVIOUS REVIEW:

At its meeting on January 5, 2016 the Planning Commission voted 4-0 to continue this item with direction to the Applicant to submit revised plans to include additional 3-D renderings that more clearly illustrate the visual impact of the proposed addition as seen from ground level when approaching the structure via Olive Street from the west.



Prepared By: JG

Department Review: _____

PLAN SET MODIFICATION:

Development plans dated January 15, 2016 were submitted to the City on January 22, 2016. The additional 3-D renderings as requested by the Planning Commission can be found on plan set sheet A-400 (Exhibit B) and include existing and proposed views as seen at ground level from three different perspectives.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on January 23, 2016, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. The exemption applies to additions to existing structures resulting in an increase of 50% of the floor area or less and the project will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-433 for the proposed addition to a nonconforming structure for the project at 430 Olive Street, as shown on plans dated January 15, 2016, by adopting Planning Commission **Resolution 05-16** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

- A. Planning Commission Resolution 05-16
- B. Plan Set dated 1/15/2016
- C. Staff Report dated 1/5/2016

Exhibit A

RESOLUTION NO. PC 05-16

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-433) TO ALLOW AN ADDITION TO A NONCONFORMING RESIDENTIAL STRUCTURE AT 430 OLIVE STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on January 5, 2016, for the purpose of considering Conditional Use Permit UPO-433 for a proposed addition to a nonconforming single-family residence at 430 Olive Street.; and

WHEREAS, the Planning Commission at its January 5, 2016 meeting directed the Applicant to submit revised plans to include additional 3-D renderings that more clearly illustrate the visual impact of the proposed addition and continued the matter to a date uncertain; and

WHEREAS, the Planning Commission of the City conducted the continued public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on February 2, 2016, for the purpose of considering Conditional Use Permit UPO-433 for a proposed addition to a nonconforming single-family residence at 430 Olive Street.; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt pursuant to Class 1, CEQA Guidelines Section 15301(e) for additions to existing structures with no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of

- densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
 3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
 4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with mostly two-story homes.
 5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet the required front-yard setback.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-433 for property located at 430 Olive Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated February 2, 2016, for the project at 430 Olive Street depicted on plans dated January 15, 2016, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City’s Community Development Manager (the “Director”), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the “MBMC”), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development

Manager. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.

4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings: The erection (including excavating), demolition,

- alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
 4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morrobay.ca.us/EZmanual. Projects with more than 2,500 sq ft of new or redeveloped impervious area are subject to these requirements. Complete and submit the "SFR Performance Requirement Determination Form".
2. Sewer Lateral: If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD. Lateral shall be repaired if necessary. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral. If a new lateral is being proposed and old lateral exists, include a note on the plans to cap and abandon existing sewer lateral.
3. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070). Indicate and label on plan.
4. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan

shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.

5. Encroachment Permits: A sewer encroachment permit shall be required for the installation or repairing of the sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Department Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.
3. Due to mandatory water conservation requirements and stormwater requirements no pressure washing is allowed unless it is directly due to professional preparation of exterior painting of property. No discharge of non-stormwater is allowed into the municipal storm drain system and contractor must provide measures to prevent any discharge for entering the stormwater system.

FIRE CONDITIONS:

1. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903), California Residential Code (Section R313), and Morro Bay Municipal Code (Section 14.08.090(L)(4)(b)) is recommended.

In conjunction with this remodel and for the fire and life safety of the occupants, we strongly recommend installation of an automatic fire sprinkler system.

2. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

Applicant shall provide Carbon Monoxide detection in accordance with CRC R315.2.

3. Fire Safety During Construction and Demolition shall be in accordance with 2013 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations

Applicant shall include above language on Building Plan submittal.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 2nd day of February, 2016 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 2nd day of February, 2016.



Crafton Residence Room Addition

430 Olive Street Morro Bay, Ca. 93442

ABBREVIATIONS

AB -ANCHOR BOLT	FLSHG -FLASHING	RM -ROOM
ABV -ABOVE	FLUOR -FLUORESCENT	RO -ROUGH OPENING
AC -ASPHALT CONCRETE	FOB -FACE OF BLOCK	RS -ROUGH SAWN
A/C -AIR CONDITIONING	FOC -FACE OF CONCRETE	RTSB -RUBBER TOP SET BASE
ACOUS -ACOUSTICAL	FOF -FACE OF FINISH	RD WD -RED WOOD
ADD -ADDENDUM	FOM -FACE OF MASONRY	
ADJ -ADJUSTABLE / ADJACENT	FOS -FACE OF STUD	SC -SOLID CORE
AGG -AGGREGATE	FT -FOOT	SCHED -SCHEDULE
ALT -ALTERNATE	FTG -FOOTING	SECT -SECTION
ALUM -ALUMINUM		SERV -SERVICE
APPROX -APPROXIMATE	GA -GALVANIZED	SHT -SHEET
ARCH -ARCHITECT (URAL)	GEN -GENERAL	SHTG -SHEATHING
	GL -GLAZING	SIM -SIMILAR
	GLB -GLUE LAMINATED BEAM	SL -SLIDING
BD -BOARD	GYP BD -GYPSUM BOARD	SPECS -SPECIFICATIONS
BEL -BELOW		SQ -SQUARE
BLDG -BUILDING		SS -STAINLESS STEEL
BLK -BLOCK	HB -HOSE BIB	STD -STANDARD
BLKG -BLOCKING	HC -HANDICAPPED	STL -STEEL
BM -BEAM	HD -HEAD	STOR -STORAGE
BOT -BOTTOM	HDR -HEADER	STRUCT -STRUCTURAL
BRG -BEARING	HDW -HARDWARE	SUSP -SUSPENDED
BRZ -BRONZE	HT -HEIGHT	
BUR -BUILT UP ROOFING	HM -HOLLOW METAL	TEL -TELEPHONE
	HORIZ -HORIZONTAL	TEMP -TEMPERED
C -CARPET	HVAC -HEATING / VENTING / AIR CONDITIONING	T&G -TONGUE AND GROOVE
CAB -CABINET		THRESH -THRESHOLD
CB -CATCH BASIN	ID -INSIDE DIAMETER	TOC -TOP OF CONCRETE
CEM -CEMENT	INCAND -INCANDESCENT	TOIL -TOILET
CER -CERAMIC	INT -INTERIOR	TOL -TOLERANCE
CF -CUBIC FOOT		TOD -TOP OF DECK
CI -CAST IRON	JAN -JANITOR	TOP -TOP OF PARAPET
CJ -CEILING JOIST	JST -JOIST	TOS -TOP OF SHEATHING
CLR -CLEAR		TOW -TOP OF WALL
CMU -CONCRETE MASONRY UNIT	LAM PLAS -LAMINATED PLASTIC	TV -TELEVISION
COL -COLUMN	LAV -LAVATORY	TYP -TYPICAL
COMP -COMPOSITION		
CONC -CONCRETE	MAT -MATERNAL	UL -UNDERWRITERS LABORATORIES
CONT -CONTINUOUS	MAX -MAXIMUM	UNO -UNLESS NOTED OTHERWISE
CONST -CONSTRUCTION	MB -MACHINE BOLT	
CORR -CORRUGATED	MECH -MECHANICAL	VERT -VERTICAL
CT -CABLE TELEVISION	MER -MANUFACTURER	VEST -VESTIBULE
CYL -CYLINDER	MIN -MINIMUM	
	MET -METAL	WI -WITH
DBL -DOUBLE		WAINS -WAINSCOT
DF -DOUGLAS FIR	NIC -NOT IN CONTRACT	WC -WATER CLOSET
DIA -DIAMETER	NTS -NOT TO SCALE	WD -WOOD
DIAG -DIAGONAL		WH -WATER HEATER
DIM -DIMENSION	OC -ON CENTER	WIND -WINDOW
DIV -DIVIDE	OD -OUTSIDE DIAMETER	W/O -WITHOUT
DR -DOOR	CHC -OVER HEAD CABINET	WR -WATER RESISTANT
DS -DS	OPNG -OPENING	WS -WOOD SCREW
DTL -DETAIL		WWF -WELDED WIRE FABRIC
	PART -PARTITION	WWM -WELDED WIRE MESH
EA -EACH	PG -POINT GRADE	
EDF -ELECTRIC DRINKING FOUNTAIN	PL -PROPERTY LINE	
EJ -EXPANSION JOINT	PLAST -PLASTER	
ELEV -ELEVATION	PLF -POUNDS PER LINEAL FOOT	
ENCL -ENCLOSURE	PLWD -PLYWOOD	
EQ -EQUAL	PR -PAIR	
EQUIP -EQUIPMENT	PSI -POUNDS PER SQUARE INCH	
EWC -ELECTRIC WATER COOLER	PVC -POLYVINYL CHLORIDE	
EX -EXISTING		
EXP -EXPANSION	QT -QUARRY TILE	
EXT -EXTERIOR		
	RAD -RADIUS	
FD -FLOOR DRAIN	RAG -RETURN AIR GRILLE	
FE -FIRE EXTINGUISHER	RD -ROOF DRAIN	
FH -FIRE HYDRANT	REF -REFRIGERATOR	
FIN -FINISH	REINF -REINFORCED	
FG -FINISH GRADE	REQ -REQUIRED	
FLR -FLOOR	RET -RETURN	

BUILDING ANALYSIS

PROJECT ADDRESS:
430 OLIVE STREET
MORRO BAY, CA. 93442

PROJECT DESCRIPTION:
ADD 500 SF ROOM ADDITION TO EXISTING RESIDENCE

OWNER:
JERRY CRAFTON
3713 CLAREMONT DRIVE
BAKERSFIELD, CA. 93306
PHONE: 661-333-4505

EXISTING SITE:

ZONING	R-1
APN	066-222-005
LOT AREA	8,948 SF OR 20 ACRES
EXISTING ENCROACHMENT PERMIT	DOC#2010055696 (SEE SHEET A100)
EXISTING LOT COVERAGE	2,212 / 8,948 = 24% COVERAGE
PROPOSED LOT COVERAGE	2,800 / 8,948 = 31.3% COVERAGE
EXISTING HARDSCAPE COVERAGE	2,006 / 8,948 = 22% COVERAGE
PROPOSED HARDSCAPE COVERAGE	1,809 / 8,948 = 20% COVERAGE
PROPOSED PERMEABLE SURFACE COVERAGE (NO CHANGE)	4,730 / 8,948 = 52% COVERAGE

EXISTING BUILDING:

SINGLE FAMILY RESIDENCE	2,212 SF
PROPOSED ADDITION	553 SF
PROPOSED BALCONY	35 SF
NEW TOTAL AREA	2,800 SF

GENERAL NOTES

ALL CONSTRUCTION SHALL COMPLY WITH THE ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY, AND THE LATEST ADOPTED EDITIONS OF THE FOLLOWING:

PROVIDE TEMPORARY SANITARY FACILITIES (CHEMICAL TOILET) FOR THE USE OF ALL EMPLOYED PERSONNEL ON THE PROJECT. FACILITY TO BE COMPLETELY PORTABLE.

ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.

ALL EXTERIOR SECURITY AND PARKING LIGHTING SHALL BE HOODED, ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE TO STREET TRAFFIC OR SURROUNDING LIVING ENVIRONMENT.

PROVIDE A MINIMUM OF 2% GRADE SLOPE FOR A DISTANCE OF 5'-0" AWAY FROM THE BUILDING. DRAINAGE ONTO ADJACENT PROPERTIES IS PROHIBITED. ON-SITE WATER RETENTION IS NOT ALLOWED UNLESS SPECIFICALLY EQUIPPED BY THE APPROVING AUTHORITY.

OVERALL LOT DRAINAGE SHALL BE A MINIMUM OF 1/2% FROM THE REAR PROPERTY LINE TO FRONTAGE AT A PUBLIC STREET OR TO AN APPROVED DRAINAGE FACILITY.

PERIODICAL SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING TO COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM. SPECIAL INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED WHERE THE FASTENER SPACING OF THE SHEATHING IS 4" O.C. OR LESS.

JOB CARD SHALL BE POSTED IN A CONSPICUOUS PLACE ON SITE AND READILY AVAILABLE FOR SIGNATURES.

PROVIDE FOR THE POSTING OF STREET ADDRESS NUMBERS WHICH MUST BE AT LEAST 3" HIGH WITH A 3/8" MINIMUM STROKE MOUNTED ON A CONTRASTING BACKGROUND. ADDRESS SHALL BE CLEARLY VISIBLE FROM THE STREET AND REFLECTORIZED. MULTIPLE POSTING MAY BE REQUIRED.

PROVIDE A CONSTRUCTION SITE ADDRESS POSTED AT A HEIGHT OF 48" - 72". SUCH TEMPORARY SIGNS SHALL BE WEATHER RESISTANT ON MATERIAL APPROVED BY THE FIRE MARSHALL AND THE BUILDING OFFICIAL. ALL SIGNS SHALL MEET THE MINIMUM APPROVED STANDARDS AND SHALL BE MAINTAINED TO THE SATISFACTION OF THE FIRE MARSHALL AND BUILDING OFFICIAL.

ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.

CHANGES TO THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN:

- CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRE BY THE ROOF STRUCTURE.
- INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN THE APPROVED PLAN.
- A SINGLE NONBEARING WALL RELOCATION WHEN CREATING ANOTHER ROOM, AND
- INTERIOR NON-STRUCTURAL WALL FINISH SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.

IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED

ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS.

PLYWOOD SPANS SHALL CONFORM WITH TABLE 2304.7. ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED BOX.

3/16" AND 7/16" WAFFERBOARD, ORIENTED STRAND BOARD AND PARTICLEBOARD REQUIRE TONGUE-AND-GROOVE EDGES OR MUST BE SUPPORTED WITH BLOCKING OR EDGE CLIPS.

GREEN VINYL SINKERS DO NOT MEET THE NAILING REQUIREMENTS FOR MOST BOX AND COMMON NAIL CONNECTIONS. SEE SHEETS N101 & N102 FOR ADDITIONAL GENERAL NOTES.

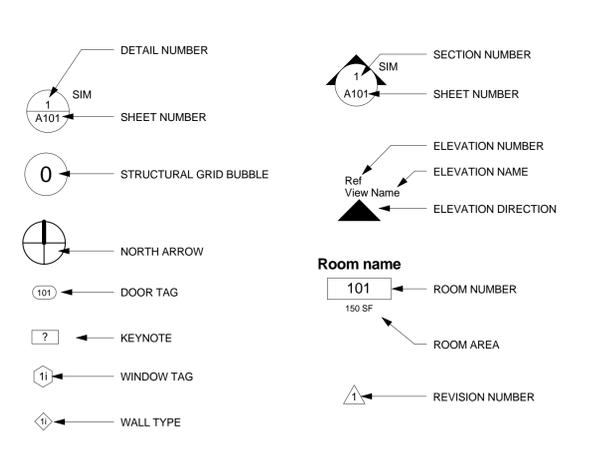
CODES

- 2013 CALIFORNIA BUILDING CODE (CBC)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC)
- 2013 CALIFORNIA MECHANICAL CODE (CMC)
- 2013 CALIFORNIA PLUMBING CODE (CPC)
- 2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)

VICINITY MAP



SYMBOLS



SHEET INDEX

ARCHITECTURAL:

A000	TITLE SHEET
A100	SITE PLAN & GENERAL NOTES
A101	EXISTING ENCROACHMENT DRAWING
A200	FLOOR PLANS
A300	BUILDING SECTION & ELEVATIONS
A400	ADDITIONAL 3D IMAGES
N101	NOTES
N102	NOTES & DETAILS
GB-1	GREEN BUILDING CODE FORMS

STRUCTURAL:

S1-0	STRUCTURAL SPECIFICATIONS & PROJECT DATA
S2-1	FOUNDATION PLAN
S2-2	SECOND FLOOR FRAMING & FOUNDATION PLAN
S3-1	ROOF FRAMING PLAN
S4-1	SECTION & WALL ELEVATION
S5-1	FOUNDATION DETAILS
S5-2	FOUNDATION DETAILS
S6-1	FRAMING DETAILS
S6-2	FRAMING DETAILS

ENERGY CALCULATIONS:

T-24	ENERGY CALCULATIONS
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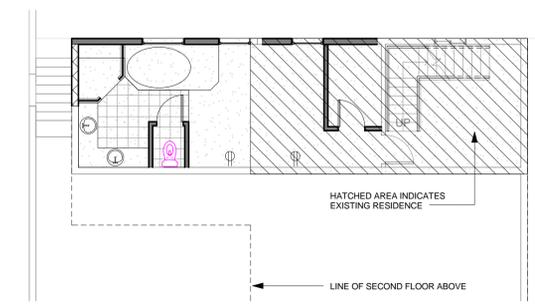
CONSULTANTS

ARCHITECT:	STRUCTURAL ENGINEER:
Freeline Architecture	BSE Inc.
Vernon R. Stevens	Brian Barcus
814 18th Street	7600 N. Palm Ave
Bakersfield, Ca. 93308	Fresno, Ca. 93711
phone: 661-496-3614	phone: 559-261-8585
email: jeromy@freelinearch.com	email: brian@barcusinc.com
	web: www.barcusinc.com

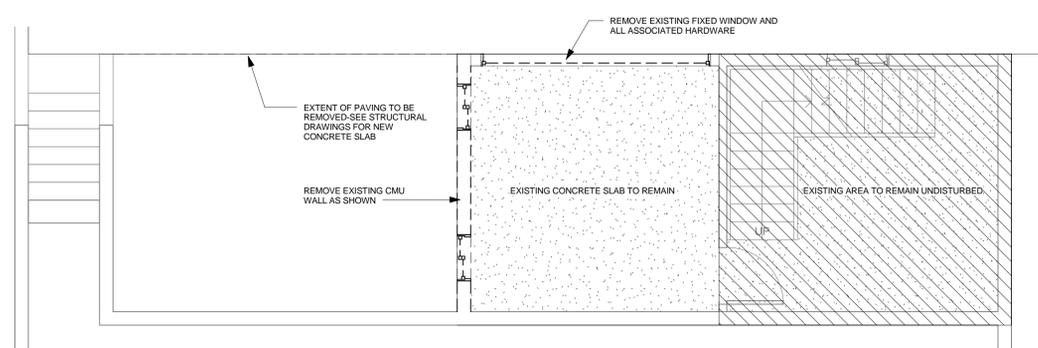
Revision:

1	
2	

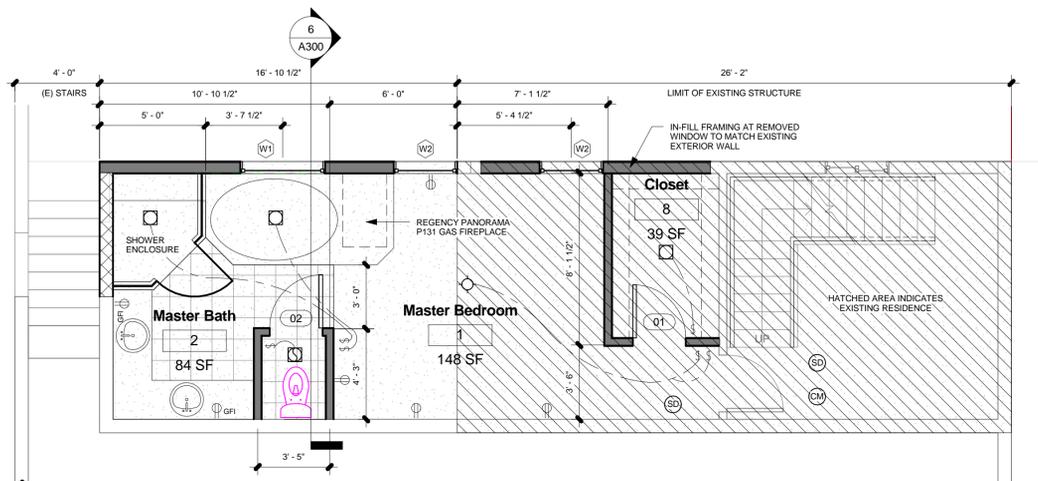
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Author
1/15/2016 10:51:01 AM



6 OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"

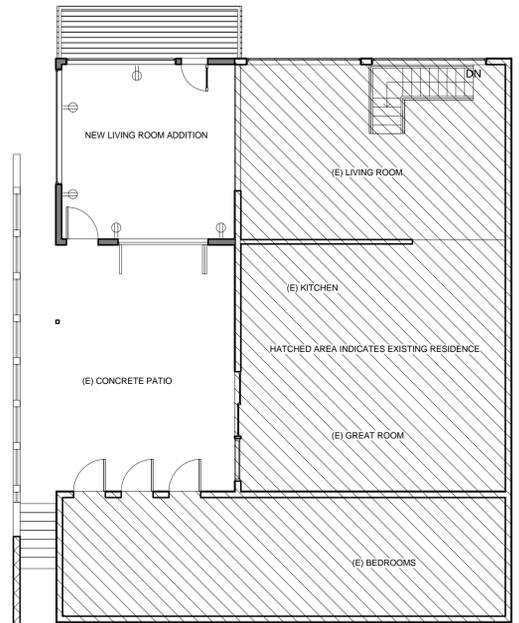


01 ENLARGED FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

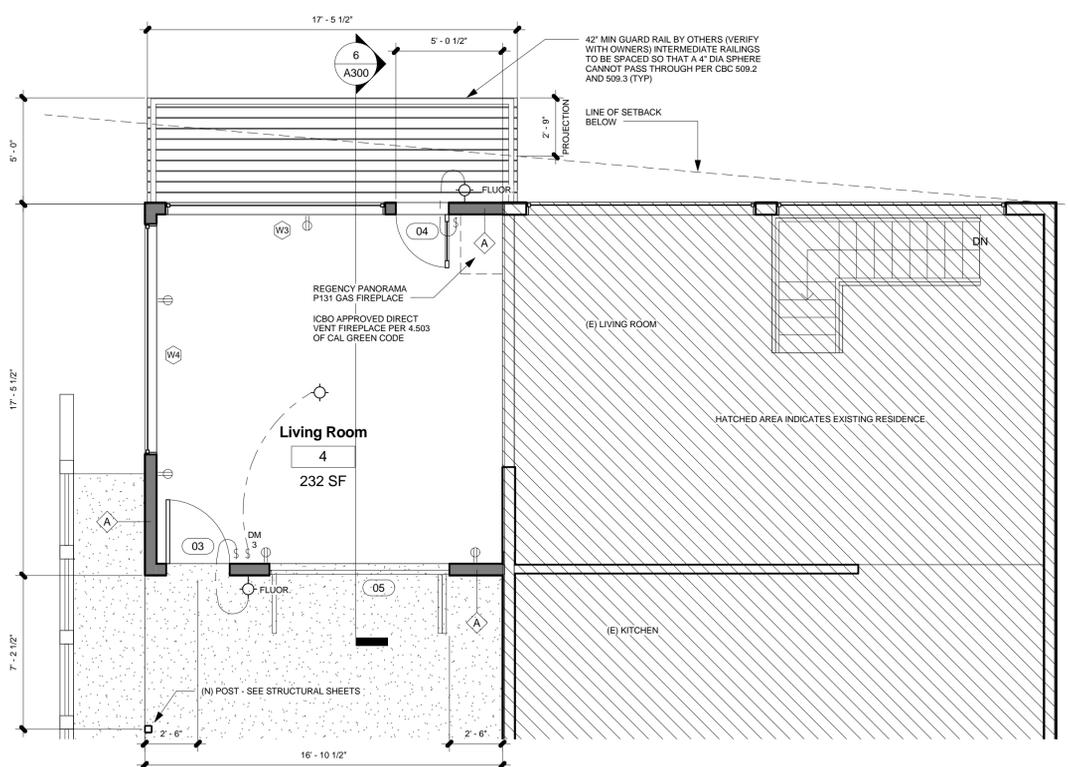


02 ENLARGED FIRST FLOOR PLAN
1/4" = 1'-0"

* SEE SHEET A300 FOR DOOR AND WINDOW SCHEDULES



5 OVERALL SECOND FLOOR PLAN
1/8" = 1'-0"



03 ENLARGED SECOND FLOOR PLAN
1/4" = 1'-0"

WHOLE BUILDING VENTILATION (WBV)
 OFAN = REQUIRED VENTILATION (CFM)
 OFAN = 0.01(CONDITIONED FLOOR AREA) + 7.5(NUMBER OF BEDROOMS + 1)
 OFAN = 0.01(2779 SQ FT) + 7.5 (3+1)
 OFAN = 58 CFM < (60) CFM

PROVIDE ONE FAN TO VENT THE ENTIRE HOUSE. MIN 60 CFM FAN TESTED AT A STATIC PRESSURE OF 25 WC AND RATED @ 3 SONES OR LESS VENT TO EXTERIOR AND PROVIDE NORMAL ON/OFF SWITCH LABELED "FAN IS TO BE LEFT ON TO ENSURE INDOOR AIR QUALITY" FAN MUST BE ATTACHED TO A MIN 5" DUCT AND NO LONGER THAN 70'. SUBTRACT 15' OF ALLOWED LENGTH FOR EACH ELBOW.

ALL BATHROOM FANS
 THIS FAN IS TO BE USED FOR LOCAL VENTILATION EXHAUST. MIN 60 CFM FAN TESTED AT A STATIC PRESSURE OF 25 WC AND RATED @ 3 SONES OR LESS REQUIRED TO BE INSTALLED. FAN MUST BE ATTACHED TO A MIN 4" DUCT AND NO LONGER THAN 70' OF FLEX DUCT. SUBTRACT 15' OF ALLOWED LENGTH FOR EACH ELBOW.

ALL KITCHEN RANGE HOODS
 EXISTING

MP&E NOTES U.N.O.

ALL NEW DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTICAL

PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250

ALL METAL WATER, GAS, VENT PIPING SHALL BE BONDED TO THE ELECTRICAL GROUND

PROVIDE A DEDICATED 20-AMP CIRCUIT TO LAUNDRY ROOM FOR APPLIANCE OUTLETS

PROVIDE 2 SMALL-APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY.

PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLE LIGHTS/FANS

AFCI INTERRUPTERS @ ALL BRANCH CIRCUITS EXCEPT IN KITCHEN, BATH & GARAGE

PERMANENTLY WIRED SMOKE DETECTORS W/ BATTERY BACK UP FOR NEW CONSTRUCTION PER CRC SECTION R314

SMOKE ALARMS & CARBON MONOXIDE DETECTORS MUST BE A MIN OF 30" FROM COOKING APPLIANCE, 3" HORIZ FROM BATH DOOR, 3" FROM AIR SUPPLY REGISTERS, & 3" FROM THE TIP OF A CLG FAN BLADE

PROVIDE A DISCONNECT FOR THE A/C COMPRESSOR WITH-IN SIGHT AND A SERVICE OUTLET WITH-IN 2'

PROVIDE A MINIMUM 100 SQ. IN. MAKE-UP AIR FOR LAUNDRY ROOM

PROVIDE ANTI-SCALDING VALVE IN SHOWERS AND TUB-SHOWERS

CBC APPROVED WALL COVERING W/ MIN HT 70" @ ALL SHOWERS

FOR ADDITIONAL NOTES & GREEN CODE MANDATORY MEASURES SEE SHEETS N-1 & N-2

PROVIDE A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT PASSAGEWAY OPENING SHALL BE PROVIDED AT OR NEAR THE FURNACE. AT ATTICS, WHEN EQUIPMENT INSPECTION REQUIRED, OCCUPANCY SENSORS MUST BE MANUAL ON/OFF AND AUTOMATIC OFF PER CODE REQUIREMENTS

ELECTRICAL PANEL SHALL NOT BE LOCATED IN A SHEAR WALL

AT LEAST 50% OF KITCHEN LIGHTING WATTAGE MUST BE HIGH EFFICACY AND HIGH AND LOW EFFICACY LIGHTING MUST BE CONTROLLED SEPARATELY

ALL BATHROOM, GARAGE, LAUNDRY ROOM AND UTILITY ROOM LIGHTING SHALL BE HIGH EFFICACY OR ON A MANUAL-ON OCCUPANCY SENSOR. ALL OTHER ROOMS, LARGER THAN 70 SQ. FT. SHALL BE HIGH EFFICACY, ON A MANUAL-ON OCCUPANCY SENSOR OR ON A DIMMER SWITCH

ALL OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL BE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR - PHOTO CONTROL

ALL NEW DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED "TAMPER-RESISTANT" RECEPTICALS.

RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE UP POSITION IN THE WORK SURFACES.

RECEPTACLE OUTLETS SHALL BE LOCATED ABOVE BUT, NOT MORE THAN 20" ABOVE COUNTERTOP.

RECEPTACLE OUTLETS SHALL BE PERMITTED TO BE MOUNTED NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP PROVIDED THE COUNTERTOP DOES NOT EXTEND MORE THAN 6" BEYOND ITS SUPPORT BASE.

ON ISLAND AND PENINSULAR COUNTERTOPS, RECEPTACLES MAY BE MOUNTED A MAXIMUM 12 INCHES BELOW COUNTERTOP PROVIDED THERE ARE NO BACKSPASHES OR DIVIDERS AND NO MEANS TO MOUNT WITHIN 20 INCHES ABOVE COUNTERTOP, SUCH AS AN OVERHEAD CABINET.

PER CRC R303.3, BATHROOMS, WATER CLOSET COMPARTMENTS AND SIMILAR ROOMS SHALL BE VENTILATED THROUGH EXTERIOR OPENINGS OR MECHANICAL VENTILLATION. ALL BATHROOM EXHAUST FANS SHALL BE ENERGY STAR AND UNLESS FUNCTION AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL PER CALGREEN 4.006. BACKSPASHES OR DIVIDERS AND NO MEANS TO MOUNT WITHIN 20 INCHES ABOVE COUNTERTOP, SUCH AS AN OVERHEAD CABINET.

PER CALGREEN 4.303.1, PLUMBING FIXTURES (WATER CLOSETS & URINALS) AND FITTINGS (FALCETS & SHOWERHEADS) SHALL COMPLY W/ THE PERSCRPTIVE REQUIREMENTS OF 4.303.1.4.4

PER CRC R702.4.2 PROVIDE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, FIBER-REINFORCED GYPSUM BACKERS, OR GLASS MAT GYPSUM BACKERS AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS.

PER CRC R602.3.4.1 ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN BOTTOMSOLE PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGES OF RODENTS BY CLOSING SUCH OPENINGS IN ACCORDANCE W/ THE CALIFORNIA GREEN BUILDING CODE, CHAPTER 4, DIVISION 4.4

PER CMC TABLE 4-4, MECHANICAL VENTILATION FOR BATHROOM MUST HAVE A CAPACITY OF 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS.

LEGEND U.N.O.

- Ⓧ = DIMMER SWITCH OR MANUAL ON OCCUPANCY SENSOR SWITCH
- Ⓜ = MANUAL-ON OCCUPANCY SENSOR SWITCH
- Ⓢ = SMOKE DETECTOR
- Ⓢ = CARBON MONOXIDE DETECTOR
- Ⓢ = EXHAUST FAN/ LIGHT
- Ⓢ = RECESSED SPOT LIGHT
- Ⓢ = MEDICINE CABINET
- Ⓢ = HORIZONTAL SLIDER
- Ⓢ = DOUBLE HUNG

freeline ARCHITECTURE

814 18th Street Bakerfield, Ca. 93301 phone: 661-633-9667



Crafton Residence Room Addition
 430 Olive Street
 Morro Bay, Ca. 93442

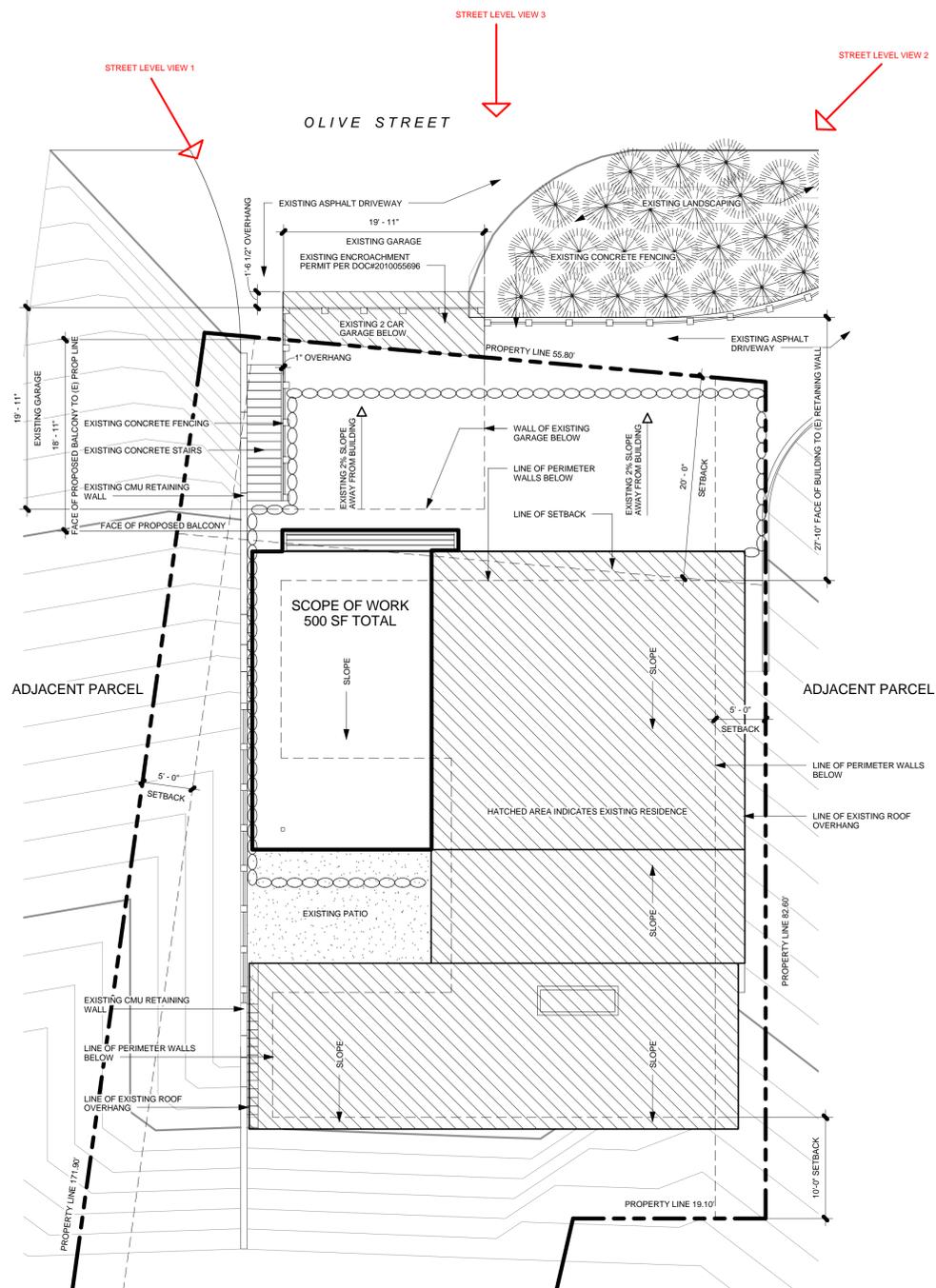
Revision:

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FLOOR PLANS

A200



1 CAMERA ANGLE KEY PLAN
1/8" = 1'-0"



6 STREET LEVEL VIEW 1 (EXISTING)
12" = 1'-0"



7 STREET LEVEL VIEW 1 (PROPOSED)
12" = 1'-0"



3 STREET LEVEL VIEW 2 (EXISTING)
12" = 1'-0"



4 STREET LEVEL VIEW 2 (PROPOSED)
12" = 1'-0"



2 STREET LEVEL VIEW 3 (EXISTING)
12" = 1'-0"



5 STREET LEVEL VIEW 3 (PROPOSED)
12" = 1'-0"



Revision:

1	
2	

REQUIRED WHERE BUILDINGS ARE NOT VISIBLE FROM THE STREET.
ALL WINDOWS SHALL BE DUAL PANE WITH 50R BUG SCREEN UNLESS NOTED OTHERWISE.

SHADING DEVICES AS PER TITLE-24 SHALL BE IN PLACE PRIOR TO FINAL INSPECTION.

PROVIDE A SIGNED COPY OF CEC FORM CF-68 TO THE DEPARTMENT OF BUILDING AND SAFETY PRIOR TO THE FINAL INSPECTION. NO FINAL INSPECTION WILL BE MADE UNTIL THIS FORM IS SUBMITTED.

WEATHERSTRIP ALL EXTERIOR DOORS AND WINDOWS. THE EXTERIOR ENVELOPE OF THE BUILDING SHALL BE CAULKED AND SEALED TO LIMIT AIR INFILTRATION.

MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION. ALL FENESTRATION PRODUCTS SHALL HAVE MFG'S LABEL AT THE JOB SITE.

SPACE CONDITIONING EQUIPMENT, WATER HEATERS, SHOWER HEADS AND FAUCETS TO BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.

PROVIDE AUTOMATIC SETBACK THERMOSTAT ON ALL NEW HEATING EQUIPMENT.

FANS AND OTHER AIR EXHAUST SYSTEMS SHALL HAVE BACK-DRAFT DAMPERS TO INHIBIT AIR LEAKAGE. MASONRY AND FACTORY BUILT FIREPLACES SHALL HAVE TIGHT FITTING DOORS, FLUE DAMPER AND OUTSIDE COMBUSTIBLE AIR INTAKE (6 SQ. IN.).

THE BUILDER SHALL PROVIDE THE BUILDING OWNER AT TIME OF OCCUPANCY, THE APPROPRIATE CERTIFICATE(S) OF COMPLIANCE AND A LIST OF THE FEATURES, MATERIALS, COMPONENTS AND MECHANICAL DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.

THE BUILDER SHALL ALSO PROVIDE TO THE BUILDING OWNER AT TIME OF OCCUPANCY, MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION.

THE APPLIANCE INSTALLER SHALL LEAVE THE MANUFACTURER'S INSTALLATION AND OPERATING INSTRUCTIONS ATTACHED TO THE APPLIANCE.

MECHANICAL DUCTS SHALL BE CONSTRUCTED AND INSTALLED AS PER CALIFORNIA MECHANICAL CODE. MECHANICAL QUICK DISCONNECTS MUST BE ADJACENT TO AND IN SIGHT OF THE EQUIPMENT SERVED.

THE MIN. HORIZ. DISTANCE FROM THE CENTER OF THE BURNER HEADS OF A TOP (OR SURFACE) COOKING UNIT TO ADJACENT VERTICAL COMBUSTIBLE SURFACES EXTENDING IMMEDIATELY ABOVE THE COUNTERTOP SHALL NOT BE LESS THAN THAT SPECIFIED BY THE PERMANENT MARKING ON THE UNIT. THE MIN. VERT. DISTANCE ABOVE THE BURNER HEADS SHALL BE 30" TO UNPROTECTED SURFACES, 24" TO PROTECTED SURFACES.

PROVIDE AN APPROVED SMOKE DETECTOR MOUNTED ON THE CEILING OR WALL AT A POINT LOCATED BETWEEN THE KITCHEN AND ANY BEDROOM. WALL MOUNTED SMOKE DETECTORS SHALL BE LOCATED WITHIN 12" OF THE CEILING, ON THE KITCHEN SIDE AND AT LEAST 24" AWAY FROM THE AIR OUTLET OR RETURN. WALL MOUNTED UNITS MUST BE LISTED BY THE STATE FIRE MARSHALL & AN APPROVED TESTING LAB FOR WALL MOUNTING.

SMOKE DETECTORS SHALL ALSO BE INSTALLED IN EACH STORY OF A DWELLING, AT THE TOP OF VAULTED CEILINGS ADJACENT TO HALLS, SLEEPING AREAS AND ONE IN EACH ROOM USED FOR SLEEPING. DETECTORS SHALL BE HARD WIRED INTO THE ELECT. SYSTEM, INTERCONNECTED TO SOUND SILENTLY IN THE SLEEPING AREAS AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP.

BASEMENTS AND BEDROOMS SHALL HAVE AT LEAST ONE WINDOW OR DOOR FOR EMERGENCY ESCAPE. AT LEAST ONE WINDOW SHALL PROVIDE A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. THE WINDOW SHALL PROVIDE A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 30". WINDOW SILL HEIGHT SHALL BE A MAXIMUM OF 44".

BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF 5 AIR CHANGES PER HOUR BY MECHANICAL MEANS.

THE DRYER VENT SHALL NOT EXCEED A COMBINED VERTICAL AND HORIZONTAL LENGTH OF 14'-0", INCLUDING (2)-90 DEGREE ELBOWS.

PROVIDE A MIN. 12" SQ. TUB ACCESS PANEL OR SOLVENT CEMENT PLASTIC PIPE JOINTS OR BRASS FERROULE WASTE CONNECTION.

PROVIDE WATER RESISTANT SHEETROCK BEHIND TUB AND SHOWER WALL FINISHES. INTERIOR WALL FINISHES SHALL BE CLASS II FLAME SPREAD.

SHOWERS AND TUB/SOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE HAVING A MAXIMUM MIXED WATER SETTING OF 120 DEGREES.

SHOWER STALLS AND TUB ENCLOSURES SHALL HAVE SAFETY GLAZING. SHOWER DOORS MUST BE AT LEAST 22" WIDE. SHOWER DAM SHALL BE 2" MINIMUM, 9" MAXIMUM HEIGHT WITH A MINIMUM FLOOR AREA OF 1024 SQ. IN. AND ENCOMPASSING A 30" DIAMETER CIRCLE.

PROVIDE CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BOARD AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS.

MATERIALS WITHIN VERTICAL OR HORIZONTAL OCCUPANCY OR AREA SEPARATION WALLS AND CEILINGS SHALL BE OF THE FOLLOWING:

- PLUMBING : CAST IRON, COPPER OR FERROUS MATERIAL (N METALLIC)
- ELECTRICAL : STEEL ELECTRICAL BOXES (OR APPRO

GAS SIZING CALCULATIONS	
RANGE	= 65,000 BTUH
A/C #1	= 80,000 BTUH
A/C #2	= 80,000 BTUH
WATER HTW	= 50,000 BTUH
DRYER	= 15,000 BTUH
TOTAL=310,000 BTUH	
OR 281.81 CFH	
186" COL. REQ 1 1/2" SUPPLY	

WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING QUICK-ACTING SHUT-OFF VALVES.
A. AUTOMATIC WASHING MACHINE (HOT & COLD WATER)
B. ICE MAKER
C. DISHWASHER
D. FRONT AND REAR SPRINKLER OUTLETS.

WO: THE MIN. NET STAIRWAY WIDTH SHALL NOT BE LESS THAN 30". STAIRS SERVING MORE THAN 10 OCCUPANTS SHALL NOT BE LESS THAN 36" NET WIDTH.

LANDINGS: A FLOOR OR LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE DIMENSIONS OF THE LANDING SHALL NOT BE LESS THAN THE STAIRWAY WIDTH IN BOTH DIRECTIONS EXCEPT THE LANDING NEED NOT EXCEED 36" IN THE DIRECTION OF TRAVEL.

HANDRAILS: A HANDRAIL SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRWAY AND SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRWAY.

THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS THAN 34" NOR MORE THAN 38" ABOVE THE LANDING AND THE NOSING OF TREADS. THE HANDGRIP PORTION SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION AND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

HANDRAILS PROJECTING FROM A WALL SHALL BE PROVIDED WITH A CLEARANCE OF 1-1/2".

GUARDRAILS: THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT. GUARDRAILS SHALL HAVE INTERMEDIATE RALES OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.

THE TRIANGULAR OPENING FORMED BY THE STAIRWAY RISER, TREAD AND BOTTOM ELEMENT OF THE GUARDRAIL SHALL BE OF SUCH SIZE THAT A 6" SPHERE CANNOT PASS THROUGH.

LANDING FRAMING NOTES

PROVIDE 2x6 D.F. #2 JOISTS AT 16" O.C. WITH U28 HANGERS AND 10d x 1-1/2" LONG COMMON NAILS (QUANTITY PER MFG.).
FLOOR DIAPHRAGM TO BE 3/4" APA TAG RATED SHEATHING (FOR 48/24) WITH 10d COMMON NAILS AT 8" O.C. - EDGES, AND 12" O.C. - FIELD NAILING.

PROVIDE FULL DEPTH SOLID BLOCKING ABOVE ALL BEARING SUPPORTS (WALLS, BEAMS, HEADERS, ETC.).
PROVIDE DOUBLE 2x6 D.F. #2 JOISTS WITH 2-ROWS OF 16d STEEL NAILING AT 8" O.C. AT STRINGER SUPPORT AT LOWER STEPS.

USE ALL SPECIFIED HANGERS AND FASTENERS PER MFG'S SPECIFICATIONS. TOE-NAILED CONNECTIONS ARE NOT ALLOWED.

PROVIDE 2x6 LEDGER WITH 1/2"x2"x2 1/2" x 8" LONG ANCHOR BOLTS AT 16" O.C. - SEE DETAIL 2/A-2 FOR GROUTING REQUIREMENTS.

THE RUN FOR WINDOW STAIRS IS TO BE AT LEAST 6" AT THE HIGHEST, AND 10" AT A POINT 12" FROM THE NARROWEST.

1 NOT USED

SHEARWALL DETAIL

WOOD STRUCTURAL PANEL DIAPHRAGMS AND SHEAR WALLS SHALL BE CONSTRUCTED WITH SHEETS NOT LESS THAN 48" x 96".

SHEET DIMENSION SHALL BE 24" MINIMUM AT BOUNDARIES AND CHANGES IN FRAMING UNLESS ALL EDGES OF THE UNDERSIZED SHEETS ARE SUPPORTED BY FRAMING MEMBERS OR BLOCKING.

FRAMING MEMBERS OR BLOCKING SHALL BE PROVIDED AT THE EDGES OF ALL SHEETS IN SHEAR WALLS.

ALL SHEAR WALLS SHALL EXTEND VERTICALLY TO THE HIGHEST HORIZONTAL DIAPHRAGM DIRECTLY ABOVE THE WALL.

PROVIDE 1/8" GAP AT ROOF DIAPHRAGM PANEL EDGES.

PROVIDE SOLID DIAPHRAGM UNDER ALL ROOF FILL FRAMING AT TRUSSED ROOFS AND PROVIDE MIN. 2"x3"x0" ATTIC ACCESS OPENING WITH ALL EDGES BLOKED.

NAIL HEADS AT DIAPHRAGM NAILING SHALL BE SET FLUSH WITH THE SURFACE OF THE SHEATHING.

TENONAILS SHALL NOT BE USED TO TRANSFER LATERAL FORCES FROM DIAPHRAGMS TO SHEAR WALLS, COLLECTORS (DRAG STRUTS), OR OTHER ELEMENTS.

WATER HEATER NOTES

WATER HEATERS SHALL BE STRAPPED IN THE UPPER AND LOWER THIRD OF THE TANK WITH 2" WIDE x 26 GA. METAL STRAPS. NAIL TO ADJACENT FRAMING. LOWER STRAP SHALL NOT BE LOWER THAN 4" ABOVE THE CONTROLS.

IF W/H IS LOCATED IN A CLOSET, PROVIDE A MIN. 24" WIDE VENTED DOOR TO BUILDING EXTERIOR WITH A 6"x12" SCREENED VENT WITHIN 6" OF TOP AND BOTTOM OF DOOR. CEILING TO BE FURRED TO +7'-0".

W/H LOCATED WITHIN THE GARAGE ENVELOPE SHALL BE ELEVATED 18" MINIMUM.

PLUMBING LINES TO AND FROM THE W/H SHALL BE WRAPPED WITH R-4 INSULATION FOR THE FIRST 5'-0".
W/H SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZE DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE UNTHREADED END POINTING DOWNWARD WITHIN 6"-24" ABOVE FINISHED GRADE.

VENT W/H THROUGH ROOF. PROVIDE A STORM COLLAR AND GALV. FLASHING AT THE ROOF PENETRATION.
WATER HEATER ENERGY FACTOR = 0.62



JOISTS SHALL BE LAPPED 4" MIN. OVER SUPPORTS WITH (3)-10d SINKERS FACE-NAILED OR PROVIDE MECHANICAL FASTENERS (HANGERS) AT SUPPORTS.

SEE GENERAL CONSTRUCTION DETAILS FOR ANCHORAGE TO TOP PLATES, BEAMS, ETC. CONSTRUCTION METHODS NOT SPECIFICALLY SHOWN SHALL BE OF A SIMILAR NATURE TO THE DETAILS PROVIDED.

CATWALK DIAPHRAGM: USE 3/4" APA (48/24) T & G CDX PLYWOOD WITH 10d COMMON AT 6" O.C. - EDGES, 12" O.C. - INTERIOR FIELD.

PROVIDE 2x FIRE BLOCKING AT ALL FLOOR AND CEILING LEVELS AND AT 10'-0" INTERVALS.

INSULATION : THE INSULATION SHALL CONFORM TO FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF SECTION 703.5 OF THE CALIFORNIA BUILDING CODE.

BLOWN OR POURED TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES OF NOT MORE THAN 2 1/2 TO 12 PITCH.

DEPTH MARKERS SHALL BE PROVIDED IN ATTIC SPACES WHERE BLOWN INSULATION IS INSTALLED. A SUFFICIENT NUMBER OF MARKERS SHALL BE INSTALLED FOR AN INSPECTION FROM THE ATTIC ACCESS OPENING TO SUBSTANTIATE INSULATION DEPTHS.

MARKERS SHALL BE PLACED BOTTOMS EVEN WITH BOTTOM OF CEILING JOISTS AND MADE OF SUBSTANTIAL MATERIAL TO PREVENT BENDING OR DISLACEMENT DURING PLACEMENT OF INSULATION.

MARKERS SHALL BE IN PLACE AT TIME OF FRAMING INSPECTION AND SHALL BE TR-COLORED AS FOLLOWS:
A) BOTTOM OF MARKERS TO +6" -
B) FROM +6" TO +9" -
C) FROM +9" TO +12" -

INSTALLED WALL INSULATION "R" VALUE: _____ R - 19
INSTALLED CEILING INSULATION "R" VALUE: _____ R - 38
INSTALLED DUCT INSULATION "R" VALUE: _____ R - 42
INSTALLED FLOOR INSULATION "R" VALUE: _____ R - 19

AFTER INSTALLING THE INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING, A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSULATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS DESCRIBED IN THE CALIFORNIA CODE OF REGULATIONS, SECTION 10-103032A. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED "R" VALUE AND (N) APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED "R" VALUE.

INTERIOR SHADING = STANDARD DRAPES
EXTERIOR SHADING = BUGSCREEN

WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING QUICK-ACTING SHUT-OFF VALVES:
A. AUTOMATIC WASHING MACHINE (HOT & COLD WATER)
B. ICE MAKER
C. DISHWASHER
D. FRONT AND REAR SPRINKLER OUTLETS.

THE HOOD IS TO BE INSTALLED PER MANUF. RECS. W/ CLEARANCES AS REQ. BY THE RANGE MANUF. INSTALLATION INSTRUCTIONS. PROVIDE MIN. CLEARANCES TO COMBUSTIBLE MATERIALS.

FENESTRATION	U-VALUE	SHD'G C.	SHAD'D SHD'G C.
SLIDERS	0.37	0.33	
HUNG	0.37	0.33	
FIXED	0.37	0.33	
HINGED	0.37	0.33	
PATIO DOOR	0.37	0.33	

3 NOT USED

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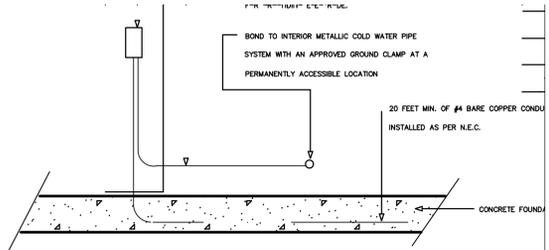
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2 CONCRETE ENCASED GROUND DETAIL



MARKERS SHALL BE IN PLACE AT TIME OF FRAMING INSPECTION AND SHALL BE TR-COLORED AS FOLLOWS:
A) BOTTOM OF MARKERS TO +6" -
B) FROM +6" TO +9" -
C) FROM +9" TO +12" -

AFTER INSTALLING THE INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING, A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSULATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS DESCRIBED IN THE CALIFORNIA CODE OF REGULATIONS, SECTION 10-103032A. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED "R" VALUE AND (N) APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED "R" VALUE.

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C. DISHWASHER
D. FRONT AND REAR SPRINKLER OUTLETS.

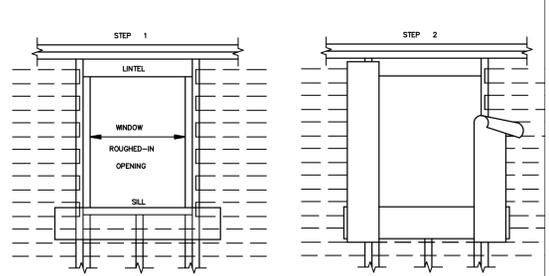
THE HOOD IS TO BE INSTALLED PER MANUF. RECS. W/ CLEARANCES AS REQ. BY THE RANGE MANUF. INSTALLATION INSTRUCTIONS. PROVIDE MIN. CLEARANCES TO COMBUSTIBLE MATERIALS.

WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING QUICK-ACTING SHUT-OFF VALVES:
A. AUTOMATIC WASHING MACHINE (HOT & COLD WATER)
B. ICE MAKER
C. DISHWASHER
D. FRONT AND REAR SPRINKLER OUTLETS.

THE HOOD IS TO BE INSTALLED PER MANUF. RECS. W/ CLEARANCES AS REQ. BY THE RANGE MANUF. INSTALLATION INSTRUCTIONS. PROVIDE MIN. CLEARANCES TO COMBUSTIBLE MATERIALS.

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A. AUTOMATIC WASHING MACHINE (HOT & COLD WATER)
B. ICE MAKER
C. DISHWASHER
D. FRONT AND REAR SPRINKLER OUTLETS.

4 NOT USED



ATTACH A SILL STRIP OF ASPHALT-SATURATED ROOFING FELT PAPER OR APPROVED FLASHING MATERIAL AT LEAST 8" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 8" BEYOND THE EDGE OF THE ROUGH OPENING OF WINDOW.

STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP AND CUT TO FIT (A). INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (B, C, ETC.) OVER JAMB AND HEAD FLASHING IN

6

GENERAL
ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2013 CALIFORNIA BUILDING CODE (CBC).

Table with 4 columns: SPECIFIED CONCRETE STRENGTH, MAXIMUM WATER/CEMENT RATIO, NON-AIR ENTRAINMENT, AIR ENTRAINMENT. Rows include 5000 PSI CONCRETE AT 28 DAYS, 4000 PSI CONCRETE AT 28 DAYS, etc.

APPROXIMATELY 3 TO 5 OUNCES PER BAG OF CEMENT OF GRACE URDA 64 OR APPROVED EQUAL SHALL BE USED AS A WATER DISPERSING ADDITIVE. AT CONTRACTOR'S OPTION, AN AIR ENTRAINING AGENT CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATION C260 MAY BE ADDED TO THE CONCRETE TO PROVIDE SPECIFIED AMOUNTS OF ENTRAINMENT. CEMENT SHALL CONFORM TO THE REQUIREMENTS FOR PORTLAND CEMENT OF ASTM C150 TYPE II.

Table with 5 columns: CONCRETE ELEMENTS, COMPRESSIVE STRENGTH (FC), AGGREGATE SIZE (MAX), SLUMP (MAX), AIR CONTENT. Rows include FOOTINGS, SLABS-ON-GRADE, WALKS, CURBS.

NON-SHRINK GROUT
NON-SHRINK GROUT SHALL BE MASTERFLOW 928 GROUT AS MANUFACTURED BY MASTER BUILDERS OR AN APPROVED EQUAL. IT SHALL BE FLOWABLE, WITH A MINIMUM 1-DAY COMPRESSIVE STRENGTH OF 5000 PSI.

STRUCTURAL MASONRY
STRUCTURAL CONCRETE MASONRY UNITS (CMU) SHALL BE OPEN ENDED MEDIUM-WEIGHT GRADE N-1 UNITS CONFORMING TO ASTM C90 AND CBC CHAPTER 21, AND SHALL PROVIDE A MINIMUM COMPRESSIVE STRENGTH (Fm) OF 1500 PSI.

ALL PLACEMENT AND DETAILING OF REINFORCING STEEL SHALL SATISFY THE REQUIREMENTS OF CBC SECTION 2103.14. ALL VERTICAL REINFORCING STEEL IN WALLS AND COLUMNS SHALL BE LAPPED WITH STANDARD HOOKED DOUELS OF THE SAME SIZE AND SPACING INTO THE FOOTING, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

MORTAR
MORTAR SHALL CONFORM TO ASTM C270 TYPE M OR S AND CBC SECTIONS 2103 - 2104, AND SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. MASONRY CEMENT MAY NOT BE USED IN MORTAR.

GROUT
GROUT SHALL BE COARSE GROUT CONFORMING TO ASTM C476 AND CBC SECTION 2103.13, AND SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH (FC) OF 2000 PSI AT 28 DAYS. THE ALLOWABLE SLUMP RANGE SHALL BE FROM 8 INCHES TO 10 INCHES.

REINFORCING STEEL
BARS FOR REINFORCING STEEL SHALL BE GRADE 60 DEFORMED BARS CONFORMING TO ASTM A618, INCLUDING SUPPLEMENT 51, CBC CHAPTER 19, AND ACI 308 CHAPTER 7, OR ASTM A106 AT WELDED REINFORCEMENT CONDITIONS. LAP SPICE AND DEVELOPMENT LENGTHS SHALL BE IN ACCORDANCE WITH ACI 308, AS DOCUMENTED BY THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI), UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

WELDED WIRE FABRIC
WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A185.

SLAB MEMBRANE
SLAB MEMBRANE SHALL COMPLY WITH ASTM E1145 (CLASS A, MAY BE REDUCED TO CLASS C IF COVERED BY MIN 2" GRANULAR BASE) WITH A MAXIMUM WATER VAPOR TRANSMISSION RATE OF 0.02 PERMS AS TESTED BY ASTM F1249, WITH ALL SEAMS LAPPED AND SEALED WITH A TAPE MEETING THE MVT OF ASTM 1748.

EPOXY ANCHORING SYSTEM IN MASONRY
EPOXY ANCHORING SYSTEM SHALL BE SIMPSON SET EPOXY ADHESIVE, OR AN APPROVED EQUAL, AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM C881 TYPE 1, GRADE 2, CLASS B AND ICC-ES ESR-172. THE PROPORTIONS SHALL BE AS PER THE ESR REPORT. DRILLING AND PREPARATION OF THE MASONRY, AS WELL AS INSTALLATION OF THE EPOXY AND ANCHORS SHALL ALSO BE PER THE ESR REPORT.

EPOXY ANCHORING SYSTEM IN CONCRETE
EPOXY ANCHORING SYSTEM SHALL BE SIMPSON SET-MF EPOXY ADHESIVE, OR AN APPROVED EQUAL, AND SHALL CONFORM TO THE REQUIREMENTS OF ICC-ES AC308 & ICC-ES ESR-2508 FOR BOTH CRACKED & UNCRACKED CONCRETE. THE PROPORTIONS SHALL BE AS PER THE ESR REPORT. DRILLING AND PREPARATION OF THE CONCRETE, AS WELL AS INSTALLATION OF THE EPOXY AND ANCHORS SHALL ALSO BE AS PER THE ESR REPORT.

MECHANICAL SCREW ANCHORS
MECHANICAL SCREW ANCHORS SHALL BE SIMPSON TITEN HD ANCHORS OR APPROVED EQUAL, AND SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND ICC-ES ESR-2713 FOR CONCRETE AND ESR-1036 FOR CMU.

Table with 4 columns: FASTENER GRADE AND SIZE, NUT CLASS, NUT STYLE, FASTENER TYPE. Rows include ASTM A307-A OR A36 - 1/2" TO 1 1/2", ASTM A307-B - 1/4" TO 4", etc.

STRUCTURAL STEEL AND MISCELLANEOUS IRON
STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36, EXCEPT THAT ALL WIDE FLANGE SECTIONS SHALL BE ASTM A992. ALL STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL RECEIVE A SHOP PRIME COAT, EXCEPT ON SURFACES TO RECEIVE WELDS AND AT SLIP-CRITICAL TYPE HIGH STRENGTH BOLTED CONNECTIONS, WHICH SHALL BE TOUCHED UP AFTER CONNECTION IS COMPLETE.

STRUCTURAL TUBING
STRUCTURAL TUBING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A500 GRADE B.

WELDING
ALL WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED TO PERFORM THE TYPE OF WORK REQUIRED AS DEFINED BY THE AISC STANDARD QUALIFICATION PROCEDURE. ALL WELDING SHALL BE IN ACCORDANCE WITH THE AISC WELDING CODE. ARC WELDING ELECTRODES SHALL BE E70 SERIES. ALL ELECTRODES SHALL BE LOW HYDROGEN WITH A MINIMUM CVN VALUE OF 20 FT-LSB AT MINUS 20°F. THE ONLY EXCEPTIONS SHALL BE AS FOLLOWS: WELDING FOR METAL DECK, STAIR AND HANDRAIL, AND LIGHT GAUGE STEEL. WELD METAL TOUGHNESS SHALL BE REPORTED ON THE ELECTRODE MANUFACTURER'S CERTIFICATE OF COMPLIANCE.

POWER ACTUATED FASTENERS
POWER ACTUATED FASTENERS SHALL BE HILTI FASTENERS, OR APPROVED EQUAL FOR WOOD BILL PLATE TO CONCRETE APPLICATIONS, FASTENERS SHALL BE "X-CP 12" TYPE IN CONFORMANCE WITH ICC-ES ESR-2379. FOR ALL OTHER APPLICATIONS, FASTENERS SHALL BE "X-U P8836" TYPE IN CONFORMANCE WITH ICC-ES ESR-2269.

LIGHT GAUGE METAL CONNECTORS
ALL LIGHT GAUGE METAL CONNECTORS SHALL BE SIMPSON COMPANY STRONG-TIE CONNECTORS, UNLESS NOTED OTHERWISE ON THE DRAWINGS, AND SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH A CURRENT ICC-ES REPORT. ALL EXPOSED CONNECTORS SHALL BE STAINLESS STEEL, HOT-DIP GALVANIZED, OR ZMAX COATED.

MACHINE APPLIED NAILING
USE OF MACHINE NAILING IS SUBJECT TO A SATISFACTORY JOB SITE DEMONSTRATION FOR EACH PROJECT AND THE APPROVAL BY THE PROJECT ARCHITECT OR ENGINEER. THE APPROVAL IS SUBJECT TO CONTINUED SATISFACTORY PERFORMANCE. DIAPHRAGM SHEATHING NAILS OR OTHER APPROVED SHEATHING CONNECTORS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.

PANEL SHEATHING
PANEL SHEATHING SHALL BE IDENTIFIED WITH THE APPROPRIATE APA TRADEMARK, AND SHALL MEET THE REQUIREMENTS OF THE APA FRP-108, PS 1 OR PS 2 PERFORMANCE STANDARDS. ALL PANELS WHICH HAVE ANY EDGE OR SURFACE PERMANENTLY EXPOSED TO WEATHER SHALL BE WEATHER RESISTANT. PANEL THICKNESS, GRADE AND ANCHOR RATING SHALL BE AT LEAST EQUAL TO THAT SHOWN BELOW OR ON THE DRAWINGS. APPLICATION SHALL BE IN ACCORDANCE WITH APA RECOMMENDATIONS. ALL UNLOCKED EDGES SHALL BE TONGUE-AND-GROOVE OR SUPPORTED BY SHEATHING CLIPS AT MIDSPAN. MATERIAL PROPERTIES SHALL BE PROVIDED AS FOLLOWS:

Table with 4 columns: PANEL APPLICATION, GRADE, SPAN RATING, DURABILITY. Rows include ROOF SHEATHING (19/22'), FLOOR SHEATHING, WALL SHEATHING.

STRUCTURAL COMPOSITE LUMBER
STRUCTURAL COMPOSITE LUMBER (SCL) INCLUDING LAMINATED STRAND LUMBER (TIMBERSTRAND LSL), PARALLEL STRAND LUMBER (PARALLAM PSL), AND LAMINATED VENEER LUMBER (MICROLAM LVL) SHALL BE MANUFACTURED BY Weyerhaeuser TRUS JOIST AND INSTALLED IN ACCORDANCE WITH ICC-ES ESR-1381, OR APPROVED EQUAL.

WOOD FRAMING
FRAMING SHALL BE DOUGLAS FIR - LARCH WITH A MOISTURE CONTENT NOT EXCEEDING 19%, CONFORMING TO THE WEST COAST LUMBER INSPECTION BUREAU STANDARD GRADING AND DRESSING RULE NO. 11, AS AMENDED TO DATE SHALL CONFORM TO CBC SECTION 2303. LUMBER GRADES SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

Table with 2 columns: APPLICATION, GRADE. Rows include PLATES, JOISTS, PURLINS, RAFTERS, BEAMS; 4x BEAMS & LARGER; 2x, 3x, 4x LEDGERS; 4x POSTS; 6x POSTS & LARGER; 2x4, 3x4 STUDS, BLOCKING; 2x6 STUDS & LARGER.

FOUNDATION BILL PLATES AND OTHER LUMBER IN DIRECT PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR, PROVIDE HOT-DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS AT ALL PRESSURE TREATED LUMBER CONDITIONS. AT BILL PLATE AB & WASHERS PROVIDE MECHANICALLY DEPOSITED ZINC COATED STEEL IN ACCORDANCE WITH ASTM B695, CLASS B5 MINIMUM.

SHOP DRAWINGS
SHOP DRAWINGS FOR REVIEW BY THE ENGINEER WILL BE REQUIRED AS FOLLOWS:
1. CONCRETE MIX DESIGNS
2. STRUCTURAL STEEL AND MISCELLANEOUS IRON

CONTRACTOR SHALL SUBMIT THREE COPIES AND ONE SET OF REPRODUCIBLE DRAWINGS OR ELECTRONIC .PDF FILES WHERE APPLICABLE FOR REVIEW, AND SHALL PROVIDE A MINIMUM REVIEW TIME OF 10 WORKING DAYS FROM TIME OF RECEIPT BY THE ENGINEER. CONTRACTOR REQUESTED REDUCTIONS TO MINIMUM REVIEW TIME SHALL BE AT THE DISCRETION OF THE ARCHITECT AND ENGINEER FOR ALL COSTS ASSOCIATED WITH ANY SUCH REDUCTION. NO ORDERING OR FABRICATION OF MATERIALS SHALL PROCEED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE ENGINEER.

REQUESTS FOR SUBSTITUTION
THE CONTRACTOR MAY SUBMIT A REQUEST FOR SUBSTITUTION (RFS) FOR SPECIFIED STRUCTURAL MATERIALS OR PRODUCTS FOR REVIEW BY THE ENGINEER. ANY SUCH RFS SHALL DOCUMENT THE ITEM(S) UNDER CONSIDERATION, THE EFFECTS OF SUBSTITUTION ON COST, PERFORMANCE AND SCHEDULE, AND SHALL INCLUDE RESPECTIVE APPROVAL(S) BY ICC OR RELATED AGENCIES. ALL COSTS INCURRED BY THE ENGINEER AS PART OF ANY RFS SUBMITTAL, SUCH FOR ADDITIONAL RESEARCH, REVIEW OR REDESIGN OF STRUCTURAL ELEMENTS OR SYSTEMS, SHALL BE DIRECTLY REIMBURSED BY THE CONTRACTOR.

EXISTING CONDITIONS
PRIOR TO ORDERING OR FABRICATING ANY MATERIAL, THE CONTRACTOR SHALL FIELD VERIFY ALL CONTROLLING FIELD DIMENSIONS AND CONDITIONS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND ENGINEER. IN ADDITION, THE CONTRACTOR IS ALERTED TO THE POSSIBILITY THAT EXISTING STRUCTURAL MATERIALS UNSUITABLE FOR REUSE DUE TO DETERIORATION MAY BE DISCOVERED DURING THE COURSE OF CONSTRUCTION. THESE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL OF PROPOSED REPLACEMENT MATERIALS.

CONSTRUCTION LIABILITY
CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF PROJECT CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS; AND THE CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK IN THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

GENERAL
THE OWNER SHALL EMPLOY A SPECIAL INSPECTOR DURING CONSTRUCTION ON THE FOLLOWING TYPES OF WORK, AND FOR ANY ADDITIONAL REQUIREMENTS OF THE BUILDING OFFICIAL WHERE APPLICABLE:

CONCRETE
PROVIDE INSPECTION DURING THE PLACEMENT OF ALL CONCRETE IN CONFORMANCE WITH CBC SECTIONS 1705.3 AND 1913.2, EXCEPT DURING THE INSTALLATION OF CONCRETE FOR NON-STRUCTURAL SLABS-ON-GRADE, STRUCTURAL CONCRETE DESIGNED FOR 2500 PSI, AND AS OTHERWISE EXCEPTED BY THE CBC.

STRUCTURAL MASONRY
PROVIDE INSPECTION DURING ALL MASONRY CONSTRUCTION IN CONFORMANCE WITH CBC SECTION 1705.4.

NON-SHRINK GROUT
PROVIDE INSPECTION DURING THE TAKING OF REQUIRED TEST SPECIMENS, AND CONTINUOUSLY DURING THE PLACING OF ALL NON-SHRINK GROUT IN CONFORMANCE WITH RESPECTIVE PRODUCT (ICC-ES REPORTS).

BOLTS INSTALLED IN CONCRETE
PROVIDE PERIODIC INSPECTION DURING THE INSTALLATION OF BOLTS AND CONTINUOUS INSPECTION DURING THE PLACEMENT OF CONCRETE AROUND BOLTS IN CONFORMANCE WITH CBC SECTION 1705.3.

EPOXY ANCHORING SYSTEMS
INSPECT PERIODICALLY DURING ALL EPOXY ANCHORING INSTALLATIONS. ALL TESTS SHALL BE IN ACCORDANCE WITH CBC CHAPTER 11 AND RESPECTIVE ICC-ES REPORT(S). THE CONTRACTOR MUST SUBMIT A TEST REPORT TO THE ENGINEER AND THE LOCAL BUILDING DEPARTMENT.

MECHANICAL SCREW ANCHORS
PROVIDE CONTINUOUS INSPECTION DURING THE TESTING OF MECHANICAL SCREW ANCHORS. ALL TESTS SHALL BE IN ACCORDANCE WITH CBC CHAPTER 11, AND RESPECTIVE ICC-ES REPORT(S). THE CONTRACTOR MUST SUBMIT A TEST REPORT TO THE ENGINEER.

STRUCTURAL STEEL AND MISCELLANEOUS IRON
PROVIDE INSPECTION DURING THE FABRICATION AND ERECTION OF STRUCTURAL STEEL IN CONFORMANCE WITH CBC SECTIONS 1705.2, 1705.13 FOR SPRAYED FIRE-RESISTANT MATERIALS WHERE THEY OCCUR, AND 1705.11 AND 1705.12 WHERE PART OF THE SEISMIC FORCE-RESISTING SYSTEM(S) IN CONJUNCTION WITH AISC SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS.

WELDING
PROVIDE INSPECTION DURING THE WELDING OF STRUCTURAL STEEL IN CONFORMANCE WITH CBC SECTION 1705.2 AND 1705.11, WHERE PART OF THE SEISMIC FORCE-RESISTING SYSTEM(S). WELDING OF STEEL MOMENT-FRAMES AND BRACED-FRAMES SHALL BE INSPECTED PER AISC SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS, IN CONJUNCTION WITH AISC D1.8 SEISMIC WELDING SUPPLEMENT" AND AISC D11 "STRUCTURAL WELDING CODE - STEEL."

WOOD CONSTRUCTION
PROVIDE INSPECTION DURING THE FABRICATION PROCESS OF PREFABRICATED WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES IN ACCORDANCE WITH CBC SECTION 1705.5, INCLUDING "HIGH-LOAD DIAPHRAGMS" PER 1705.5.1 WHERE SPECIFIED, AND CBC SECTION 1705.12 FOR FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE-RESISTING SYSTEM(S).

SPECIAL INSPECTOR
THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE HIS OR HER COMPETENCE TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION. THE SPECIAL INSPECTOR OF RECORD MUST BE CERTIFIED BY INTERNATIONAL ACCREDITATION SERVICE (IAS), AND SHALL FURNISH A SPECIAL INSPECTION PROPOSAL OR STATEMENT OF SPECIAL INSPECTIONS BASED UPON THE APPLICABLE DESIGN DRAWINGS, SPECIFICATIONS, AND SPECIAL INSPECTION REQUIREMENTS DESCRIBED HEREIN IN CONFORMANCE WITH CBC CHAPTER 11.

DUTIES AND RESPONSIBILITIES OF THE SPECIAL INSPECTOR
THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPLICABLE DESIGN DRAWINGS, SPECIFICATIONS AND SPECIAL INSPECTION PROGRAM AS DEFINED BY CBC SECTION 1704, AS WELL AS SECTION 1705.11 FOR SEISMIC RESISTANCE. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE OWNER OR OWNER'S DESIGNATED REPRESENTATIVE, THE ARCHITECT OR PROJECT MANAGER, THE ENGINEER, THE CONTRACTOR, AND OTHER PERSONS DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, AND IF UNCORRECTED TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.

THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CBC AS REQUIRED BY CBC SECTION 1704.2.4.

DUTIES AND RESPONSIBILITIES OF THE CONTRACTOR
CONTRACTOR SHALL REVIEW AND COMPLY WITH CONTRACTOR RESPONSIBILITIES FOR SPECIAL INSPECTION AS DEFINED BY CBC SECTION 1704.4.

1. PLANS AND CALCULATIONS FOR THE STRUCTURAL DESIGN WERE BASED UPON:
- 2013 CALIFORNIA BUILDING CODE
- ASCE STANDARD 7
- GEOTECHNICAL REPORT BY EARTH SYSTEMS PACIFIC, DOC NO. 1410-068, DATED DECEMBER 12, 2014

Table with 2 columns: DESIGN LOADS ARE AS FOLLOWS, VERTICAL. Rows include ROOF LIVE LOAD, ROOF DEAD LOAD, FLOOR LIVE LOAD, FLOOR DEAD LOAD, WOOD WALL DEAD LOAD, CMU WALL DEAD LOAD.

LATERAL
SEISMIC BASE SHEAR COEFFICIENT
V = Cg W
Cg = (Sa / R) / (R/I) = 0.124
SEISMIC DESIGN CATEGORY = D
I = 1.0 (OCCUPANCY IMPORTANCE FACTOR)
R = 6.5 (LIGHT-FRAMED WALLS SHEATHED WITH WOOD PANELS)
Ss = 0.43, Fv = 1.51, Sds = 0.45
S1 = 1.16, F2 = 1.04, S1s = 0.80
SOIL SITE CLASS = "D"

WIND PRESSURE: ASCE 1-10, ENVELOPE PROCEDURE (PART 2)
F3 = 1.25 F30
lambda = 1.23 (EXPOSURE CATEGORY C)
Kzt = 1.0
F30 = VARIES PER STRUCTURE LOCATION/ELEMENT
V = 110 MPH FOR RISK CATEGORY II BUILDINGS AND OTHER STRUCTURES

Table with 2 columns: FOUNDATIONS, BEARING PRESSURES. Rows include BEARING PRESSURES, FRICTION COEFFICIENT, EQUIVALENT PASSIVE PRESSURE, EQUIVALENT ACTIVE PRESSURE, EQUIVALENT AT REST PRESSURE.

3 PROJECT DATA

Table with 4 columns: AB, AISC, ARCH'L, CLG, CLR, COL, CMU, CONJ, CONN, CONSTR, CONT, DEMO, DET, DIAG, DIA, DIM, DMB, DWG, EA, EF, ELEV. Rows include ANCHOR BOLT, ADJUSTABLE, ABOVE, AMERICAN CONCRETE INSTITUTE, etc.

4 ABBREVIATIONS

Table with 2 columns: AB, AISC, ARCH'L, CLG, CLR, COL, CMU, CONJ, CONN, CONSTR, CONT, DEMO, DET, DIAG, DIA, DIM, DMB, DWG, EA, EF, ELEV. Rows include ANCHOR BOLT, ADJUSTABLE, ABOVE, AMERICAN CONCRETE INSTITUTE, etc.



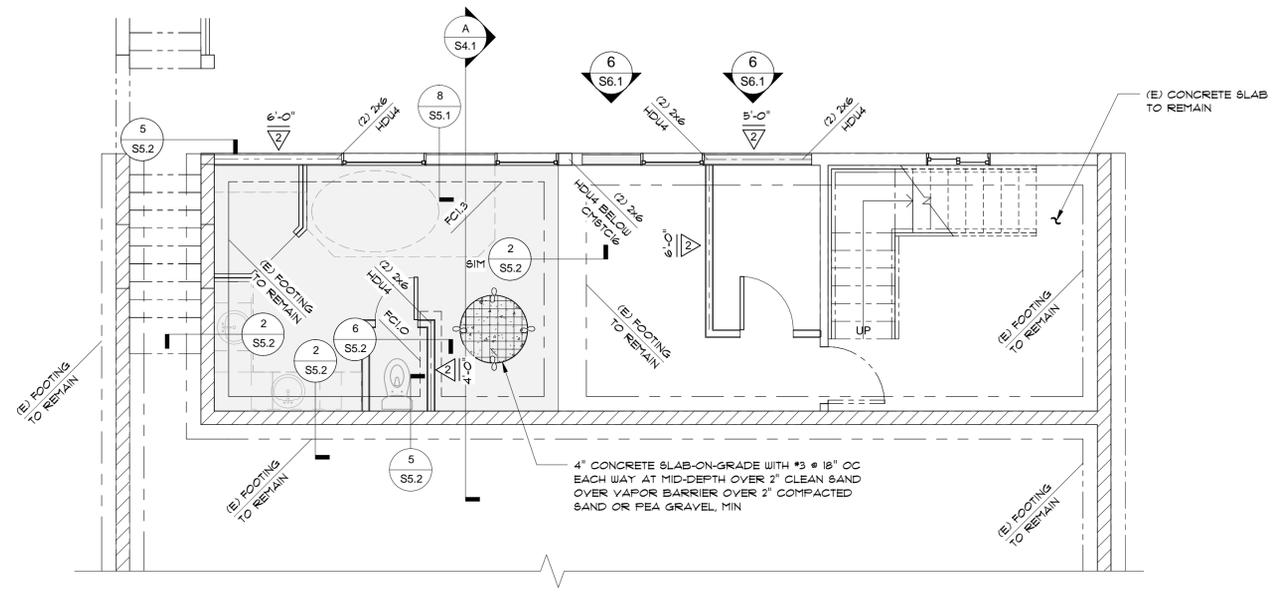
Crafton Residence
340 Olive Street
Morro Bay, Ca.

Revision table with 2 columns: #, Description. Includes 14FLA-05, MRH 7/22/15, 7/22/2015 5:49:38 PM, STRUC SPEC'S & PROJECT DATA, \$1.0

Professional Engineer Seal for Brian S. Barcus, No. 54487, State of California. Includes contact information for Barcus Structural Engineering: 7600 North Palm Avenue, Suite 200 / Fresno, CA 93711. Office: 559.261.8585, Fax: 559.261.8580, Website: www.Barcusinc.com.

1 STRUCTURAL SPECIFICATIONS

2 SPECIAL INSPECTIONS



1 FOUNDATION PLAN
1/4" = 1'-0"

- FOUNDATION LEGEND:**
1. SECTION OR DETAIL NUMBER
2. SHEET NUMBER WHERE SECTION OR DETAIL IS SHOWN
 - INDICATES CONCRETE FOOTING
 - INDICATES CONT/SOLATED FOOTING TYPE, SEE SHEET S2.1 FOR FOOTING SCHEDULE
 - INDICATES TOP OF SLAB ELEVATION
 - INDICATES LIMITS OF (E) LIGHT-WOOD WALL TO REMAIN
 - INDICATES LIMITS OF (E) CMU WALL TO REMAIN
 - INDICATES LIMITS OF LIGHT-WOOD BEARING WALL
 - INDICATES LIMITS OF SHEARWALL SHEATHING
 - INDICATES VIEWING DIRECTION OF PARTIAL WALL ELEVATIONS
 - INDICATES STEP IN ELEVATION

- LIGHT WOOD FRAMING NOTES:**
- ALL NEW BEARING WALLS TO BE 2x6 @ 16" OC, UNO
 - FOR FASTENING SCHEDULE, SEE DETAIL 1/56.1
 - NAIL SIZES:**
2d NAIL = 0.131" x 2" MIN COMMON
10d NAIL = 0.148" x 2 1/4" MIN COMMON
16d NAIL = 0.162" x 3 1/2" MIN COMMON
 - FOR TYPICAL WALL FRAMING SEE DETAIL 4/56.1
 - ALL SHEATHING SHALL BE SPLICED AT CENTERLINE OF FRAMING & BLOCKING
 - BLOCK AND FASTEN ALL SHEATHING EDGES
 - ALL SHEARWALL SHEATHING SHALL BE CONTINUOUS
 - PROVIDE WASHER PLATE 1/4x3x0-3" AT ALL SHEARWALL AB, TYPICAL
 - PROVIDE DOUBLE 2x MIN TOP @ ALL LOCATIONS WITH (8) 16d COMMONS EACH SIDE OF EACH UPPER TOP SPLICE, UNO, SEE DETAIL 4/56.1 FOR ADDITIONAL INFORMATION

- FOUNDATION NOTES:**
- REFER TO STRUCTURAL SPECIFICATIONS ON SHEET S1.0
 - TOP OF SLAB ELEVATION = +0'-0" TYPICAL, UNLESS NOTED OTHERWISE
 - ALL DIMENSIONS ARE TO FACE OF WALL/FACE OF CONCRETE, OR CENTERLINE OF COL/POST UNLESS NOTED OTHERWISE
 - FOR PIPES NEAR OR THROUGH FOOTINGS, SEE DETAILS 6/55.1 AND 1/55.1
 - FOR TYPICAL BAR REINFORCING HOOKS, BENDS & LAPS, SEE DETAIL 4/55.1
 - REFER TO ARCH'L DRAWINGS FOR DIMENSIONS NOT SHOWN, VERIFY ALL DIMENSIONS WITH ARCH'L, TYPICAL
 - REFER TO ARCH'L FOR CONCRETE CURB LOCATIONS, TYPICAL
 - ALL HOLDOWN ANCHOR RODS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION

SPAN	HEADER	TRIMMERS	KING POST/STUD
0'-0" - 4'-0"	6x6	(1) 2x6	(2) 2x6

HEADER SCHEDULE

- ALL 6x HEADERS TO BE DF-L* WITH HH HANGER OVER JAMB/TRIMMER STUD(S) EACH END TO KING STUD(S), TYPICAL

ITEM	DESCRIPTION				DETAIL NUMBER
	W	L	C	D	
FC1.0	1'-0"	CONT	1'-0"	(1) CONT #4 AT TOP & BOTTOM	6/55.1
FC1.3	1'-4"	CONT	1'-0"	(1) CONT #4 AT TOP & (2) CONT #4 AT BOTTOM	8/55.1

FOOTING SCHEDULE

SEE SHEET S1.0 FOR CONCRETE AND SOIL INFORMATION
TO FOOTING = (-) 0'-8" MIN, UNO

NO	SHEATHING	NAILING	STUDS/BLOCKS	SILL PLATE ANCHOR
1	3/8" RATED SHEATHING	10d @ 4" OC EDGE NAILING 10d @ 12" OC FIELD NAILING	2x	2x CONT FT SILL PLATE WITH 5/8" DIA. ANCH @ 32" OC (OR 5/8" CONCRETE SCREWS AT (E) CONC)

SHEARWALL SCHEDULE

freeline ARCHITECTURE
814 18th Street Berkeley, Ca. 94701 phone: 641-633-9667



Crafton Residence
340 Olive Street
Morro Bay, Ca.

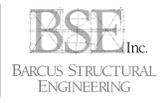
Revisions:

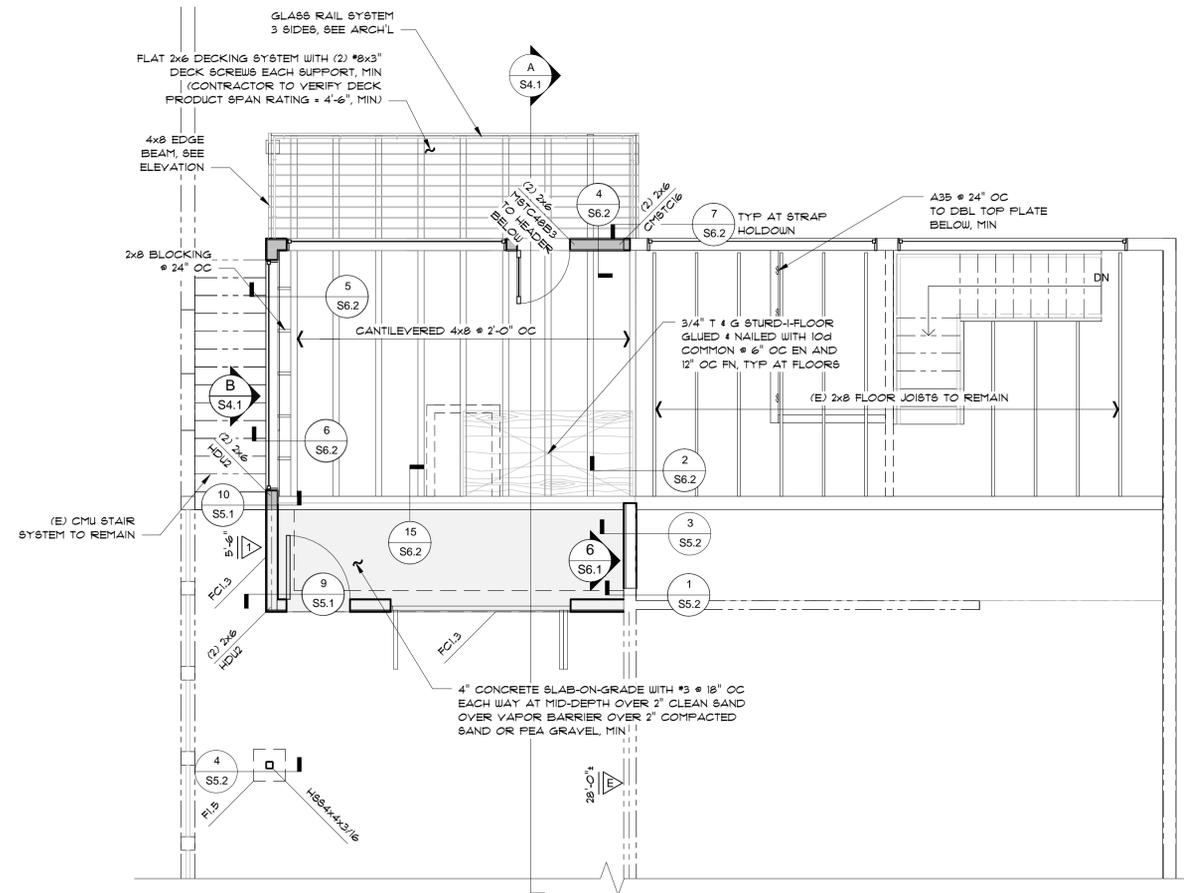
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14FLA-05
MRH 4/24/15
7/22/2015 5:49:51 PM
FOUNDATION PLAN

S2.1

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1 2nd FLOOR FRAMING PLAN
1/4" = 1'-0"

- 2nd STORY LEGEND:
1. SECTION OR DETAIL NUMBER
 2. SHEET NUMBER WHERE SECTION OR DETAIL IS SHOWN
 3. INDICATES CONCRETE FOOTING
 4. INDICATES CONT./ISOLATED FOOTING TYPE, SEE SHEET S2.1 FOR FOOTING SCHEDULE
 5. INDICATES TOP OF SLAB ELEVATION
 6. INDICATES LIMITS OF (E) CMU OR LIGHT-WOOD WALL TO REMAIN
 7. INDICATES LIMITS OF LIGHT-WOOD BEARING WALL
 8. INDICATES LIMITS OF SHEARWALL SHEATHING
 9. INDICATES WALL BELOW
 10. INDICATES VIEWING DIRECTION OF PARTIAL WALL ELEVATIONS
 11. INDICATES STEP IN ELEVATION

- LIGHT WOOD FRAMING NOTES:
1. ALL NEW BEARING WALLS TO BE 2x6 @ 16" OC, UNO
 2. FOR FASTENING SCHEDULE, SEE DETAIL 1/56.1
 3. NAIL SIZES:
2d NAIL = 0.131" x 2" MIN COMMON
10d NAIL = 0.148" x 2 1/4" MIN COMMON
16d NAIL = 0.162" x 3 1/2" MIN COMMON
 4. FOR TYPICAL WALL FRAMING SEE DETAIL 4/56.1
 5. ALL SHEATHING SHALL BE SPLICED AT CENTERLINE OF FRAMING & BLOCKING
 6. BLOCK AND FASTEN ALL SHEATHING EDGES
 7. ALL SHEARWALL SHEATHING SHALL BE CONTINUOUS
 8. PROVIDE WASHER PLATE 1/4x3x0'-3" AT ALL SHEARWALL AB, TYPICAL
 9. PROVIDE DOUBLE 2x MIN TOP PLATE AT ALL LOCATIONS WITH (8) 16d COMMONS EACH SIDE OF EACH UPPER TOP SPLICE, UNO, SEE DETAIL 4/56.1 FOR ADDITIONAL INFORMATION

- FOUNDATION NOTES:
1. REFER TO STRUCTURAL SPECIFICATIONS ON SHEET S1.0
 2. TOP OF SLAB ELEVATION = 0'-0" TYPICAL, UNLESS NOTED OTHERWISE
 3. ALL DIMENSIONS ARE TO FACE OF WALL/FACE OF CONCRETE, OR CENTERLINE OF COL/POST UNLESS NOTED OTHERWISE
 4. FOR PIPES NEAR OR THROUGH FOOTINGS, SEE DETAILS 6/55.1 AND 7/55.1
 5. FOR TYPICAL BAR REINFORCING HOOKS, BENDS & LAPs, SEE DETAIL 4/55.1
 6. REFER TO ARCH'L DRAWINGS FOR DIMENSIONS NOT SHOWN, VERIFY ALL DIMENSIONS WITH ARCH'L TYPICAL
 7. REFER TO ARCH'L FOR CONCRETE CURB LOCATIONS, TYPICAL
 8. ALL HOLD-DOWN ANCHOR RODS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION

SPAN	HEADER	TRIMMERS	KING POST/STUD
0'-0" - 4'-0"	6x6	(1) 2x6	(2) 2x6
4'-4" - 12'-0"	6x12	(2) 2x6*	(3) 2x6**

2nd STORY HEADER SCHEDULE

* ALL 6x HEADERS TO BE DF-L* WITH HH HANGER OVER JAMB/TRIMMER STUD(S) EACH END TO KING STUD(S), TYPICAL
 ** TRIMMER REQUIREMENTS CAN BE REDUCED TO (1) 2x6 AT INTERIOR CONDITIONS
 *** KING POST REQUIREMENTS CAN BE REDUCED TO (2) 2x6 AT INTERIOR CONDITIONS

NO	SHEATHING	NAILING	STUDS/BLOCKS	SILL PLATE ANCHOR
1	3/8" RATED SHEATHING	8d @ 6" OC EDGE NAILING 8d @ 12" OC FIELD NAILING	2x	2x CONT FT SILL PLATE WITH 5/8" DIA AB @ 48" OC
2	VERIFY/PROVIDE 1/2" RATED SHEATHING	5d COOLERS @ 1" OC EDGE NAILING OR *6 DRYWALL SCREWS @ 8" OC EF	2x	2x CONT FT SILL PLATE WITH 5/8" DIA AB @ 48" OC

SHEARWALL SCHEDULE

ITEM	DESCRIPTION			DETAIL NUMBER	
	W	L	D		
FC1.3	1'-4"	CONT	1'-0"	(1) CONT #4 AT TOP & (2) CONT #4 AT BOTTOM	8/55.1
F1.5	1'-6"	1'-6"	1'-6"	(3) #4 EACH WAY AT BOTTOM	4/55.2

FOOTING SCHEDULE

SEE SHEET S1.0 FOR CONCRETE AND SOIL INFORMATION TO FOOTING = (-) 0'-8" MIN, UNO

freeline ARCHITECTURE
814 18th Street Berkeleyfield, Ca. 93301 phone: 661-633-9667

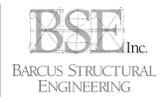


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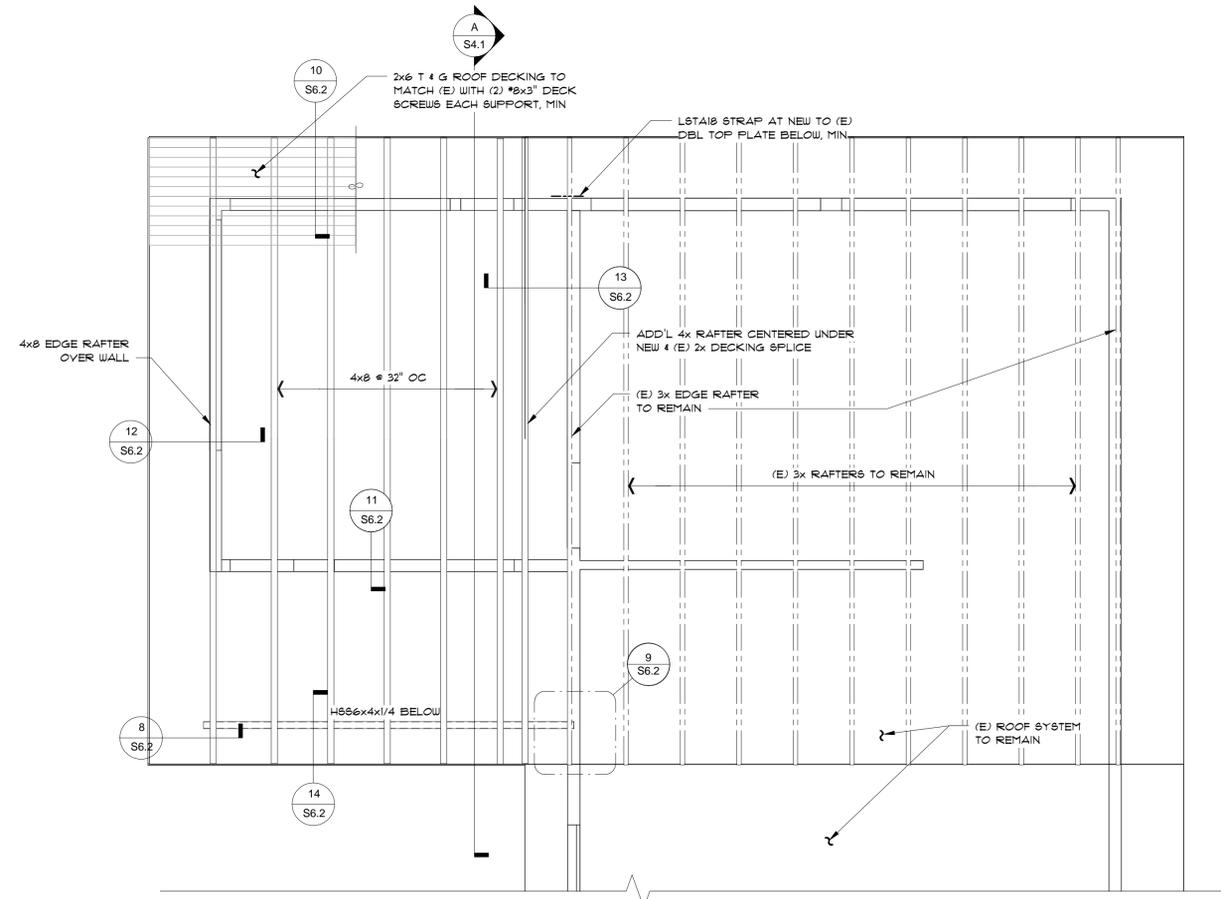
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2nd FLOOR
FRAMING &
FOUNDATION
PLAN
S2.2



1 ROOF FRAMING PLAN
1/4" = 1'-0"

- ROOF FRAMING LEGEND:**
- 1 SECTION OR DETAIL NUMBER
 - 1 S6.1 SHEET NUMBER WHERE SECTION OR DETAIL IS SHOWN
 - INDICATES TOP OF SHEATHING ELEVATION TO BE VERIFIED WITH ARCHITECTURAL DRAWINGS
 - INDICATES PENETRATION IN ROOF, SEE MECHANICAL SHEETS FOR SIZE AND LOCATION & DETAIL 5/86.1 FOR TYPICAL FRAMING
 - INDICATES STEP IN ELEVATION

- ROOF FRAMING NOTES:**
- REFER TO STRUCTURAL SPECIFICATIONS ON SHEET S1.0
 - CONTRACTOR TO VERIFY ALL DIMENSIONS & ELEVATIONS SHOWN WITH ARCHITECTURAL SHEETS AND INFORM ARCHITECT AND ENGINEER OF ANY DISCREPANCY
 - NO PENETRATIONS FOR PIPING, CONDUITS, OR DUCT-WORK SHALL BE MADE THROUGH THE TRUSS OR GIRDERS UNLESS APPROVED BY THE ENGINEER
 - ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF COLUMN, UNLESS NOTED OTHERWISE
 - WOOD PANEL DIAPHRAGM PENETRATIONS SHALL BE BLOCKED PER DETAIL 5/86.1



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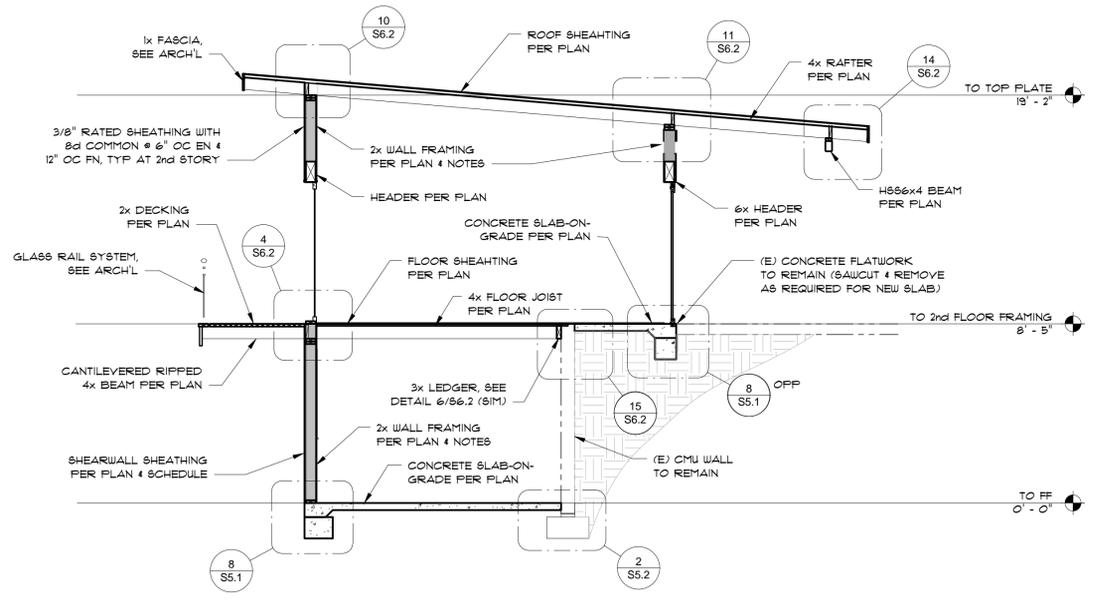
ROOF FRAMING PLAN

S3.1

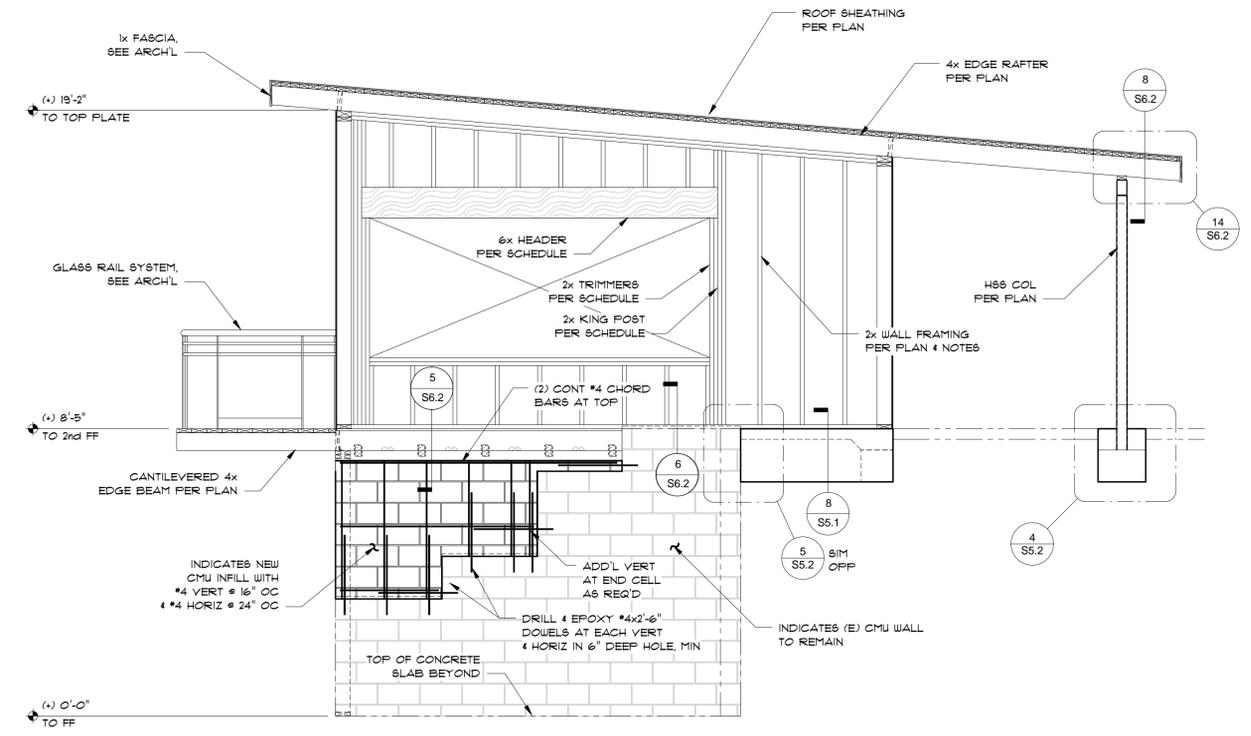


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SECTION 'A'
1/4" = 1'-0"



WALL ELEVATION 'B'
3/8" = 1'-0"

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Revisions

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2	

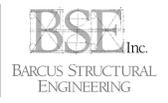
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10/15/2015 3:00:28 PM

SECTION & WALL ELEVATION

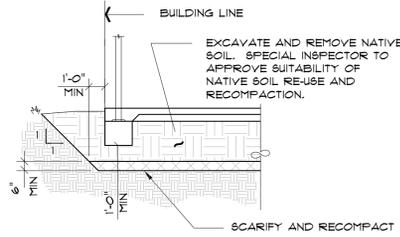
S4.1



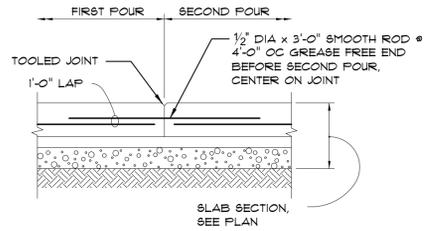
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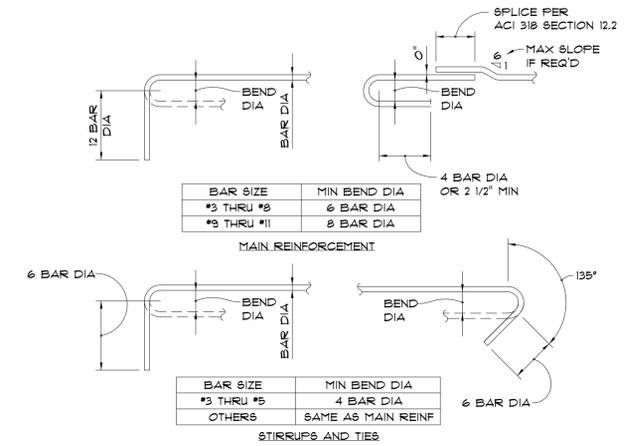
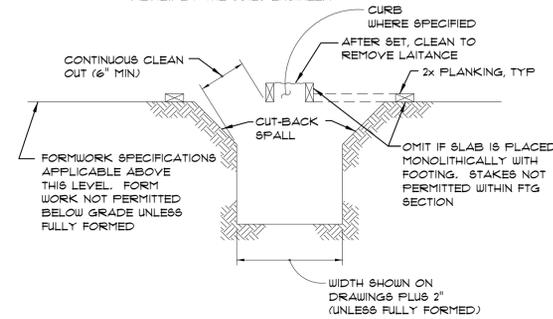
- NOTES:
1. REMOVE AND STRIP ALL SURFACE ORGANIC MATERIAL
 2. EXCAVATE AND REMOVE NATIVE SOIL INDICATED.
 3. SCARIFY, MOISTURE CONDITION AND RECOMPACT AT BOTTOM OF EXCAVATION PER ASTM D1557
 4. RETURN EXCAVATED SOIL (VERIFY SUITABILITY) AND/OR ENGINEERED FILL MATERIAL AS NEEDED, AND RECOMPACT TO 90 PERCENT OF MAXIMUM DRY DENSITY



NOTE:
AT CONTRACTOR'S OPTION, SAWCUT JOINT MAY BE SUBSTITUTED FOR CONSTRUCTION JOINTS OR CONTROL JOINTS SHOWN. CONTROL JOINTS SHALL BE MADE BY SAWCUTTING SLAB AS SOON AS THE SURFACE IS FIRM ENOUGH THAT IT WILL NOT BE DAMAGED BY THE BLADE, USUALLY WITHIN 4 TO 12 HOURS AFTER THE CONCRETE HARDENS (NO LATER THAN 24 HOURS AFTER PLACEMENT). SAWCUT DEPTH SHALL BE 1/4 OF THE SLAB DEPTH (1" MAX), AND SHALL BE SPACED AT 12'-0" OC MAX EACH WAY.

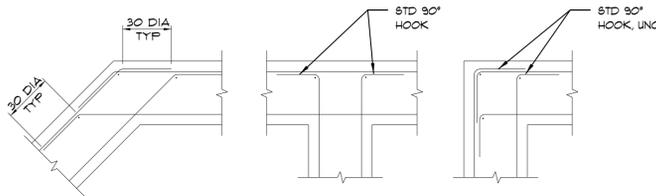


NOTE:
FOUNDATION CONCRETE MAY BE PLACED DIRECTLY INTO NEAT EXCAVATIONS PROVIDED THE FOUNDATION TRENCH WALLS ARE STABLE AS DETERMINED BY THE ENGINEER SUBJECT TO REVIEW BY THE SOILS ENGINEER

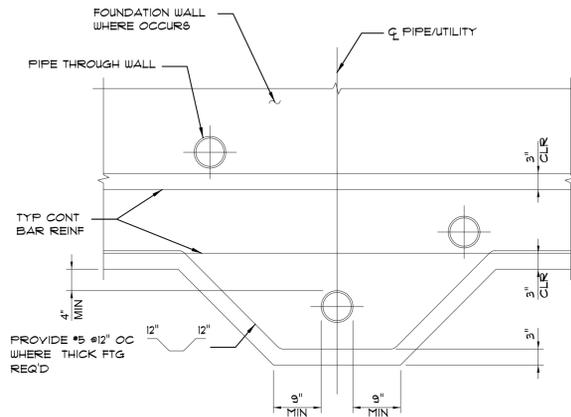


NOTE:
MINIMUM BAR REINFORCING HOOKS AND BENDS SHOWN, REFER TO STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS, TYPICAL

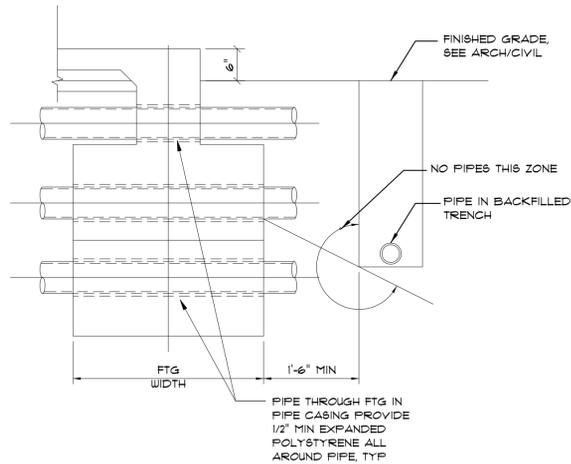
1 OVEREXCAVATION DETAIL
1" = 1'-0"



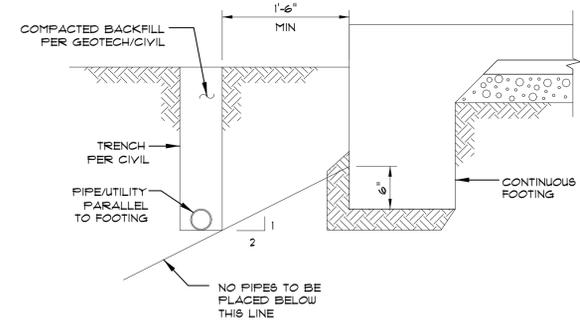
2 CONST SLAB JOINT
3/4" = 1'-0"



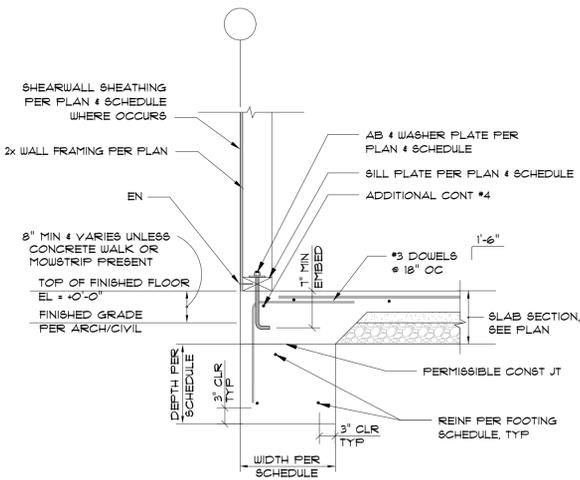
3 FOUNDATION FORMWORK
3/4" = 1'-0"



4 TYPICAL BAR BENDS
3/4" = 1'-0"

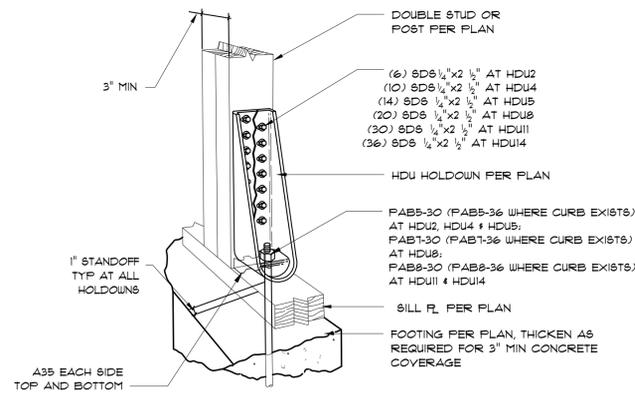


5 FOOTING WALL INTERSECTION
3/4" = 1'-0"

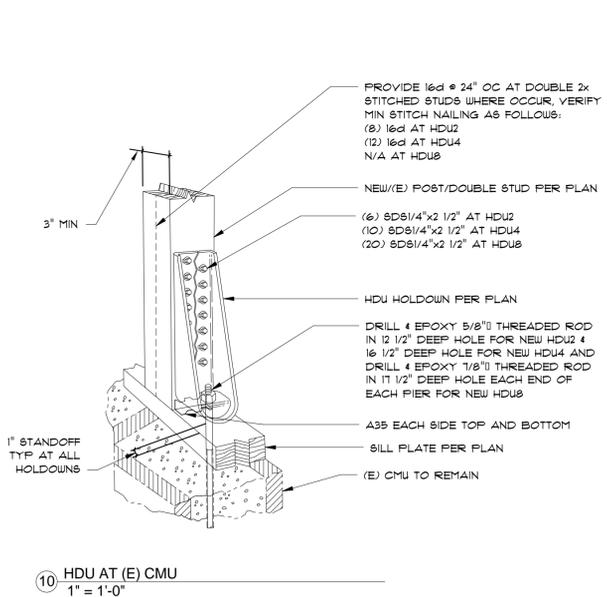


8 PERIMETER FOOTING
3/4" = 1'-0"

6 PIPES PERPENDICULAR TO FOOTING
3/4" = 1'-0"



9 HDU HOLDOWN DETAIL
1" = 1'-0"



10 HDU AT (E) CMU
1" = 1'-0"

7 PIPES PARALLEL TO FOOTING
1" = 1'-0"

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freeline
ARCHITECTURE
814 18th Street Berkeley, Ca. 94701 phone: 641-633-9667



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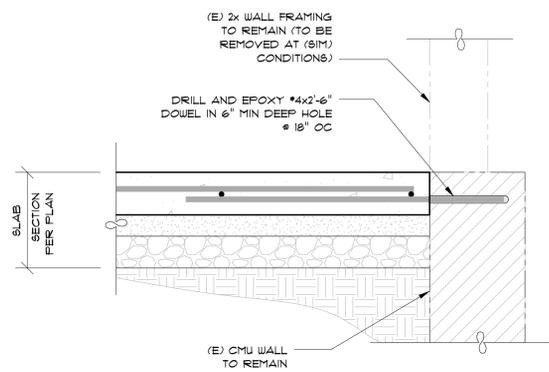
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FOUNDATION DETAILS

S5.1

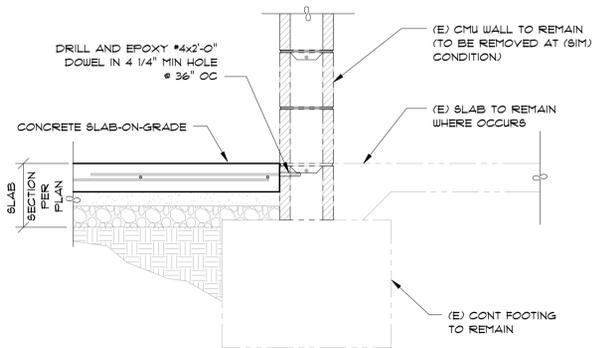


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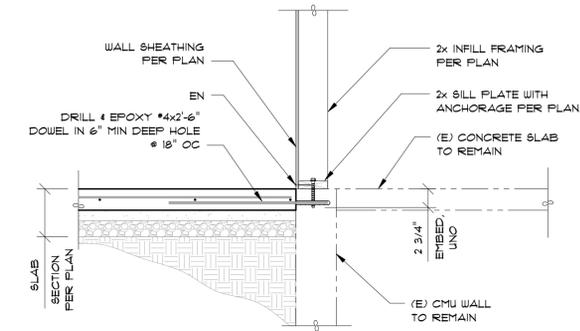
BSE Inc.
BARCUS STRUCTURAL
ENGINEERING



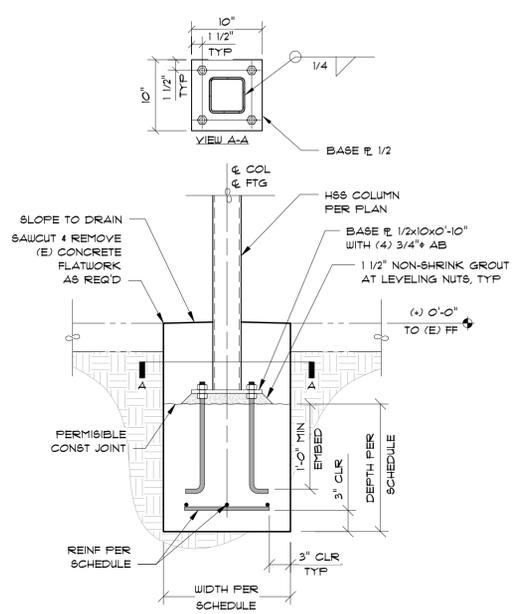
1 NEW SLAB AT (E) CMU WALL
1 1/2" = 1'-0"



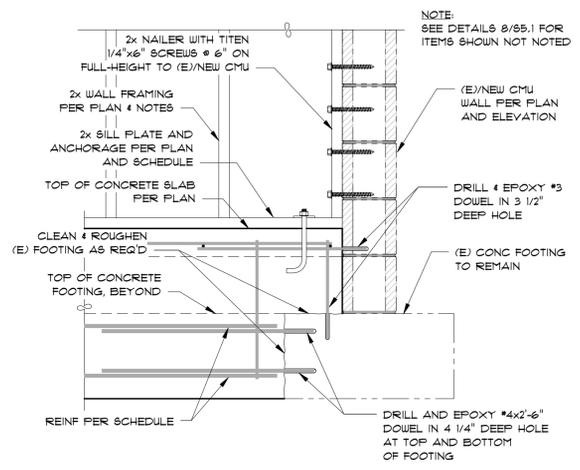
2 NEW SLAB AT (E) FOOTING
1" = 1'-0"



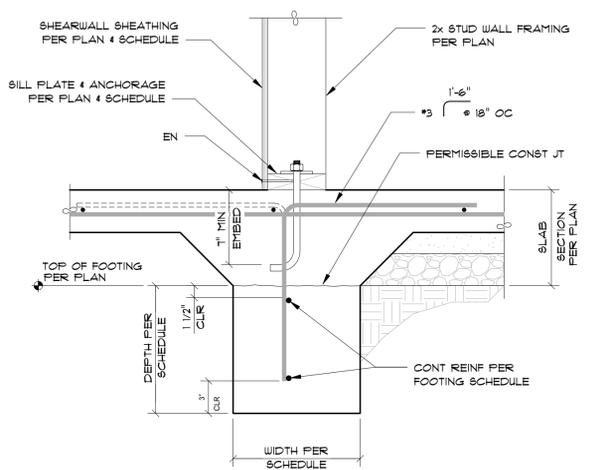
3 NEW SLAB & INFILL AT (E) CMU
3/4" = 1'-0"



4 EXTERIOR HSS COL FOOTING
1" = 1'-0"



5 NEW FOOTING AT (E) FOOTING
1" = 1'-0"



6 INTERIOR BEARING WALL FOOTING
1 1/2" = 1'-0"



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CONNECTION	FASTENING SCHEDULE	LOCATION
1. Joist to sill or girder	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
2. Bridging to joist	2 - 8d common (2 1/2" x 0.131") 2 - 3" x 0.131" nails 2 - 3" 14 gage staples	toenail each end
3. 1" x 6" subfloor or less to each joist	3 - 8d common (2 1/2" x 0.131")	face nail
4. Wider than 1" x 6" subfloor to each joist	3 - 8d common (2 1/2" x 0.131")	face nail
5. 2" subfloor to joist or girder	2 - 16d common (3 1/2" x 0.162")	blind and face nail
6. Sole plate to joist or blocking	16d (3 1/2" x 0.135") at 16" o.c. 3" x 0.131" nails at 8" o.c. 3" 14 gage staples at 12" o.c.	typical face nail
Sole plate to joist or blocking at braced wall panel	3 - 16d (3 1/2" x 0.135") at 16" o.c. 4 - 3" x 0.131" nails at 16" o.c. 4 - 3" 14 gage staples at 16" o.c.	braced wall panels
7. Top plate to stud	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	end nail
8. Stud to sole plate	4 - 8d common (2 1/2" x 0.131") 4 - 3" x 0.131" nails 3 - 3" 14 gage staples 2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail end nail
9. Double studs	16d (3 1/2" x 0.135") at 24" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 8" o.c.	face nail
10. Double top plates	16d (3 1/2" x 0.135") at 16" o.c. 3" x 0.131" nail at 12" o.c. 3" 14 gage staple at 12" o.c.	typical face nail
Double top plates	8 - 16d common (3 1/2" x 0.162") 12 - 3" x 0.131" nails 12 - 3" 14 gage staples	lap splice
11. Blocking between joists or rafters to top plate	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
12. Rim joist to top plate	8d (2 1/2" x 0.131") at 6" o.c. 3" x 0.131" nail at 6" o.c. 3" 14 gage staple at 6" o.c.	toenail
13. Top plates, laps and intersections	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail
14. Continuous header, two pieces	16d common (3 1/2" x 0.162")	16" o.c. along edge
15. Ceiling joists to plate	3 - 8d common (2 1/2" x 0.131") 5 - 3" x 0.131" nails 5 - 3" 14 gage staples	toenail
16. Continuous header to stud	4 - 8d common (2 1/2" x 0.131")	toenail

TABLE 2304.B.1 - continued FASTENING SCHEDULE

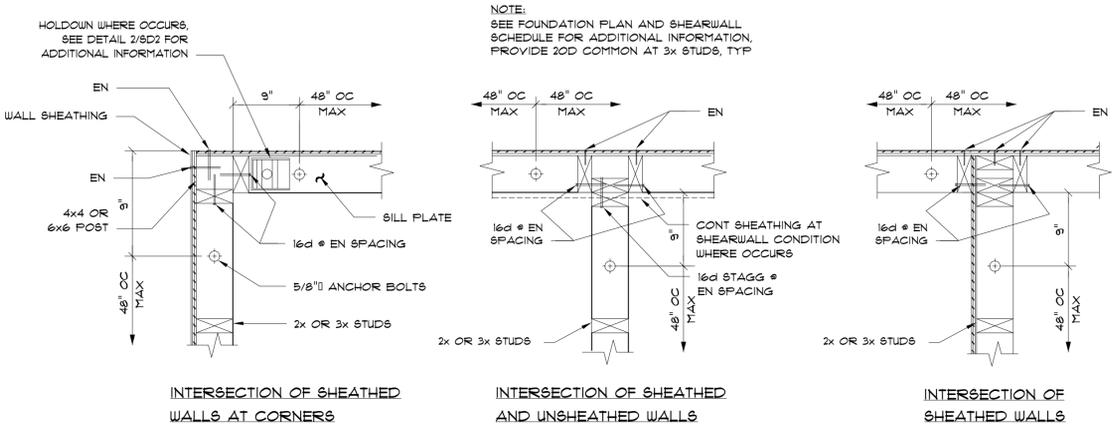
CONNECTION	FASTENING SCHEDULE	LOCATION
17. Ceiling joists, laps over partitions (see Section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail
18. Ceiling joists to parallel rafters (see Section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail
19. Rafter to plate (see Section 2308.10.1, Table 2308.10.1)	3 - 8d common (2 1/2" x 0.131") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
20. 1" diagonal brace to each stud and plate	2 - 8d common (2 1/2" x 0.131") 2 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail
21. 1" x 8" sheathing to each bearing	3 - 8d common (2 1/2" x 0.131")	face nail
22. Wider than 1" x 8" sheathing to each bearing	3 - 8d common (2 1/2" x 0.131")	face nail
23. Built-up corner studs	16d common (3 1/2" x 0.162") 3" x 0.131" nails 3" 14 gage staples	24" o.c. 16" o.c. 16" o.c.
24. Built-up girder and beams	20d common (4" x 0.192") 32" o.c. 3" x 0.131" nail at 24" o.c. 3" 14 gage staple at 24" o.c. 2 - 20d common (4" x 0.192") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail at top and bottom staggered on opposite sides face nail at ends and at each splice
25. 2" planks	16d common (3 1/2" x 0.162")	at each bearing
26. Collar tie to rafter	3 - 10d common (3" x 0.148") 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail
27. Jack rafter to hip	3 - 10d common (3" x 0.148") 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	toenail
	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail
28. Roof rafter to 2-by ridge beam	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	toenail
	2 - 16d common (3 1/2" x 0.162") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples	face nail
29. Joist to band joist	3 - 16d common (3 1/2" x 0.162") 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail

TABLE 2304.B.1 - continued FASTENING SCHEDULE

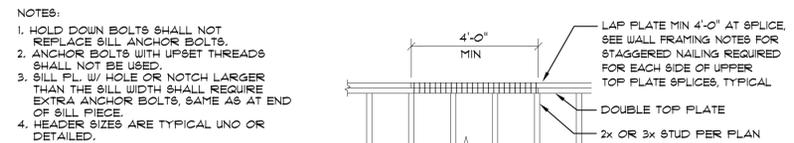
CONNECTION	FASTENING SCHEDULE	LOCATION
30. Ledger strip	3 - 16d common (3 1/2" x 0.162") 4 - 3" x 0.131" nails 4 - 3" 14 gage staples	face nail at each joist
31. Wood structural panels and particleboard ^a Subfloor, roof and wall sheathing (to framing)	1/2" and less 60 ^b 1/2" to 3/4" 2 1/2" x 0.113" nail ^c 1 1/2" 16 gage ^d 8d ^e or 6d ^f 2 1/2" x 0.113" nail ^c 2" 16 gage ^d 7/8" to 1" 8d ^e 1 1/8" to 1 1/4" 10d ^f or 8d ^f	
Single floor (combination subfloor-underlayment to framing)	1/2" and less 60 ^b 7/8" to 1" 8d ^e 1 1/8" to 1 1/4" 10d ^f or 8d ^f	
32. Panel siding (to framing)	1/2" or less 6d ^f 3/4" 8d ^f	
33. Fiberboard sheathing ^g	1/2" No. 11 gage roofing nail ^h 6d common nail (2" x 0.113") No. 16 gage staple ⁱ No. 11 gage roofing nail ^h 8d common nail (2 1/2" x 0.131") No. 16 gage staple ⁱ	
34. Interior paneling	1/2" 4d ^j 3/4" 6d ^j	

For S1: 1 inch = 25.4 mm.
a. Common or box nails are permitted to be used except where otherwise stated.
b. Nails spaced at 6 inches on center at edges, 12 inches at intermediate supports except 6 inches at supports where spans are 48 inches or more. For nailing of wood structural panels and particleboard diaphragms and sheathing, refer to Section 2305. Nails for wall sheathing are permitted to be common, box or casing.
c. Common or deformed shank (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148").
d. Common (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148").
e. Deformed shank (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148").
f. Corrosion-resistant siding (6d - 1 1/2" x 0.106"; 8d - 2 1/2" x 0.128") or casing (6d - 2" x 0.099"; 8d - 2 1/2" x 0.113") nail.
g. Fasteners spaced 3 inches on center at exterior edges and 6 inches on center at intermediate supports, when used as structural sheathing. Spacing shall be 6 inches on center on the edges and 12 inches on center at intermediate supports for nonstructural applications.
h. Corrosion-resistant roofing nails with 1/4" inch diameter head and 1 1/2" inch length for 1/2" inch sheathing and 1 3/4" inch length for 3/4" inch sheathing.
i. Corrosion-resistant staples with nominal 1/2" inch crown and 1 1/2" inch length for 1/2" inch sheathing and 1 3/4" inch length for 3/4" inch sheathing. Panel supports at 16 inches (20 inches if strength axis in the long direction of the panel, unless otherwise marked).
j. Casing (1 1/2" x 0.080") or finish (1 1/2" x 0.072") nails spaced 6 inches on panel edges, 12 inches at intermediate supports.
k. Panel supports at 24 inches. Casing or finish nails spaced 4 inches on panel edges, 12 inches at intermediate supports.
l. For roof sheathing applications, 8d nails (2 1/2" x 0.113") are the minimum required for wood structural panels.
m. Staples shall have a minimum crown width of 7/8" inch.
n. For roof sheathing applications, fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports.
o. Fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports for subfloor and wall sheathing and 3 inches on center at edges, 6 inches at intermediate supports for roof sheathing.
p. Fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports.

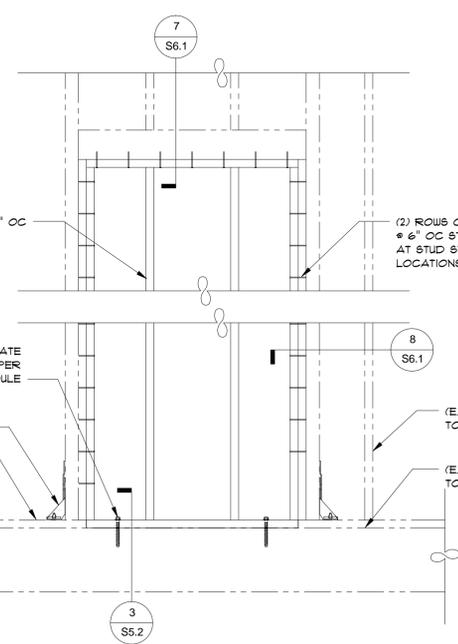
1 NAILING SCHEDULE NTS



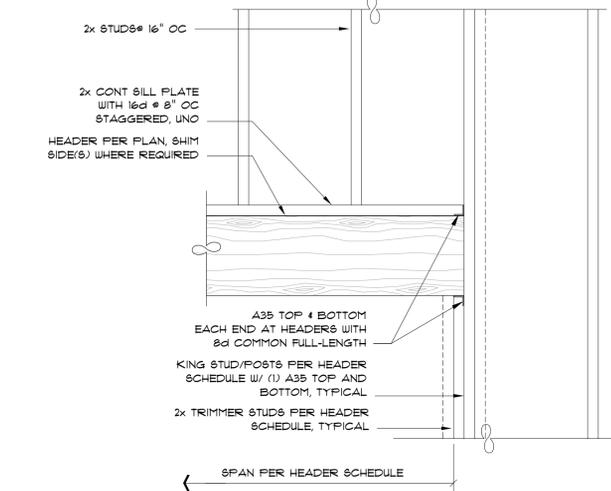
2 STUD WALL CORNER INTERSECTION 12" = 1'-0"



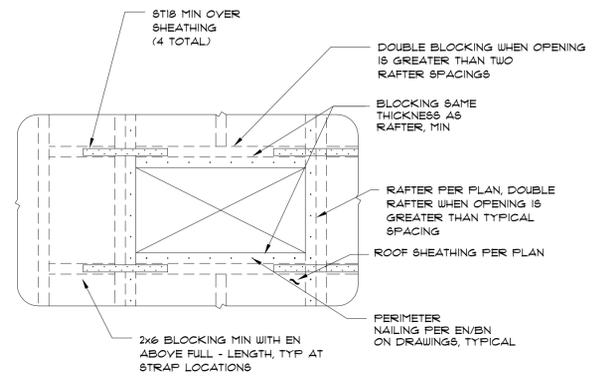
4 TYPICAL WALL FRAMING 12" = 1'-0"



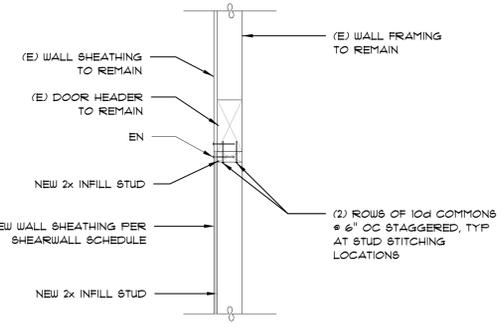
3 INFILL FRAMING 3/4" = 1'-0"



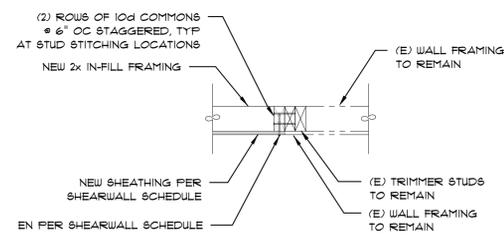
3 HEADER DETAIL 1" = 1'-0"



5 TYPICAL PENETRATION AT RAFTERS 1" = 1'-0"



7 INFILL AT (E) HEADER 1" = 1'-0"



8 INFILL FRAMING AT (E) TRIMMER(S) 1" = 1'-0"

freeline ARCHITECTURE
VERNON R. STEVENS
C-28104
4-30-2014
Renewal Date
STATE OF CALIFORNIA
814 18th Street Berkeley, Ca. 94710 phone: 641-639-9667

Crafton Residence
340 Olive Street
Morro Bay, Ca.

Revisions

1	
2	



BSE Inc.
BARCUS STRUCTURAL ENGINEERING

7600 North Palm Avenue
Suite 200 / Fresno, CA 93711
office 559.261.8585
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14FLA-05
MRH 4/24/15
7/22/2015 5:51:02 PM
FRAMING DETAILS

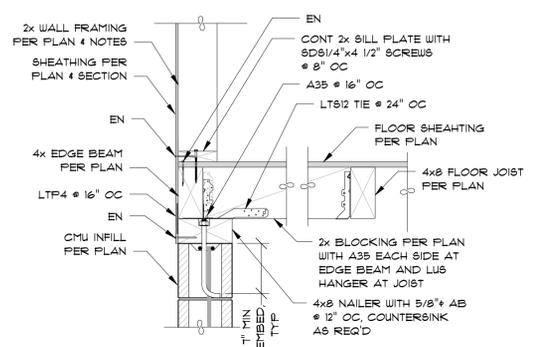
S6.1

1 NOT USED
1" = 1'-0"

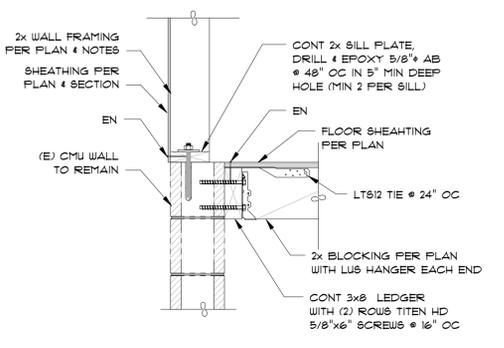
2 4x FLOOR BEAM AT (E) SHEATHING
1" = 1'-0"

3 6x HEADER AT END POST
1" = 1'-0"

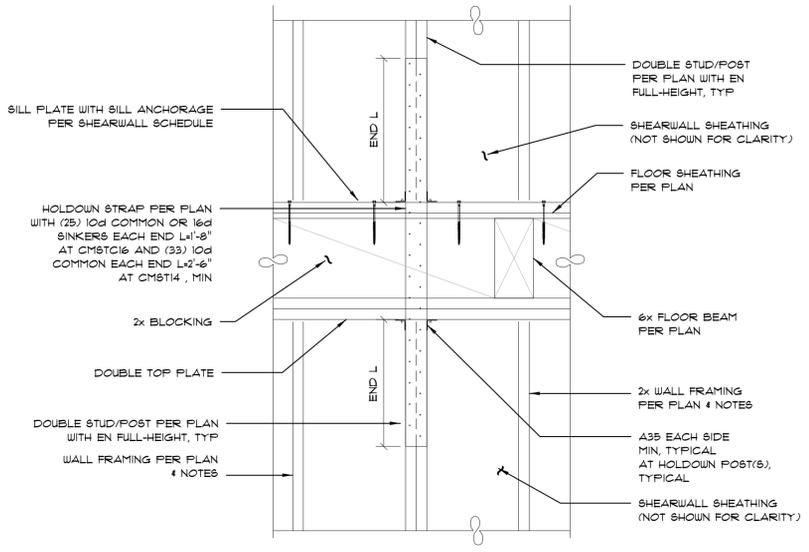
4 4x FLOOR BEAM AT PERIMETER
1" = 1'-0"



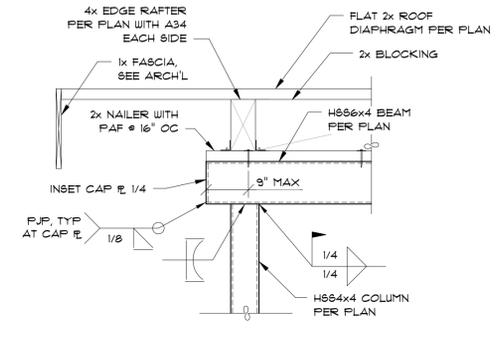
5 4x EDGE BEAM & NAILER AT CMU INFILL
1" = 1'-0"



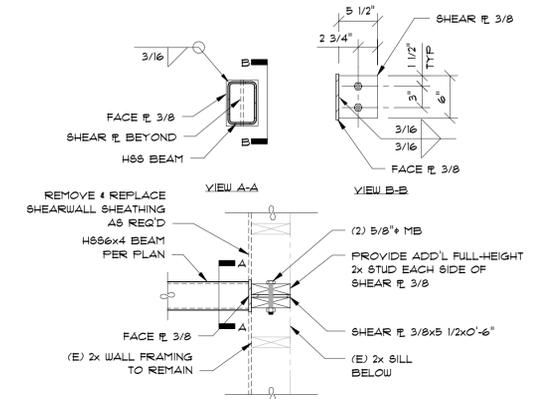
6 2x BLOCKING AT (E) CMU
1" = 1'-0"



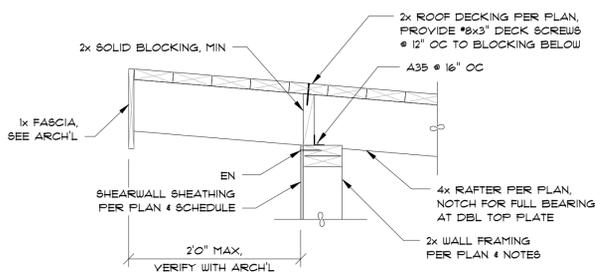
7 STRAP HOLDDOWN
1" = 1'-0"



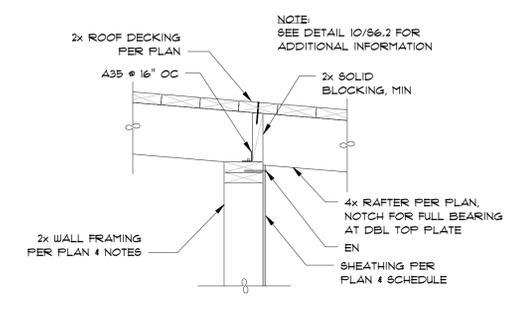
8 HSS BEAM AT HSS COL
1" = 1'-0"



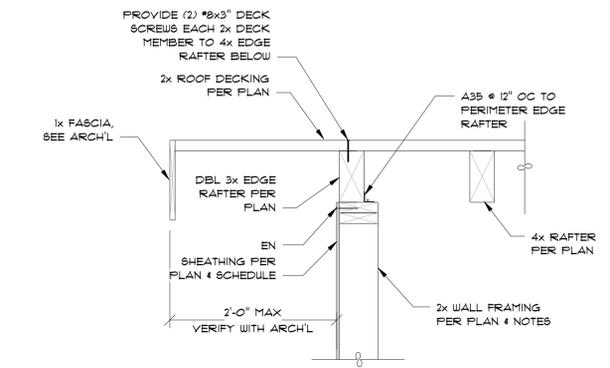
9 HSS BEAM AT FACE PLATE
1" = 1'-0"



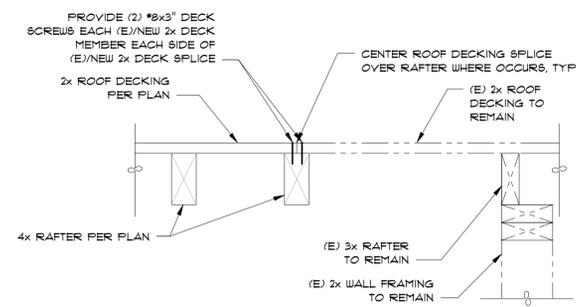
10 RAFTER AT PERIMETER
1" = 1'-0"



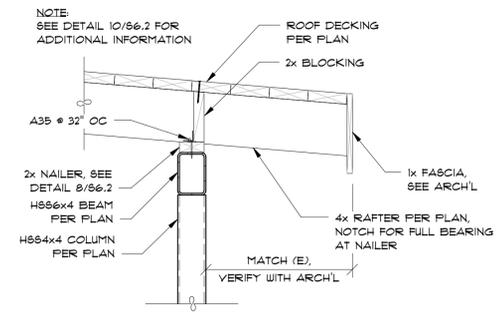
11 RAFTERS AT PERIMETER
1" = 1'-0"



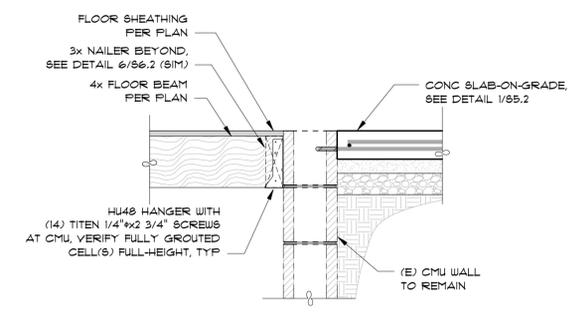
12 EDGE RAFTER AT PERIMETER
1" = 1'-0"



13 RAFTER AT ROOF DECKING SPLICE
1" = 1'-0"



14 RAFTER AT NAILER
1" = 1'-0"



15 4x FLOOR BEAM AT (E) CMU
1" = 1'-0"



Revisions

1	
2	

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7/22/2015 5:51:14 PM

FRAMING DETAILS

S6.2



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EXHIBIT C

AGENDA NO: B-2

MEETING DATE: January 5, 2016

Staff Report

TO: Planning Commissioners **DATE:** January 5, 2016

FROM: Joan Gargiulo, Contract Planner

SUBJECT: **Conditional Use Permit (#UP0-433)** Request to allow an addition to a single-family residence with a nonconforming front-yard setback at 430 Olive Street, located in the R-1 Residential Zoning District and outside of the Coastal Commission Appeals Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 02-16** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated stamp received December 22, 2015.

APPLICANTS: Jerry C Crafton

ARCHITECT: Vernon R. Stevens, Freeline Architecture

LEGAL DESCRIPTION/APN: 066-222-005

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit approval for an addition to an existing nonconforming single-family residence. The applicant proposes to add a 500 sq. ft. addition to an existing 2,212 sq. ft. nonconforming single-family residence in the R-1 Residential Zoning District. Specifically, the Applicant proposes to extend the existing living-room, bedroom, and bathroom into the patio space. The existing residence is considered nonconforming because it does not meet the front setback requirements as discussed below in the 'Project Analysis' section.



Prepared By: JG

Department Review: _____

EXHIBIT C

Planning Commission Staff Report

430 Olive Street

UPO-433

January 5, 2016

PROJECT SETTING:

The project is located in the Central Morro Bay residential neighborhood, designated as Planning Area 7 in the Local Coastal Plan. The parcel at 430 Olive Street lies to the east of Main Street and directly to the north of Cerrito Peak. The mostly level, rectangular-shaped 8,948 square-foot lot is in the R-1 Single-Family Residential Zoning District. Housing in the surrounding area includes a variety of mostly two-story homes. The adjacent property at 460 Olive Street currently has permit approval to build a 4,654 sq. ft. single family residence with a 761 sq. ft. secondary dwelling unit. The site is located outside of the Coastal Commission Appeals Jurisdiction.

Adjacent Zoning/Land Use			
North:	R-1 Single-Family Residential Use	South:	R-1 Single-Family Residential Use
East:	R-1 Single-Family Residential Use	West:	R-1 Single-Family Residential Use

Site Characteristics	
Site Area	Approximately 8,948 square feet
Existing Use	Single-Family residential
Terrain	Developed and sloping downward from Cerrito Peak
Vegetation/Wildlife	Ornamental landscaping
Archaeological Resources	N/A
Access	Olive Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a

EXHIBIT C

Planning Commission Staff Report

430 Olive Street

UPO-433

January 5, 2016

Coastal Zone	Located outside the Coastal Appeals Jurisdiction
---------------------	--

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing nonconforming single-family residence was originally built in 1956 straddling the eastern lot line and encroaching into the public right-of-way to the north. A lot Line Adjustment (S00-102) was granted by the City on October 27, 2010 and recorded with San Luis Obispo County on April 4, 2011. A Special Encroachment Permit (SPE-089) was approved to allow for the existing front portions of the structure that encroach into the right-of-way. There is an ingress and egress easement for the portion of the driveway that crosses the northern edge of the adjacent parcel to the east (460 Olive Street). The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning District.



Zoning Ordinance Standards			
	Standards	Existing	Proposed
Front Setback	20 feet	0 feet	0 feet
Side-Yard Setback	5 feet	5 feet	5 feet
Rear Setback	10 feet	10 feet	10 feet

EXHIBIT C

Planning Commission Staff Report

430 Olive Street

UPO-433

January 5, 2016

Height	25 Feet	25 feet	25 feet
Lot Coverage	Max. 45%	24%	31.3%
Parking	2 Car Garage	2 Car Garage	2 Car Garage

Zoning Ordinance Consistency

Current requirements of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”) pertaining to front setbacks render the existing structure nonconforming. However, additions to nonconforming structures may be permitted with approval of a conditional use permit, subject to certain findings (Morro Bay Municipal Code (MBMC) section 17.56.160). The existing residence does not conform to the current 20 ft. front-yard setback requirement as set forth in Section 17.24.040 of the Zoning Ordinance. The garage entry encroaches fully into the required front setback area and encroaches into the public right-of-way; this encroachment is allowed pursuant to Special Encroachment Permit SPE-089. The proposed addition shall be in conformance will all provisions set forth in the Morro Bay Municipal Code.

Conditional Use Permit Requirement

The Zoning Ordinance, subsection 17.56.160A, requires approval of a conditional use permit for any structure which is nonconforming with any provision of this title. The project proposes to add a 500 square-foot addition to a nonconforming structure. As noted above, the structure is nonconforming with regard to the front-yard setbacks. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed addition is consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone. The surrounding neighborhood is developed with mostly two-story homes.

EXHIBIT C

Planning Commission Staff Report

430 Olive Street

UPO-433

January 5, 2016

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required front-yard setback.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on December 24th, 2015, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 1. The exemption applies to additions to existing structures resulting in an increase of 50% of the floor area or less and the project will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures upon approval of a conditional use permit (MBMC section 17.56.160).

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-433 for the proposed addition to a nonconforming structure for the project at 430 Olive Street, as shown on plans date stamp received December 22, 2015, by adopting Planning Commission **Resolution 02-16** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 02-16

EXHIBIT C

Planning Commission Staff Report

430 Olive Street

UPO-433

January 5, 2016

Exhibit B – Graphics/Plan Reductions