



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, April 19, 2016
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Michael Lucas

Commissioner Richard Sadowski
Commissioner Joseph Ingrassia

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

- A-1** Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

- B-1** **Case No.:** CP0-425 and UP0-487

Site Location: Morro Bay High School, 235 Atascadero Rd.

Proposal: The proposed project includes new construction of a Pool Facility and Student Services Building along with a Master Plan for an overall modernization of various facilities at Morro Bay High School on the existing 55 acre campus located at 235 Atascadero Road. Specifically, the new pool would be 25 yards x 35 meters in size along with associated support buildings surrounding the pool which total 4,215sf and to include 22,600sf of concrete flatwork. The single-story 25 foot tall Student Services Building with clear story lighting on the second level is proposed at approximately 8,500sf with associated new flatwork, landscaping. In addition, the project includes removal of approximately 33-35 diseased trees which consist of major vegetation, improvement to interior campus circulation and parking improvements as well as renovation of campus landscape/quad areas. The Master Plan modernization component of the project includes long term proposals to include remodeling of building interiors, minor exterior refurbishment, adding skylights for natural lighting, and upgrades to paths, running track/bleachers, ASB stage in center outdoor plaza/quad area and improvement to parking areas. This project is located inside the Coastal Commission appeals jurisdiction.

CEQA Determination: Mitigated Negative Declaration, SCH #2016031018

Staff Recommendation: Adopt the Mitigated Negative Declaration and conditionally approve the project.

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

C. NEW BUSINESS

- C-1** Modifications to Morro Bay Municipal Code (MBMC) 13.20 – Building Limitation

Staff Recommendation: Staff recommends the Planning Commission review the changes to MBMC 13.20 and provide any recommendations, regarding the proposed changes, to staff for consideration in the final ordinance to be approved by the City Council.

Staff Contact: Rob Livick, Public Works Director/City Engineer, (805) 772-6291

- C-2** Planning Commission review of General Plan conformity in relation to disposition of the vacant City owned property at 2783 Coral Street, located at the Southwest corner of San Jacinto and State Highway 1 (lot 124 of Tract 1996); APN: 065-386-015.

Staff Recommendation: Adopt Resolution 13-16

Staff Contact: Scot Graham, Community Development Manager

D. UNFINISHED BUSINESS

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT MANAGER COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on May 3, 2016 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$263 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal

Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.
 Approved projects are deleted on next version of log.

Agenda No: A-1
 Meeting Date: April 19, 2016

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Loe	2585 Ironwood Ave	2/19/16	CP0-499	Admin CDP for a a 551sf secondary dwelling unit.	Under Initial Review. Partial resubmittal req'd. Resubmittal received. Fire comments received. Ready to notice				jg
2	SLCUSD	235 Atascadero	7/20/15	CP0-485 / UP0-427	CDP & CUP for new pool and student services building at Morro Bay High School	Under initial review. Incomplete letter sent. Resubmitted 9-10-15 Incomplete letter sent 10-9-15. CJ.. Resubmittal received 10-27-15. Project review complete. Initial study/ environmental review in process. MND routed - review period 3/4 to 4/4/16. Comment letter received from APCD re MND				cj
3	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15. Resubmittal received 5/8/15. Reviewing initial study for pending route to State Clearinghouse. Stormwater Control Plan also being reviewed. Reviewing outstanding cultural resources concerns. Reviewed project with archaeologist 1-27-16. Archaeological consultation in progress. MND routed to State Clearinghouse. Comment letter received from APCD re MND. cj.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13.9/9/14 FD App TP. 2/10/15 FD Not App TP.	PN- on hold until Sonic submits Preliminary Stormwater Requirements. RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17.		cj
4	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM.Was tentatively scheduled for 3-1-16 PC hearing. Awaiting additional info from applicant.				wm
30 -Day Review, Incomplete or Additional Submittal Review Projects:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
5	Regan	3030 Beachcomber Dr	3/7/16	CP0-504	Admin Coastal Permit for 496 sf guesthouse addition	Under initial review. Waiting on comments				jg
6	McNamara	2720 Dogwood	3/1/16	UP0-441	Garage and 2nd story addition to existing SFR	Under Initial Review. Waiting on comments. Project redesign to eliminate nonconformity. Waiting on resubmittal				jg
7	Borges / RPM Consulting	1998 Main Street	3/1/16	CP0-503	Coastal Dev. Permit for addition of 2nd story office/laundry room remodel to commercial building in Mobile Home Park	Waiting on full project submittal. (Applicant rcv'd HCD building permit and started construction before getting CDP). Rcv'd 3/17. Correction letter sent				jg
8	Hair	1078 Monterey St	2/26/16	S00-126	Lot Line Adjustment					
9	McClory	434 Kern Ave	2/25/16	CP0-501	Admin Coastal Dev Permit for Demo 918sf SFR and construct new 2607sf SFR					wm
10	Rhine LP & Morro 94, LLC	3300 Panorama	2/24/16	CP0-500 & UP0-440	Coastal Development Permit & Conditional Use Permit for Demolition of 3 existing tanks, related pumps and concrete	Under review				
11	Barry	2234 Emerald Circle	2/4/16	CP0-498 & UP0-439	Coastal Development & Conditional Use Permit for SFR in Cloisters neighborhood	Under initial review. Waiting on comments. Cloisters arch review committee approval req'd before City can take action				jg
12	Mazzacane	270 Kern	1/7/16	CP0-495	Admin CDP for demo/reconstruct. Demo 848sf SFR and construct new 2763sf SFR w/ 532 sf garage	JG Under initial review. Waiting on PW comments...Incomplete letter sent 2/16/2016. Historical evaluation required				jg
13	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review. Correction letter sent 2/18/16 with Public Works comments. Received revised info from Applicant 3-3-16.				cj
14	Elliott/ Bernal	2620 Laurel Ave	9/30/15	CP0-489	Admin CDP for new 2,461sf Single family home w/ 710 sf garage and 1495sf of balcony	JG. Under Initial Review. Correction letter sent 10/27. Spoke with Applicant and letter rcv'd 2/16- indicated desire to keep project open, updated plans to be submitted		PN- Conditionally approved per memo dated 10/22/15		jg
15	DeGarimore	1001 Front St.	7/14/15	A00-026	Amendment to CUP to modify project description to remove proposed new awning.	Letter sent to applicant 9-9-15 regarding public access requirements. In process. Applicant wishes to include a kiosk for Virg's Landing with the awning amendment. Reviewed prelim site plan of kiosk and provided email comment corrections on 2/24/16. Met with Virg's Landing owner to discuss kiosk plan 2-29-16.				cj

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
16	Gambril	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Incomplete letter sent 9/4/15.		PN-Plans Disapproved. Req. Stormwater determination form & plan update-8/25/15		wm
17	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		jg
18	Verizon / Knight	184 Main	11/19/14	UP0-394	Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street		RPS disapproved on 12/15/14 since proposed pole site will be removed during undergrounding project		jg
19	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story 19 foot building (retail/restaurant use) & outdoor improvements	Under review. Deemed incompletd. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent . Resubmittal received. Not compliant with view corridors requirements. Resubmitta received 1-20-16. Email corrections provided to Applicant on 2/10. Reviewed revised plans received from architect via email on 3/7/16.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj
20	Perry	3202 Beachcomber	9/8/2011 & 10/25/2012	AD0-067 / CP0-381	Variance. Demo/Reconstruct. New home with basement in S2.A overlay. Variance approved for deck only; the issue of stories was resolved due to inconsistencies in Zoning Ordinance.	Variance approved at 8/15/12 PC meeting. Appealed by 3 parties to City Council. Appeal to be heard. City Attorney reviewing.Appeal in abeyance until coastal application complete. Incomplete letter for CDP sent 12/13/12. No response since 2012. Sent Intent to Deem Withdrawn Letter 9-2-14. JG. Applicant responded with Request for Meeting to keep CDP application open. SG. Met with architect on 4/12/16 regarding resubmittal options. cj.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 6/11/12		

Planning Commission Continued projects:

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
21	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant and discussed potential impacts of project and CEQA information requested to complete MND. Project referred to env. consultant and Coastal. MND in process. Applicant revising bio report and snail study. Spoke w/ Applicant Representative 3-13-14. Snail study complete and sent to Dept of Fish and Wildlife for concurrence review. Spoke w/ env. consultant re environmental 4/7 CJ. Met with application 7-18-14 to request addendum to bio report in order to complete CEQA. Bluff determination and snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. City responded to Coastal on 10-27. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Received plans revisions and sent request for Coastal concurrence 9-2-15. CJ. Continued to a date uncertain to redraw ESH buffer setback.	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 11/20/12	Conditionally approved, per memo 9/22/15	cj
22	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UPO-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj
23	City of Morro Bay	End of Nutmeg	1/18/12	UPO-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		wm

Projects Appealed or Forwarded to City Council:

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
24	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report brought to PC on 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop held 5/19/14. Result of sign workshops discussed at 11-3-15 PC mtg.	No review performed.	N/R		sg
Environmental Review										
25	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Final Map Under Review Projects:										
26	Tract 2670	1899 -1911 Sunset	11/17/15	Map	Final Map. - Tract 2670 6 lot subdivision and 1 common lot	Under review. Correction letter sent on 12-17-15. Met with Applicant on 3-8-16 to review outstanding items. Received revised CC&R's 3-8-16 for review. Review of CC&R's underway. Cj.				cj
27	Medina	3390	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map. Unresolved Planning conditions. Sent correction letter to Engineering 4-14-16. cj.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to	sg/cj	
Projects requiring coordination with another jurisdiction:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
28	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
29	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of 7/22/14.		
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing:										
30	City of Morro Bay	Citywide	10/16/13	A00-013	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016.	No review performed.			wm
31	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues. Amendments withdrawn from Coastal Commission as they are no longer consistent with state law. Item has been included in the FY 16/17 goals and objectives.	No review performed.	N/A		sg

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Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										
32	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		
33	James Maul	530, 532, Morro Ave 534	3/12/10	SP0-323 & UP0-282	Parcel Map. CDP & CUP for 3 townhomes. Resubmittal 11/8/10. Resubmittal did not address all issues identified in correction letter.	KW--Incomplete letter sent 4/20/10. Met with applicant 5/25/10. Letter sent to applicant/agent indicating the City's intent to terminate the application based on inactivity. City advised there will be a new applicant and to keep the application viable.MR: Received letter from applicant's rep 11/15/12 requesting project remain open. Called B. Elster for further information. Six month extension granted. Sent Intent to Deem Withdrawn Letter 8-28-14. Applicant requested to keep project open 9-25-14.	Please route project to Building upon resubmittal.	N/A		cj
Grants										
34	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		\$400,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract.	No review performed.	N/A		sg

#	Applicant/ Property Owner	Project Address		Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
35	City of Morro Bay	City-wide				Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14. 2016 Program year applications due 10/23/15. Final 2016 funding recommendations to be reviewed by Council on 3-8-16.	No review performed.	N/R		
36	City of Morro Bay	City-wide				Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				
Projects in Building Plan Check:											
1	Abel	765	Alta	12/21/15	B-30796	SFR Addition			JL/PN-Not Approved per Memo dated 12/21/15		
2	Sangren	675	Anchor	11/28/12	B-29813	SFR Addition	Requested corrections 1/9/13. CJ. Resubmittal received and under review (November 14, 2013). Denial letter sent 4/24/14 GN	BC- Returned for corrections 1/9/13.	N/A		
3	LaPlante	3093	Beachcomber	11/3/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit on hold until Planning process complete. CJ.	BC- Application on hold during planning process of 4-2-2012	DH- Provide SW mgmt, drainage rpt, EC per memo of 1/18/12.		
4	Ocean View Manor	456	Elena	9/10/15	B30746	Remodel of existing senior rental 40 apts. with common building and site improvements	Planning approved. CJ		PN-Disapproved 11/30/15		
5	Parks	2810	Elm	12/7/15	B-30775	New 480sf detached garage with new driveway & walkway			PN-Approved 12/16/15		
6	Leage	1205	Embarcadero	9/10/15	B-30651	686sf second story addition	Correction letter sent. Not compliant w/ Planning conditions. CJ	Plans Denied 09-24-2015 cdk	PN- Approved 10/1/15, no memo.		
7	PG&E	1290	Embarcadero	10/2/13	G-040	Soil Removal	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process. Plans have been denied.	Memo of 11/29/13. CDP application should address soil revegetation		
8	Appleby	381	Fresno	7/31/14	B-30227	Carport& Storage Shed	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	Building approved 08-04-15 cdl	RPS - No PW comments if street access is not required for storage bldg		
9	Decker	430	Fresno	6/8/15	B-30491	Convert existing laundry room into bathroom.	Approved. SG 6/15/15	Plans approved. 07-02-15 cdl	PN- Disapproved, needs sewer video & bwv 6/12/15		
10	Nico	2431	Greenwood	12/14/15	B-30783	74 sqft addition to existing 604 sqft deck			JL/PN-Approved 12/21/15		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
11	Monie	2577 Greenwood	6/8/15	B-30483	600sf addition (1st & 2nd floor) to front of existing SFR			PN-Disapproved, needs Erosion control plan 11/23/15		
12	Jackson, Addis	2860 Greenwood	9/2/15	B-30639	Detached 160sf Guest cottage	Approved 11-19-15. JG	Approved 1-12-16. cdl	PN-Disapproved, needs Erosion control plan 11/23/15		
13	Hurless	2265 Hemlock	8/27/15	B-30477	SFR Garage converted to 492sf apartment with new bedroom and bathroom.	Disapproved 8-28-15. JG	05-15-15 Plans denied. Cdl	PN- Disapproved needs sewer lateral video-		
14	Gonzalez	481 Java	10/6/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking	WM. Expecting Admin Use Permit application for minor revision to approved design.	Plans approved 9-18-15 cdl	PN-Disapproved, needs swr video & plan corrections. 9/24/15		
15	Nisbet	225 Kern	11/30/15	B30761	Remodel & Addition of 123sf to 1,107sf of existing SFR	JG. Requires a Conditional Use Permit		PN-Disapprovedper memo dated 12/2/15		
16	Nisbet	500 Kings	10/20/15	B30710	New 2,434 sf SFR with 672 sf garage and 228 sf of decking & shared driveway with adjacent lot		Plans under review. 10-21-15 cdl	PN-Disapprovedper memo dated 10/27/15		
17	Banuelos	350 Las Vegas	8/19/15	B-30613	Demo 832sf SFR & 384sf non-conforming detached garage. Build new 1,600sf SRF & 484sf garage.	Approved 11-12-15. JG.	Plans denied 10-16-15 cdl	PN-Approved 11/12/15		
18	Douglas	2587 Laurel	7/27/15	B-30352	Addendum to B-30074. Add 24 sq. ft., converting 1,020 sq. ft. to habitable space, add 120 sq. ft. porch, and 191 sq.ft. deck	Under Review. JG. Denial	Plans Denied 08-05-15 cdl	PN 9/30/15 Approved as submitted. No memo		
19	Dyson	117 Main	8/18/14	B-30248	Covered Patio	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
20	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom	Approved 9/25/14. CJ.	Plansw approved 9-30-2014 bc	RPS returned for corrections per memo of		
21	Bunker	491 Panay	12/8/15	B30777	203sf interior remodel to existing 1144sf two story SFR			PN- Approved 12/16/15		
22	Dennis	290 Piney	2/13/15	B-30382	New SFR	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG	Permit Issued 8-24-2015 cdl	ME approved 4/16/2015		
23	Frye	244 Shasta	5/7/13	B-29910	Garage to Second Unit conversion	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
24	Dolezal	1885 Sunset	10/30/15	B-30758	Lot 6: New SFR with 1140sf and 480 garage	Disapproved 2-4-16. Corrections needed. CJ.		PN- Disapproved per memo 12/17/15		
25	Dolezal	1889 Sunset	10/30/15	B-30757	Lot 5: New SFR with 1140sf with 480 garage	Disapproved 2-4-16. Corrections needed. CJ.		PN- Disapproved per memo 12/17/15		
26	Dolezal	1893 Sunset	10/30/15	B-30756	Lot 4: New SFR with 1140sf living and 480sf garage	Disapproved 2-4-16. Corrections needed. CJ.		PN- Disapproved per memo 12/17/15		
27	Dolezal	1897 Sunset	10/30/15	B-30753	Lot 1: New SFR with 1140sf living and 480sf garage	Disapproved 2-4-16. Corrections needed. CJ.		PN- Disapproved per memo 12/17/15		
28	Dolezal	1901 Sunset	10/30/15	B-30754	Lot 2: New SFR with 1541sf living and 483sf garage	Disapproved 2-4-16. Corrections needed. CJ.		PN- Disapproved per memo 12/17/15		
29	Dolezal	1905 Sunset	10/30/15	B-30755	Lot 3: New SFR with 1457sf living and 480sf garage	Disapproved 2-4-16. Corrections needed. CJ.		PN- Disapproved per memo 12/17/15		
Planning Projects & Permits with Final Action:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
1	Black Hill Villas	485 South Bay Blvd	8/7/15	A00-027	Precise Plan CUP/VTM modification to reflect Coastal Commission approved changes to CDP	Coastal Commission changes to the approved City Precise Plan. Requires Precise Plan modification to be consistent with Coastal Commission approvals.. Traffic Study update received and reviewed by City Engineer to determine appropriateness of traffic conditions based on changed project.				cj
2	Wordeman	2900 Alder	7/28/14	CP0-447	Admin Coastal Dev. Permit for new construction of duplex in R-4 zone. Unit A: 1965 sf w/605 sf garage. Unit B: 1714 sf w/605 sf garage.	Under Review. Correction letter sent 8-27-14. Resubmittal received 1-26-15. JG. Correction letter sent. Partial resubmittal rcv'd 2/23. Under Review. JG. Correction letter sent 1/30 JG. Resubmittal received 6/8/15. Under review. Correction letter sent. Resubmittal rcv'd 9/22/15. corrections required, letter sent 10/15/15. Resubmittale Rcv'd 1/27/2016. Noticed 3/10/2016. Permit Issued 3/21	BC- conditionally approved.	PN-Disapproved for plan corrections per memo dated 10/5/15		jg
3	Robson	160 Mindoro	1/29/16	CP0-497	Admin CDP for new 1,804 sq. ft. SFR with a 455 sq. ft. garage	JG. Under initial review. Noticed 3/10/2016. Permit Issued 3/21				jg
4	Irons	598 Shasta Ave	3/1/16	CP0-502	Admin Coastal Dev. Permit for demolition and reconstruction. 3 bdrm SFR with guest house and 1 bdrm SFR on R-2 lot	Under Initial Review. To be noticed 3/31. Permit issued 4/12/2016				jg



AGENDA NO: B-1

MEETING DATE: April 19, 2016

Staff Report

TO: Planning Commissioners

DATE: April 14, 2016

FROM: Cindy Jacinth, Associate Planner

SUBJECT: Morro Bay High School Coastal Development Permit & Conditional Use Permit for new Pool Facility /Student Services Building and Master Plan for campus modernization (CP0-425 & UP0-487), 235 Atascadero Road

RECOMMENDATION:

Adopt the Mitigated Negative Declaration (SCH#2016031018) with Mitigation and Monitoring Program (MMP) and Conditionally Approve the project by adopting Planning Commission Resolution 12-16 which includes the Findings and Conditions of Approval for the project depicted on plans dated October 26, 2015.

APPLICANT/AGENT: San Luis Coastal Unified School District / Firma Consultants

ADDRESS/ APN: 065-182-001 / 235 Atascadero Road

REGULATIONS:

Morro Bay High School is located in the appeals jurisdiction of the coastal zone and is subject to the City's certified Local Coastal Plan (LCP) which requires a regular coastal development permit for new development. Included within the City's LCP is a requirement for a conditional use permit in the SCH zoning district. The proposed project is therefore requesting both a coastal development permit and conditional use permit. The California Division of the State Architect (DSA) as a superior agency has authority for issuance of building permits. However, Planning condition #8 has been added to require the approved construction plans be submitted to the Community Development Department for review and compliance with City conditions prior to start of construction.

BACKGROUND: Morro Bay High School was originally constructed in 1958 prior to the incorporation of the City. The planned capacity was 1600 students. Current enrollment is 837 students with no significant change expected in the next ten years. No major renovation projects have occurred in the last several years. The most recent project was in 2011 for the carport solar array installations in the school parking lot. Prior to that, in 1999 the project

Prepared By: CJ Department Review: SG

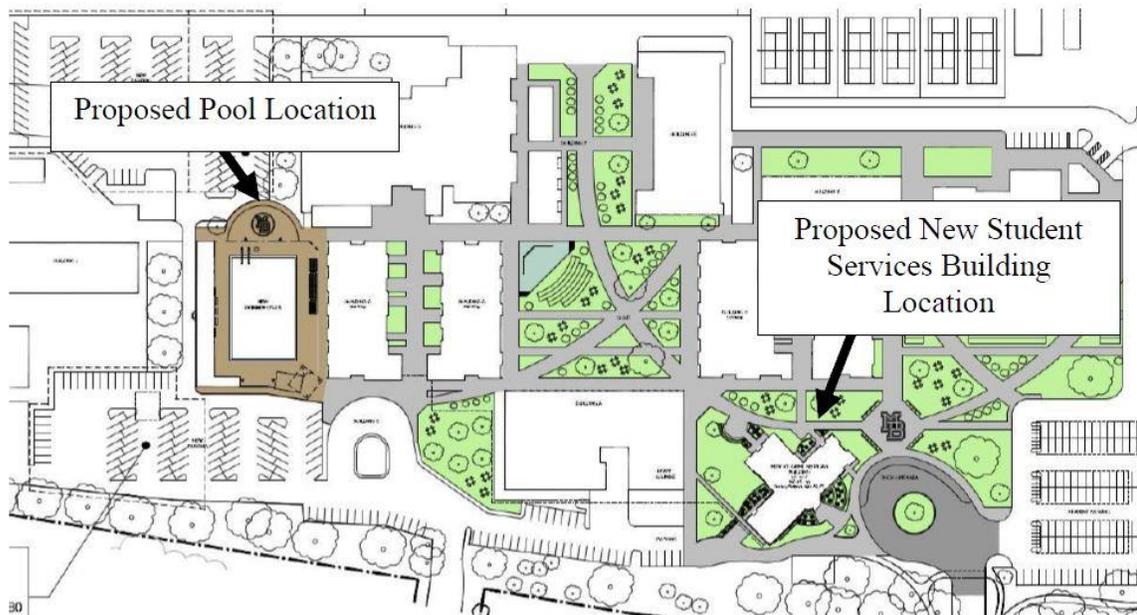
received approvals for renovation of the sports field and lighting on the north side of the campus. With the 2014 bond approval of Measure D, the project seeks to provide major long overdue facility upgrades to the school.

PROJECT DESCRIPTION:

The proposed project includes new construction of a Pool Facility and Student Services Building along with a Master Plan for an overall modernization of various facilities at Morro Bay High School on the existing 55 acre campus located at 235 Atascadero Road. Specifically, the new pool would be 25 yards x 35 meters in size along with associated support buildings surrounding the pool which total 4,215sf and to include 22,600sf of concrete flatwork. The single-story 25 foot tall Student Services Building with clear story lighting on the second level is proposed at approximately 8,500sf with associated new flatwork, landscaping. In addition, the project includes removal of approximately 33-35 trees which consist of major vegetation, improvement to interior campus circulation and parking improvements as well as renovation of campus landscape/quad areas.

The Master Plan modernization component of the project includes remodeling of building interiors, minor exterior refurbishment, adding skylights for natural lighting, and upgrades to paths, running track/bleachers, ASB stage in center outdoor plaza/quad area and improvement to parking areas.

Close-up View of Morro Bay High School Site Plan



ZONING / LAND USE: Property is located in the SCH zoning district with designated land use of school. The General Plan identifies the high school as within Area 5 – Morro Rock.

<u>Adjacent Zoning/Land Use</u>			
North:	MMR/CRR/GC/PD / Residential Cloisters neighborhood	South	C-VS/PD / Commercial visitor-serving uses / Mobile
East:	MCR/R-4/PD/SP / Mixed Use Commercial /High Density Residential (across Highway 1)	West:	OA-1/PD and ESH / Open Area, Beach, Environmentally Sensitive Habitat (ESH)

<u>Site Characteristics</u>	
Overall Site Area	55.4 acres
Existing Use	School
Terrain	Mostly flat / previously developed / graded
Vegetation/Wildlife	Various
Access	Atascadero Road
Archaeological Resources	Known resources

<u>General Plan, Zoning Ordinance & Local Coastal Plan Designations</u>	
General Plan/Coastal Plan Land Use Designation	School
Base Zone District	SCH
Zoning Overlay District	N/A
Special Treatment Area	None
Combining District	N/A
Specific Plan Area	N/A
Coastal Zone	Located within the Coastal appeals jurisdiction

ZONING ORDINANCE COMPLIANCE FOR SCH (School) DISTRICT

<i>Development Standards</i>	Proposed Plan	Ordinance Requirement
Setbacks		
Front (Atascadero Road)	90 Feet	20 Feet
Sides (East/West)	386 feet	15 Feet
Rear	>50feet	15 Feet
Lot Coverage	N/A	30% Maximum Coverage

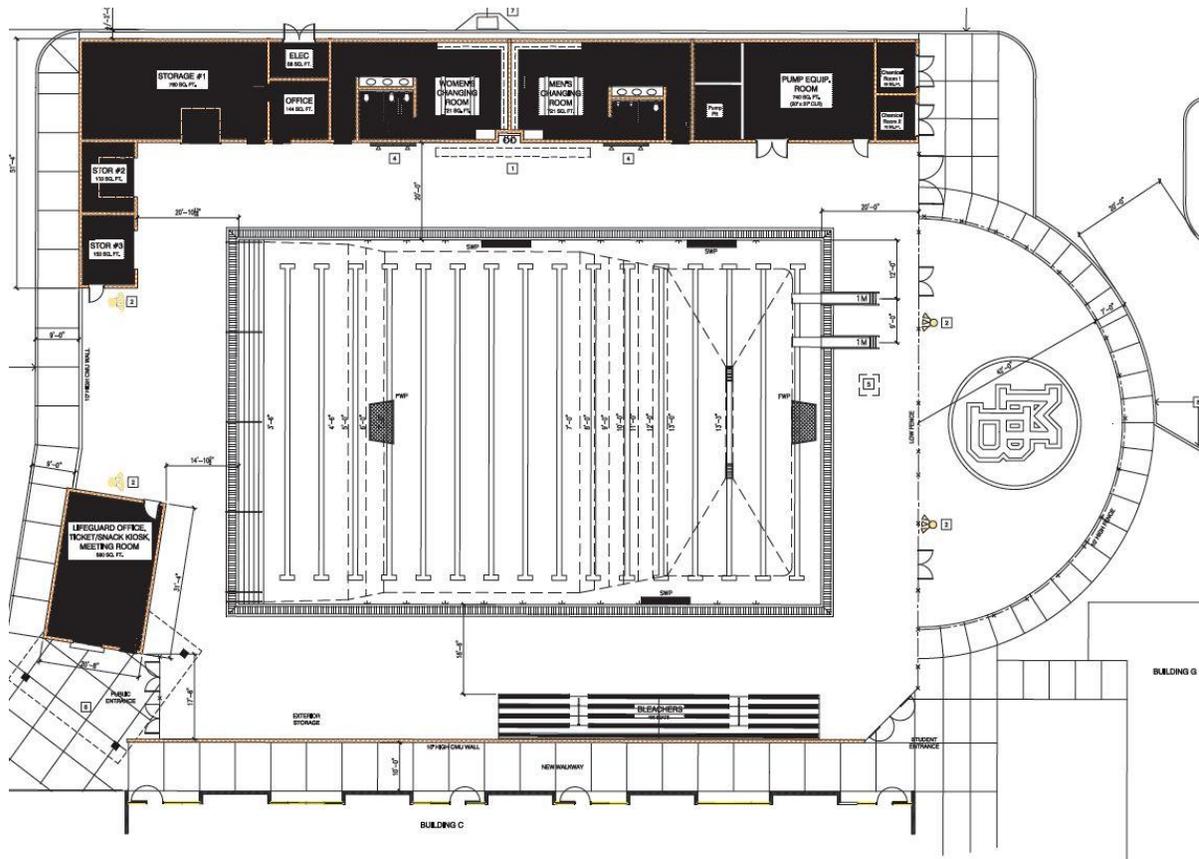
Maximum Height: Pool Facility Buildings Student Services Bldg	18 feet from average natural grade 21 feet from average natural grade (single story)	25 Foot Maximum Per CUP approval
Lighting, Illumination & Glare	Lighting poles and fixtures proposed at Pool Facility and along campus pathways (see MND Pg.16-17 in Exhibit B)	Not directed toward adjacent residential uses and onto streets. Lighting glare shall be screened. No direct or reflected glare visible boundary of property. Sky-reflected glare shall be controlled so as not to inconvenience or annoy persons or interfere with use and enjoyment of surrounding property.
Landscaping	Landscape and Irrigation plans submitted including landscape master plan, pool landscaping and student services building landscaping	Plan Required.
Parking	Student services building would require 29 parking spaces per City's Zoning Ordinance. School Pool area and pool deck would require 93 new parking spaces. Parking spaces to be reconfigured and new spaces to be added for overall net increase of 126 spaces and therefore compliant	4 spaces for each classroom plus one space for each 300sf of office, assembly or common facility gross floor area.

PROJECT DISCUSSION:

Pool Facility: The pool facility is proposed to be constructed near the southwestern corner of the campus on an existing vacant area that consists of mostly patches of ruderal landscaping and bare ground. The pool itself will be 25 yards x 35 meters in size along with associated support buildings surrounding the pool which total 4,215sf. The depth of the pool will range from 3feet 6 inches at the shallow end to 13 feet 3 inches at the deep end with 2 diving boards shown on plans. The pool support building will be constructed to surround the pool as shown on plan sheet CDP4A. The pool site plan shows the west side of the pool to be surrounded by miscellaneous storage and support buildings, including women's and men's changing room and pump equipment rooms. The east side of the pool will include bleacher style seating for spectators with the public entrance to the pool facility at the southeast corner of the pool. This will include a building which houses the lifeguard office/ ticket/snack kiosk and meeting space. The student entrance will be located via doors at the northeast corner. The pool facility will also include 10 foot high CMU wall for safety and screening purposes. Concrete flatwork surrounding the pool walkways and on the pool deck will comprise approximately 22,600sf of concrete flatwork. In addition, the pool facility proposes an LED scoreboard and exterior overhead lighting. This includes both wall mounted lighting and four 50 foot tall mounted light poles to be used during swim athletic events. The overhead lighting would be used during evening hours. The lighting fixtures would be located at each end of the pool, facing north and south. The photometric lighting plan submitted shows the amount of light spillage around the perimeter of the pool facility. Review of the plan determined the project is compliant with City standards which require no light spillage off property with light spillage reduced to zero foot-candle within 100 feet of the pool facility. Due to the large size of the high school campus

(55 acres), the closest residential uses are over 1,000 feet away.

Pool Facility which shows support buildings surrounding pool, public entrance in lower left corner of image and student entrance in lower right corner. Pool to be sited adjacent to Building C on campus southwest side.

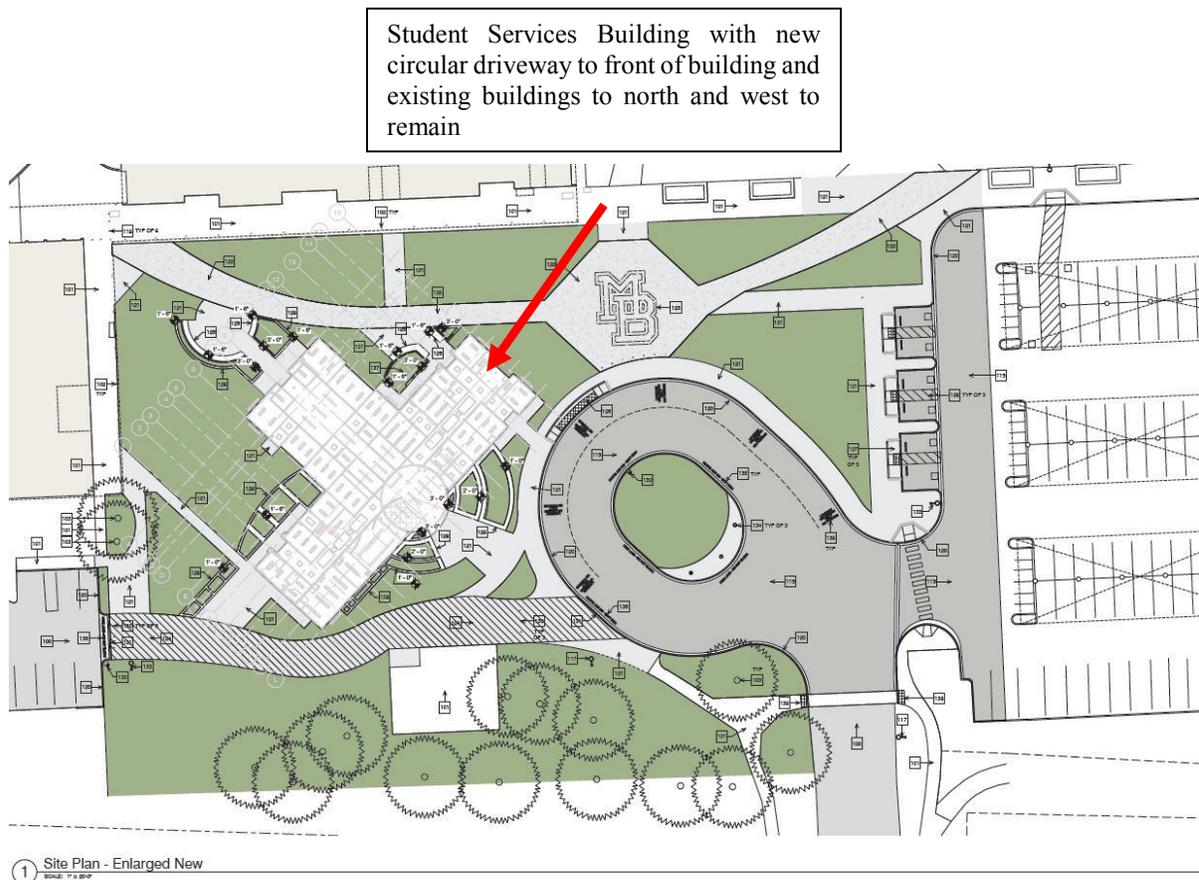


Other Lighting: In addition to the pool lighting, the project also propose new 20 foot tall outdoor skylights on campus in pedestrian walking areas for natural lighting as well as Master Plan future proposed lighting near existing campus buildings as shown on the master plan.

Aesthetics mitigation (AES/mm-1) is proposed to ensure that visibility of night lighting and daytime glare does not adversely affect views. The project will be required to conform to City standards for lighting installations and operational standards, which require downward shielded lighting and prohibit sky-reflected glare from buildings or portions thereof with illumination on the exterior to be lowest level allowed for public safety standards and with no light spillage off-property.

Noise: It is anticipated that use of the pool, which will also be a recreational opportunity for community users will create new sources of noise. Noise levels are expected to be consistent with that of other athletic on-campus events or other existing school noise. The high school previously had a pool facility for over 30 years but was demolished in the late 1990's due to severe repair needs. Should the pool implement a PA system for sound amplification during swim athletic events, mitigation is proposed to ensure that the PA system be located and shielded to directionally focus emitted sound away from the residential land uses north of the property and that a processor be included to control maximum sound output (See page 36 of MND, mitigation measure NOI-1, 2 and 3.

Student Services Building: Plan sheets CDP 5A, 5B, and 5C detail the site plan, landscape plan, 3D elevation view and floor plan for the student services building (SSB) as shown on Exhibit E. The SSB is proposed at approximately 8615sf with a reception area, staff offices, athletics and ASB office, conference rooms, career center, nurse's office, and attendance office. The building will be located in the southeast corner of the campus near the current east campus entrance which is currently occupied by flatwork and grassy vacant areas.



Master Plan Campus Modernization

The goal of the master plan is to provide a framework to allow for campus modernization of the high school. In addition to the Pool Facility and Student Services Building, the project includes other future Master Plan projects consisting of remodeling of building interiors, minor exterior refurbishment, addition of entry tower features to architecturally unify the campus, adding skylights for natural lighting and upgrades to paths, running track/bleachers, improvements to the ASB stage in the center outdoor quad and parking areas as identified on plan sheet CDP-1.

ENVIRONMENTAL DETERMINATION:

Due to known archaeological resources, and proximity of environmentally sensitive habitat, the project could not be found exempt from the California Environmental Quality Act (CEQA). Pursuant to CEQA, an initial study was prepared which resulted in a Mitigated Negative Declaration (MND). (SCH# 2016031018). Impacts related to aesthetics, air quality, biological resources, cultural resources, and noise were identified and mitigation is proposed to reduce these impacts to a level less than significant. Mitigations have been incorporated as conditions of approval on the project and are summarized in the Mitigation and Monitoring Program (MMP) which is attached to the MND. (Exhibit B).

Studies prepared and submitted to inform the initial study process included a Biological Resources Assessment, a Phase 1 Cultural Resources Assessments by CRMS, a Preliminary Stormwater Control Plan along with project plan data, City resource data and consultation with resource agencies. During the 30 day comment period required as part of the CEQA process, the City received one comment letter from the San Luis Obispo County Air Pollution Control District (APCD) dated April 4, 2016 (Exhibit C). The APCD comment letter noted that due to air quality impacts related to sensitive receptors and diesel particulate matter, additional mitigation be added to the project to reduce air quality impacts to a level less than significant based on the identification of the school campus as a sensitive receptor. These recommended mitigations have been added to the project and are shown on the revised MMP as mitigation measure AQ/mm-3 and AQ/mm-4. (Exhibit B).

Major Vegetation Removal

Approximately 35 trees are proposed for removal as shown on plan sheet CDP 3. Approximately half of these trees are located within the proposed site disturbance areas of the new pool facility and the new student services building. The other half of the trees are located in the center of the campus in the outdoor plaza/ student quad area. None of the Monterey cypress trees are proposed to be removed on the west side of the campus which adjoins the Environmentally Sensitive Habitat (ESH) overlay and screens the high school from the beach. In addition, none of the trees which border the school on the east side of the campus adjoining Highway 1 are proposed for removal.

A biological resources assessment was prepared by Sage Institutes on June 1, 2015 addresses

the proposed tree removal. The project proposes to remove approximately 33-35 mostly diseased conifer trees primarily located along the south and south-central area of the school campus as described above. Diseased conifers will be replaced by coastal adapted broadleaf evergreen or pitch canker resistant conifers with most new trees planted at the north end of the Pool Facility and near the Student Services building. Consistent with the City's Major Vegetation Guidelines, the project is required to provide for a 2 to 1 replacement where new trees are 5 gallon in size, and a 1 to 1 replacement where new trees are proposed at 15 gallon size. The applicant is proposing that replacement trees be a minimum of 15 gallon size in order to ensure survivability on campus. In addition, the City's Major Vegetation Guidelines prohibit tree removal during bird nesting season and mitigation has been added to the project to ensure compliance which was also recommended by the Sage Institute 2015 biological report incorporated through Biological mitigation measures BIO/mm-1 and BIO/mm-2.

Visual simulations Plans submitted show visual simulation of views of the proposed project from off-campus both from Highway 1, and also from Atascadero Road. The simulation identifies segments of the structure that will be visible from the Highway 1 on-ramp. The Student Services Building (SSB) structure is screened primarily by existing solar panel structures in the school's eastern parking lot. The SSB will be sited approximately 414 feet west of Highway 1 and 90 feet north of Atascadero Road. Although a single story building, the SSB is proposed at approximately 25 feet with clear story windows on a second level to provide natural lighting through the building corridor. The SSB will be screened from the street by existing vegetation. The Pool Facility is shown in the visual simulations as viewed from Atascadero Road. Only a portion of the Pool Facility is visible as it is also screened by existing vegetation. For security purposes, the pool facility is also screened by a masonry wall 10 feet tall. This structure is setback 202 feet from the south property line and 386 feet to the west property line.

GENERAL PLAN / LOCAL COASTAL PROGRAM CONSISTENCY

The General Plan identifies the Morro Bay High School as being within Area 5 – Morro Rock. Land use in this area is varied from the existence of the high school to the visitor-serving land uses to the south, and west with residential uses to the north and east, and current industrial uses including the City’s wastewater treatment plant to the southwest (intended to be relocated in the near future). Applicable policies include:

Plan Policies	Consistency Analysis
<p><i>Land Use, Open Space & Conservation Element & Archaeological Policies (LCP Chapter VI)</i></p> <p><u>Archaeological Resources</u></p>	<p><i>Consistent with Conditions.</i></p> <p><u>Archaeological Resources:</u> A Phase 1 Archaeological Inventory was prepared by CRMS dated April 2015 which determined potential for likelihood of encountering</p>

Plan Policies	Consistency Analysis
<p>Policy LU-82 and LCP Policies 4.01 to 4.08: "Where necessary, significant archaeological and historic resources shall be preserved to the greatest extent possible...."</p>	<p>cultural resources during ground disturbing activities and as such mitigation is recommended to require an archaeological and culturally affiliated Native American monitor be present. This will ensure consistency with the Archaeological Resource policies of the Land Use Element. (See Pg. 26 of MND for discussion)</p>
<p>Noise Element:</p> <p>Program N-1.3: "New development of noise sensitive land uses shall not be permitted in areas exposed to existing or projected future levels of noise from transportation noise sources which exceed 60 dB, Ldn, CNEL...unless the project design includes effective mitigation measures to reduce noise in outdoor activity areas and interior spaces to or below the levels specified...in Table N-4."</p>	<p>Consistent with Conditions.</p> <p>The project, as a new Pool Facility, Student Services Building and Master Plan modernizations, is anticipated to be consistent with existing school noise levels. Mitigation has been recommended to ensure any impacts are reduced to a level less than significant. (See Pg. 35 of MND for discussion)</p>
<p>Access & Recreation Element Polices:</p> <p>The Access and Recreation Element identifies the need to provide recreational opportunities to the public. Policies also intend to insure access to the shoreline and provision for a variety of recreational opportunities.</p>	<p>Consistent</p> <p>The proposed Pool Facility is anticipated to be a new opportunity for recreation among community users. Hours of community use with the City have not been established yet, but would be during times of day when students are not in the pool area for security reasons.</p>
<p>Safety Element & Hazards Policies (LUP Chapter X)</p> <p>SE Program S-6.2: "...minimize cut and fill operations." "...excessive cutting and filling shall be modified or denied if it is determined that the development could be carried out with less alteration of the natural terrain.</p> <p>SE Programs S-7.1 through S-7.4: Rainy Season Grading Restrictions, Sediment Basins, Erosion/Drainage Control See also LCP Policies 9.01 to 9.10</p>	<p>Consistent with Conditions:</p> <p>The project site is essentially flat. The project development is not located within a 100 year flood hazard area as delineated on FEMA maps. The school as site greater than 1 acre will be subject to the requirements of the State Water Board (SWRCB) Construction General Permit which includes a Stormwater Pollution Prevention Plan.</p>
<p>Environmentally Sensitive Habitat Policies (LUP Chapter XII)</p>	<p>Consistent. While the project site is adjacent to an ESH area immediately to the West, all</p>

Plan Policies	Consistency Analysis
<p>LU-55 and Program-55.2 require that development in areas adjacent to environmentally sensitive habitat areas be designed to prevent impacts that would significantly degrade such areas.</p>	<p>of the work will occur within the existing fenced area of the school's property. The ESHA was reviewed in the Biological Resources Assessment prepared by Sage Institutes dated June 1, 2015 which conducted a suitability assessment for Morro shoulderband snail and delineated ESHA boundary where the west side of the campus site abuts coastal dune scrub and the double row of Monterey cypress trees. Mitigation is recommended to protect nesting birds from vegetation and tree removals. (see MND Pg. 23-25).</p>
<p>Visual Resource & Scenic Highway Element & Coastal Land Use Plan Visual Resource Policies (LUP Chapter XIII)</p> <p>Policy 12.01: The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic and coastal areas, to minimize the alteration of natural landforms, to be visually compatible with the character of surrounding areas, and where feasible, to restore and enhance visual quality in visually degraded areas.</p>	<p>Consistent with Conditions.</p> <p>The proposed development would not exceed the maximum height allowed of 25 feet above average natural grade. Visual simulations of the proposed development viewed from both Highway 1 and from Atascadero Road (Exhibit E) show screening of the development by existing trees and vegetation. Public views of scenic resources will not be altered as a result of this project.</p>

PUBLIC NOTICE:

Notice of a public hearing on this item was posted at the site and published in the Tribune newspaper on April 8, 2016, and mailed directly to all property owners of record within 500 feet of the subject site and occupants within 500 feet of the site. The notices invited the public to attend the hearing and express any concerns they may have regarding the proposed project.

CONCLUSION:

Staff recommends that the Planning Commission adopt the Mitigated Negative Declaration and Mitigation and Monitoring Program as revised and conditionally approve the project for the Morro Bay High School Pool / Student Services Building / Master Plan modernization project by adoption of Planning Commission Resolution 12-16 attached herein.

EXHIBITS:

Exhibit A – Planning Commission Resolution 12-16

Exhibit B – Mitigated Negative Declaration, SCH #2016031018 & Mitigation and Monitoring Program

Exhibit C – APCD comment letter, dated 4/4/16

Exhibit D – State Clearinghouse letter dated 4/6/16

Exhibit E -- Plan Reductions and Visual Simulations dated 10/26/15

RESOLUTION NO. PC 12-16

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION ADOPTING A MITIGATED NEGATIVE DECLARATION (SCH #2016031018) WITH MITIGATION AND MONITORING PROGRAM (MMP) AND APPROVING COASTAL DEVELOPMENT PERMIT (CP0-425) AND CONDITIONAL USE PERMIT (UP0-487) FOR NEW POOL FACILITY APPROXIMATELY 4,215 SQUARE FEET WITH 22,600 SF OF CONCRETE FLATWORK, STUDENT SERVICES BUILDING APPROXIMATELY 8,615 SQUARE FEET AND MASTER PLAN MODERNIZATION PROJECT AT MORRO BAY HIGH SCHOOL LOCATED WITHIN THE COASTAL COMMISSION APPEALS JURISDICTION, AT 235 ATASCADERO ROAD

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on April 19, 2016, for the purpose of considering Coastal Development Permit (CP0-425) and Conditional Use Permit (UP0-487) for a new Pool Facility, Student Services building and Master Plan modernization project for the Morro Bay High School located at 235 Atascadero Road, in an area located in the Coastal Commission appeals jurisdiction; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FINDINGS

- A. That for purposes of the California Environmental Quality Act, Case No. CP0-425 and UP0-487 is subject to a Mitigated Negative Declaration based upon potentially significant impacts to Aesthetics, Air Quality, Biological Resources, Cultural Resources, and Noise. Any impacts associated with the proposed development will be brought to a less than significant level through the Mitigated Negative Declaration (MND). Additional mitigation has been added as a result of review during the 30 day comment period by the County of San Luis Obispo Air Pollution Control District (APCD) and has been added to the Mitigation and Monitoring Plan (MMP). The addition of APCD mitigation did not result in any additional impacts that would require re-circulation and all impacts have been reduced to a level less than significant.

- B. That the Mitigation and Monitoring program attached to the Mitigated Negative Declaration has been reviewed and determined to be adequate in mitigating or avoiding potentially significant environmental effects.

COASTAL DEVELOPMENT PERMIT FINDINGS

- A. The project as proposed is consistent with the applicable provisions of the certified Local Coastal Plan. The Local Coastal Plan is consistent with the General Plan and the project is an allowable use in its zoning district.
- B. For every development between the nearest public road and the sea or the shoreline of any body of water, the Planning Commission shall make a specific finding that such development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act. *The Morro Bay High School is located to the east of Morro Strand State Beach which provides public access to the water and as further described in the staff report presented to the Planning Commission at its April 19, 2016 meeting.*

MAJOR VEGETATION FINDINGS

- A. That the major vegetation removal, of up to 35 trees to be removed, as mitigated, will not significantly impact any threatened or endangered plant or animal habitat areas, because the removal will be consistent with the City's replacement policy for tree removal, and because a Biological Assessment was prepared to evaluate impacts of tree removal and as a result biological mitigation has been included with the project to avoid vegetation removal and initial site disturbance outside of the nesting season for birds.
- B. That reasonably calculated mitigation measures are in place to avoid dangerous soil erosion or instability resulting from the removal;
- C. That the Major Vegetation removal will not adversely affect the character of the surrounding neighborhood because the project is conditioned to provide for tree replacement consistent with the City's major vegetation guidelines.

CONDITONAL USE PERMIT FINDINGS

- A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that the proposed improvements at the Morro Bay High School are permitted uses within the zoning district applicable to the project site and the project complies with all applicable project conditions, City regulations and will be subject to State regulations as the Applicant is governed by the California Department of Education. The new facilities will also

provide additional parking spaces with parking circulation realigned to accommodate the new structures.

- B. The project will not be injurious or detrimental to property and improvements in the neighborhood because the use is designed to be consistent with the City regulations applicable to this development and all proposed improvements are well within the campus.
- C. The project will not be injurious or detrimental to the general welfare of the City because the Morro Bay High School is a permitted use within the zone district and plan designation applicable to the site and said use is designed to be accordance with all applicable project conditions and City regulations.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-425 and Conditional Use Permit UP0-487 for property located at 235 Atascadero Road subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff reports dated April 14, 2016 for the project at 235 Atascadero Road depicted on plans date stamped received by the City on April 12, 2016, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "CDM"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Manager. Any changes to this approved permit determined, by the CDM, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all

applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS:

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings, the erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.

4. Architecture: Building color and materials shall be as shown on plans approved by the Planning Commission and specifically called out on the plans submitted for a Building Permit to the satisfaction of the Community Development Manager Manager.
5. Boundaries and Setbacks: The property owner is responsible for verification of lot boundaries. Prior to requesting foundation inspection, a licensed land surveyor shall verify lot boundaries and building setbacks to the satisfaction of the Community Development Manager. A copy of the surveyor's *Form Certification* based on a boundary survey shall be submitted with the request for foundation inspection.
6. Building Height Verification: Prior to foundation inspection, a licensed land surveyor shall measure and inspect the forms and submit a letter to the Community Development Manager certifying that the tops of the forms are in compliance with the finish floor elevations as shown on approved plans. Prior to either roof nail or framing inspection, a licensed surveyor shall submit a letter to the building inspector certifying that the height of the structures is in accordance with the approved plans and complies with the maximum height requirements of 14 for flat roofs or 17 feet (for 4 in 12 or greater pitch), maximum above the average natural grade of the building footprint.
7. Inspection: The applicant shall comply with all Planning conditions listed above and obtain a final inspection from the Planning Division at the necessary time in order to ensure all conditions have been met.
8. Prior to start of construction, the Applicant shall submit construction plans stamped and approved by the California Division of the State Architect (DSA) to the Community Development Department for review and approval by Planning Division in order to ensure compliance with the City conditions of approval.
9. The Mitigation and Monitoring Program included in the Mitigated Negative Declaration and attached to this Resolution 12-16 as Attachment A are hereby incorporated as conditions of approval.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 19th day of April, 2016 on the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Chairperson Robert Tefft

ATTEST

Scot Graham, Community Development Manager

The foregoing resolution was passed and adopted this 19th day of April, 2016.

City of Morro Bay
COMMUNITY DEVELOPMENT DEPARTMENT
955 SHASTA AVENUE ♦ MORRO BAY, CA 93442
805-772-6261

Public Notice of Availability
Document Type: Mitigated Negative Declaration

CEQA: CALIFORNIA ENVIRONMENTAL QUALITY ACT
CITY OF MORRO BAY
March 2016

The City has determined that the following proposal qualifies for a Mitigated Negative Declaration of Environmental Impact in accordance with the California Environmental Quality Act.

PROJECT TITLE: Morro Bay High School Pool & Student Services Bldg / Master Plan Modernization Project, CP0-425 and UP0-487

PROJECT LOCATION: 235 Atascadero Road, APN: (APN 065 – 182 – 001)

PROJECT DESCRIPTION: The proposed project includes new construction of a Pool Facility and Student Services Building along with a Master Plan for an overall modernization of various facilities at Morro Bay High School on the existing 55 acre campus located at 235 Atascadero Road. Specifically, the new pool would be 25 yards x 35 meters in size along with associated support buildings surrounding the pool which total 4,215sf and to include 22,600sf of concrete flatwork. The single-story 25 foot tall Student Services Building with clear story lighting on the second level is proposed at approximately 8500sf both with associated new flatwork, landscaping. In addition, the project includes removal of approximately 33 diseased trees which consist of major vegetation, improvement to interior campus circulation and parking improvements as well as renovation of campus landscape/quad areas. The Master Plan modernization component of the project includes long term proposals to include remodeling of building interiors, minor exterior refurbishment, adding skylights for natural lighting, and upgrades to paths, running track/bleachers, ASB stage in center outdoor plaza/quad area and improvement to parking areas.

APPLICANT: San Luis Coastal Unified School District

LEAD AGENCY: City of Morro Bay

CONTACT PERSON: Cindy Jacinth, Associate Planner

TELEPHONE: (805) 772-6577

ADDRESS WHERE DOCUMENT MAY BE OBTAINED:

Community Development Department
955 Shasta Avenue
Morro Bay, California 93442
(805) 772-6261

PUBLIC REVIEW PERIOD: March 4 through April 4, 2016

A 30-day public review period for the Mitigated Negative Declaration (MND) will begin on March 4, 2016 and end on April 4, 2016 for interested and concerned individuals and public agencies to submit written comments on the document. Copies of the MND are available for review at the Community Development Department and on the City of Morro Bay's website. Comments should be submitted to the Community Development Department at the above address within the public review time period.

A public hearing to consider adoption of the Mitigated Negative Declaration is tentatively scheduled for April 19, 2016 at 6:00 p.m. at the Morro Bay Planning Commission meeting held at the Veteran's Memorial Building at 209 Surf Street, Morro Bay, California.



Cindy Jacinth, Associate Planner
Signature

Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613
 For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SCH #

Project Title: Morro Bay High School Pool & Student Services Bldg / Master Plan Modernization Project

Lead Agency: City of Morro Bay Contact Person: Cindy Jacinth
 Mailing Address: 955 Shasta Avenue Phone: (805) 772-6577
 City: Morro Bay Zip: 93442 County: San Luis Obispo

Project Location: County: San Luis Obispo City/Nearest Community: Morro Bay
 Cross Streets: Atascadero Road (west of Highway 1 and Highway 41) Zip Code: 93442
 Longitude/Latitude (degrees, minutes and seconds): 35 ° 22 ' 52.77" N / 120 ° 51 ' 25.78" W Total Acres: 55 acres
 Assessor's Parcel No.: 065-182-001 Section: _____ Twp.: _____ Range: _____ Base: _____
 Within 2 Miles: State Hwy #: 1 and 41 Waterways: Alva Paul Creek
 Airports: N/A Railways: _____ Schools: Del Mar Elem. School

Document Type:

CEQA: NOP Draft EIR NEPA: NOI Other: Joint Document
 Early Cons Supplement/Subsequent EIR EA Final Document
 Neg Dec (Prior SCH No.) _____ Draft EIS Other: _____
 Mit Neg Dec Other: _____ FONSI

Local Action Type:

General Plan Update Specific Plan Rezone Annexation
 General Plan Amendment Master Plan Prezone Redevelopment
 General Plan Element Planned Unit Development Use Permit Coastal Permit
 Community Plan Site Plan Land Division (Subdivision, etc.) Other: _____

Development Type:

Residential: Units _____ Acres _____
 Office: Sq.ft. _____ Acres _____ Employees _____ Transportation: Type _____
 Commercial: Sq.ft. _____ Acres _____ Employees _____ Mining: Mineral _____
 Industrial: Sq.ft. _____ Acres _____ Employees _____ Power: Type _____ MW _____
 Educational: Morro Bay High School Waste Treatment: Type _____ MGD _____
 Recreational: _____ Hazardous Waste: Type _____
 Water Facilities: Type _____ MGD _____ Other: _____

Project Issues Discussed in Document:

Aesthetic/Visual Fiscal Recreation/Parks Vegetation
 Agricultural Land Flood Plain/Flooding Schools/Universities Water Quality
 Air Quality Forest Land/Fire Hazard Septic Systems Water Supply/Groundwater
 Archeological/Historical Geologic/Seismic Sewer Capacity Wetland/Riparian
 Biological Resources Minerals Soil Erosion/Compaction/Grading Growth Inducement
 Coastal Zone Noise Solid Waste Land Use
 Drainage/Absorption Population/Housing Balance Toxic/Hazardous Cumulative Effects
 Economic/Jobs Public Services/Facilities Traffic/Circulation Other: _____

Present Land Use/Zoning/General Plan Designation:

SCH / School Zoning District

Project Description: *(please use a separate page if necessary)*

The proposed project includes new construction of a Pool Facility and Student Services Building along with a Master Plan for an overall modernization of various facilities at Morro Bay High School on the existing 55 acre campus located at 235 Atascadero Road. Specifically, the new pool would be 25 yards x 35 meters in size along with associated support buildings surrounding the pool which total 4,215sf and to include 22,600sf of concrete flatwork. The single-story 25 foot tall Student Services Building with clear story lighting on the second level is proposed at approximately 8500sf both with associated new flatwork, landscaping. In addition, the project includes removal of approximately 33 diseased trees which consist of major vegetation, improvement to interior campus circulation and parking improvements ... (see attachment to Notice of Completion

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.

Reviewing Agencies Checklist

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with and "X".
If you have already sent your document to the agency please denote that with an "S".

- | | |
|---|--|
| <input type="checkbox"/> Air Resources Board
<input type="checkbox"/> Boating & Waterways, Department of
<input type="checkbox"/> California Emergency Management Agency
<input type="checkbox"/> California Highway Patrol
<input type="checkbox"/> Caltrans District # <u>5</u>
<input type="checkbox"/> Caltrans Division of Aeronautics
<input type="checkbox"/> Caltrans Planning
<input type="checkbox"/> Central Valley Flood Protection Board
<input type="checkbox"/> Coachella Valley Mtns. Conservancy
<input checked="" type="checkbox"/> Coastal Commission
<input type="checkbox"/> Colorado River Board
<input type="checkbox"/> Conservation, Department of
<input type="checkbox"/> Corrections, Department of
<input type="checkbox"/> Delta Protection Commission
<input type="checkbox"/> Education, Department of
<input type="checkbox"/> Energy Commission
<input checked="" type="checkbox"/> Fish & Game Region # <u>4</u>
<input type="checkbox"/> Food & Agriculture, Department of
<input type="checkbox"/> Forestry and Fire Protection, Department of
<input type="checkbox"/> General Services, Department of
<input type="checkbox"/> Health Services, Department of
<input type="checkbox"/> Housing & Community Development
<input checked="" type="checkbox"/> Native American Heritage Commission | <input type="checkbox"/> Office of Historic Preservation
<input checked="" type="checkbox"/> Office of Public School Construction
<input type="checkbox"/> Parks & Recreation, Department of
<input type="checkbox"/> Pesticide Regulation, Department of
<input type="checkbox"/> Public Utilities Commission
<input checked="" type="checkbox"/> Regional WQCB # <u>3</u>
<input type="checkbox"/> Resources Agency
<input type="checkbox"/> Resources Recycling and Recovery, Department of
<input type="checkbox"/> S.F. Bay Conservation & Development Comm.
<input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy
<input type="checkbox"/> San Joaquin River Conservancy
<input type="checkbox"/> Santa Monica Mtns. Conservancy
<input type="checkbox"/> State Lands Commission
<input type="checkbox"/> SWRCB: Clean Water Grants
<input type="checkbox"/> SWRCB: Water Quality
<input type="checkbox"/> SWRCB: Water Rights
<input type="checkbox"/> Tahoe Regional Planning Agency
<input type="checkbox"/> Toxic Substances Control, Department of
<input type="checkbox"/> Water Resources, Department of

<input type="checkbox"/> Other: _____
<input type="checkbox"/> Other: _____ |
|---|--|

Local Public Review Period (to be filled in by lead agency)

Starting Date March 4, 2016 Ending Date April 4, 2016

Lead Agency (Complete if applicable):

Consulting Firm: _____	Applicant: <u>City of Morro Bay</u>
Address: _____	Address: <u>955 Shasta Avenue</u>
City/State/Zip: _____	City/State/Zip: <u>Morro Bay, CA 93442</u>
Contact: _____	Phone: <u>(805) 772-6577</u>
Phone: _____	

Signature of Lead Agency Representative: *Cindy Smith* Date: 3-1-16

Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.

Attachment to Notice of Completion & Environmental Document Transmittal

Project Title: Morro Bay High School Pool & Student Services Bldg/ Master Plan Modernization Project

Lead Agency: City of Morro Bay

Contact Person: Cindy Jacinth, Associate Planner, 805-772-6577

Project Location: 235 Atascadero Road, Morro Bay, California

Project Description Continued:

... as well as renovation of campus landscape/quad areas. The Master Plan modernization component of the project includes long term proposals to include remodeling of building interiors, minor exterior refurbishment, adding skylights for natural lighting, and upgrades to paths, running track/bleachers, ASB stage in center outdoor plaza/quad area and improvement to parking areas.



City of Morro Bay
 COMMUNITY DEVELOPMENT DEPARTMENT
 955 SHASTA AVENUE ♦ MORRO BAY, CA 93442
 805-772-6261

D R A F T M I T I G A T E D N E G A T I V E D E C L A R A T I O N

CEQA: CALIFORNIA ENVIRONMENTAL QUALITY ACT

CITY OF MORRO BAY
 955 Shasta Avenue
 Morro Bay, California 93442
 805-772-6261

February 2016

The State of California and the City of Morro Bay require, prior to the approval of any project, which is not exempt under CEQA that a determination be made whether or not that project may have any significant effects on the environment. In the case of the project described below, the City has determined that the proposal qualifies for a Mitigated Negative Declaration.

CASE NO.: CP0-425 and UP0-487

PROJECT TITLE: Morro Bay High School Pool & Student Services Building/ Master Plan Modernization Project

APPLICANT / PROJECT SPONSOR:

Applicant / Owner: _____ Agent: _____

San Luis Coastal Unified School District
 1500 Lizzie Street
 San Luis Obispo, CA 93401

Firma Consultants
 187 Tank Farm Rd., Ste. 230
 San Luis Obispo, CA 93401

PROJECT DESCRIPTION: The proposed project includes new construction of a Pool Facility and Student Services Building along with a Master Plan for an overall modernization of various facilities at Morro Bay High School on the existing 55 acre campus located at 235 Atascadero Road. Specifically, the new pool would be 25 yards x 35 meters in size along with associated support buildings surrounding the pool which total 4,215sf and to include 22,600sf of concrete flatwork. The single-story 25 foot tall Student Services Building with clear story lighting on the second level is proposed at approximately 8500sf both with associated new flatwork, landscaping. In addition, the project includes removal of approximately 33 diseased trees which consist of major vegetation, improvement to interior campus circulation and parking

improvements as well as renovation of campus landscape/quad areas. The Master Plan modernization component of the project includes long term proposals to include remodeling of building interiors, minor exterior refurbishment, adding skylights for natural lighting, and upgrades to paths, running track/bleachers, ASB stage in center outdoor plaza/quad area and improvement to parking areas.

PROJECT LOCATION: The project site is located at 235 Atascadero Road, west of the intersection of Highway 41 and Highway 1, within the City of Morro Bay. The site is within the SCH zoning district, and designated by the General Plan and Coastal Land Use Plan (CLUP) as school. The project is located in the Coastal Commission's Appeals Jurisdiction, and within the City's permitting jurisdiction for Coastal Development Permits.

FINDINGS OF THE: Environmental Coordinator

It has been found that the project described above will not have a significant effect on the environment. The Initial Study includes the reasons in support of this finding. Mitigation measures are required to assure that there will not be a significant effect in the environment; these are described in the attached Initial Study and Checklist and have been added to the permit conditions of approval.



City of Morro Bay
 COMMUNITY DEVELOPMENT DEPARTMENT
 955 SHASTA AVENUE ♦ MORRO BAY, CA 93442
 805-772-6261

INITIAL STUDY AND CHECKLIST

I. PROJECT INFORMATION

Project Title: Morro Bay High School Pool & Student Services Building/ Master Plan
Modernization Project

Project Location: 235 Atascadero (APN 065 – 182 – 001)

Case Number: Coastal Development Permit #CP0-425 and Conditional Use Permit #UP0-487

Lead Agency:

<u>City of Morro Bay</u>	Phone:	<u>(805) 772-6577</u>
<u>955 Shasta Ave.</u>	Fax:	<u>(805) 772-6268</u>
<u>Morro Bay, CA 93442</u>		
<u>Contact: Cindy Jacinth, Assoc. Planner</u>		

Project Applicant:

<u>San Luis Coastal Unified School District</u>	Phone:	<u>(805) 549-1200</u>
<u>1500 Lizzie St</u>	Fax:	
<u>San Luis Obispo, CA 93401</u>		

Project Landowner:

<u>San Luis Coastal Unified School District</u>	Phone:	<u>(805) 549-1200</u>
<u>1500 Lizzie Street</u>	Fax:	
<u>San Luis Obispo, CA 93401</u>		

General Plan Designation: School

Zoning Designation: SCH, (School Zoning District)

PROJECT DESCRIPTION: The proposed project includes new construction of a Pool Facility and Student Services Building along with a Master Plan for an overall modernization of various facilities at Morro Bay High School on the existing 55 acre campus located at 235 Atascadero Road. Specifically, the new pool would be 25 yards x 35 meters in size along with associated support buildings surrounding the pool which total 4,215sf and to include 22,600sf of concrete flatwork. The single-story 25 foot tall Student Services Building with clear story lighting on the second level is proposed at approximately 8500sf both with associated new flatwork, landscaping. In addition, the project includes removal of approximately 33 diseased trees which consist of major vegetation, improvement to interior campus circulation and parking improvements as well as renovation of campus landscape/quad areas. The Master Plan modernization component of the project includes long term proposals to include remodeling of building interiors, minor exterior refurbishment, adding skylights for natural lighting, and upgrades to paths, running track/bleachers, ASB stage in center outdoor plaza/quad area and improvement to parking areas.

PROJECT LOCATION: The project site is located at 235 Atascadero, west of the intersection of Highway 1 and Highway 41, within the City of Morro Bay. The site is zoned SCH (School zoning). The project is not

EXHIBIT B

located in the Coastal Commission's Jurisdiction or Appeals Jurisdiction, therefore the project is in the City's permitting jurisdiction for Coastal Development Permits.

Surrounding Land Use			
North:	Cloisters single-family residential neighborhood (MMR/CRR/GC/PD)	East:	Highway 1; mixed commercial-residential uses across Highway 1; Mixed Commercial-Residential/Multiple Residential Hotel Professional/Planned Development/North Main Street Specific Plan (MCR/R-4/PD/SP)
South:	Hotel/motels and RV parks; Visitor Serving Commercial (C-VS)	West:	Vacant beach area; coastal dune scrub habitat (OA-1/PD)

Project Entitlements Requested: Coastal Development Permit (CDP) and Conditional Use Permit (CUP) approvals are required for Morro Bay High School modernization project.

Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement):

The City of Morro Bay is the lead agency for the proposed project. Responsible and trustee agencies may include, but are not limited to:

- San Luis Obispo Air Pollution Control District (SLOAPCD)
- California Coastal Commission (CCC)
- California Department of Education

Figure 1: VICINITY MAP
Morro Bay High School, 235 Atascadero Road, Morro Bay, CA
Proposed Modernization Project with New Pool & Student Services Building



Figure 2: OVERALL CAMPUS SITE PLAN
Morro Bay High School, 235 Atascadero Road, Morro Bay, CA
Proposed Modernization Project with New Pool & Student Services Building

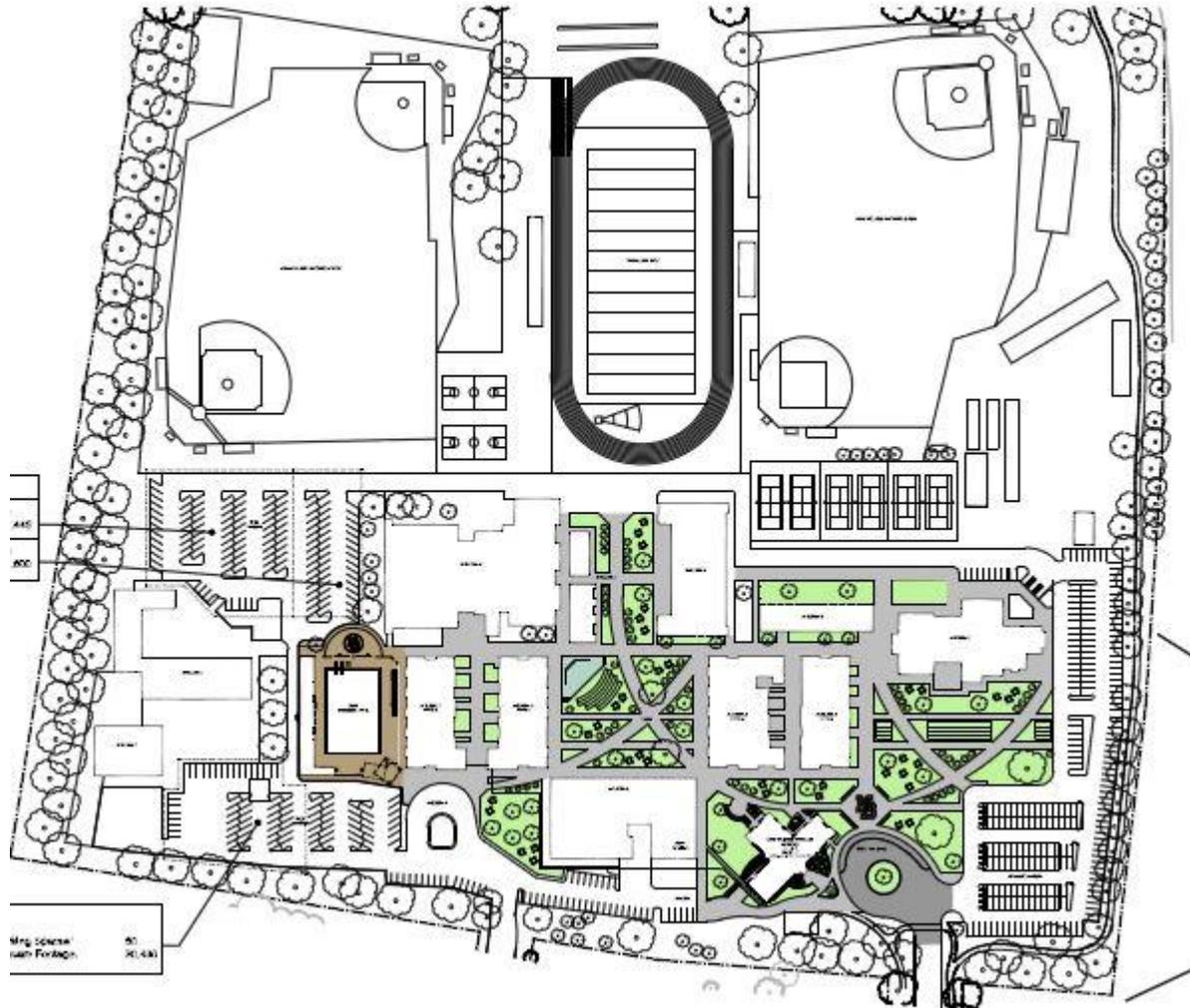


Figure 3: SITE PLAN LOCATION CLOSE-UP
Morro Bay High School, 235 Atascadero Road, Morro Bay, CA
Proposed Modernization Project with New Pool & Student Services Building

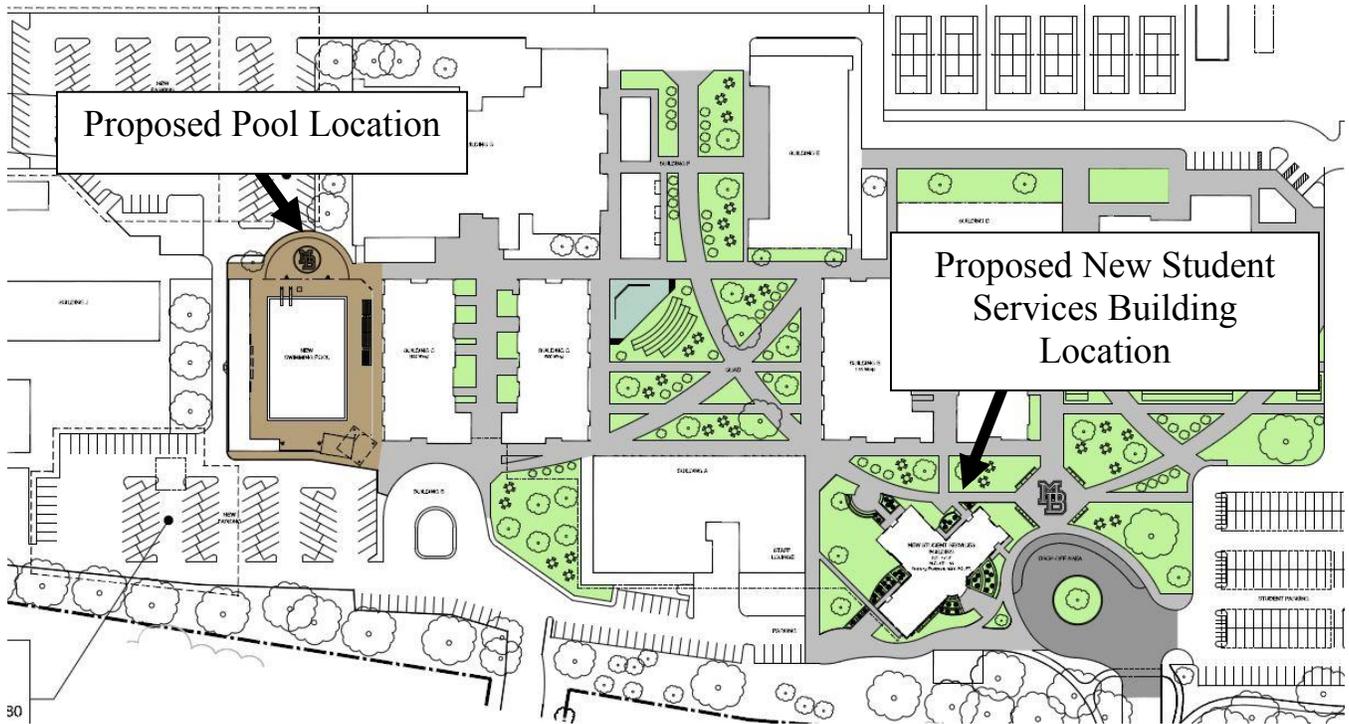


Figure 4: POOL SITE PLAN
Morro Bay High School, 235 Atascadero Road, Morro Bay, CA
Proposed Modernization Project with New Pool & Student Services Building

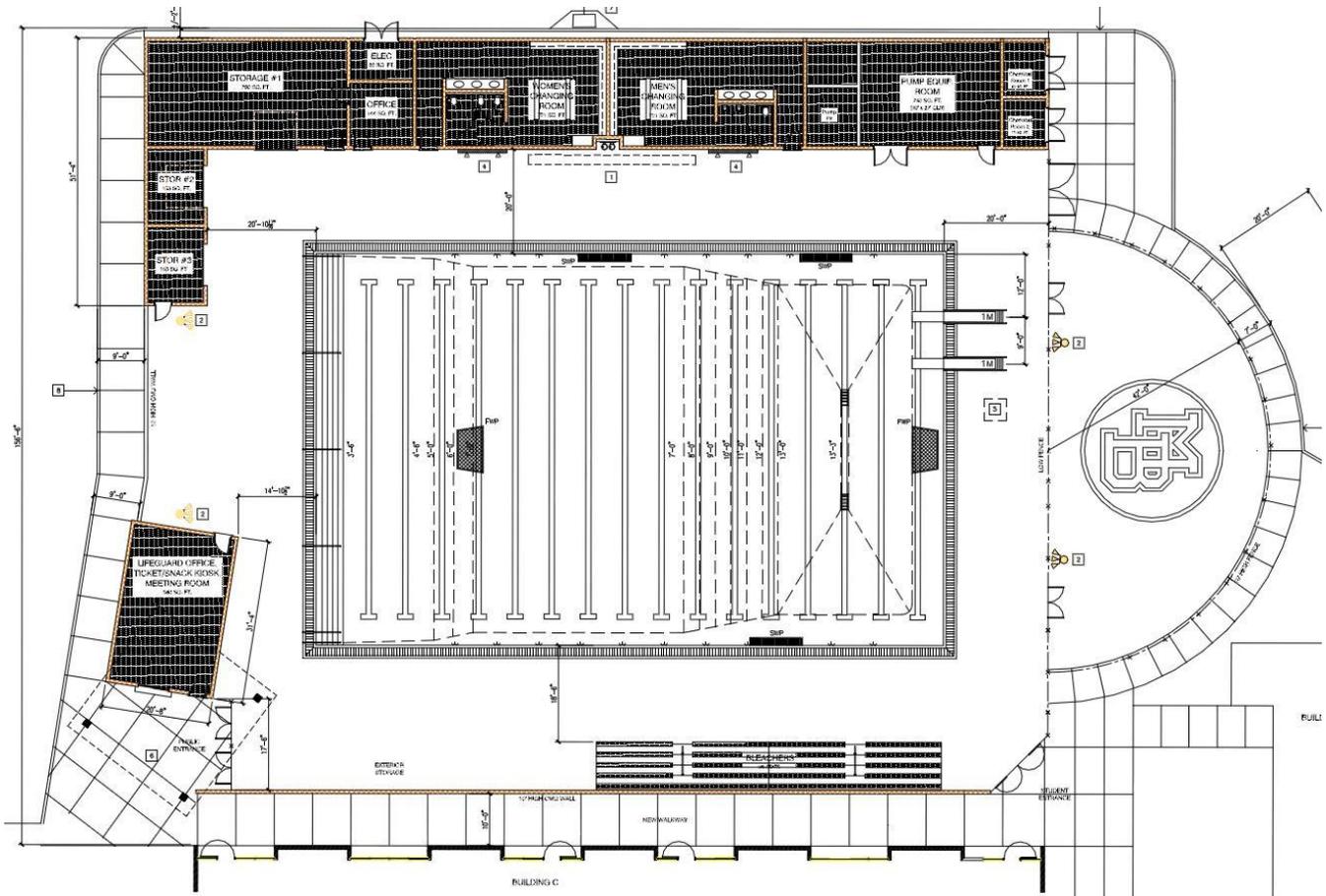


Figure 5: Pool Accessory Building Elevations

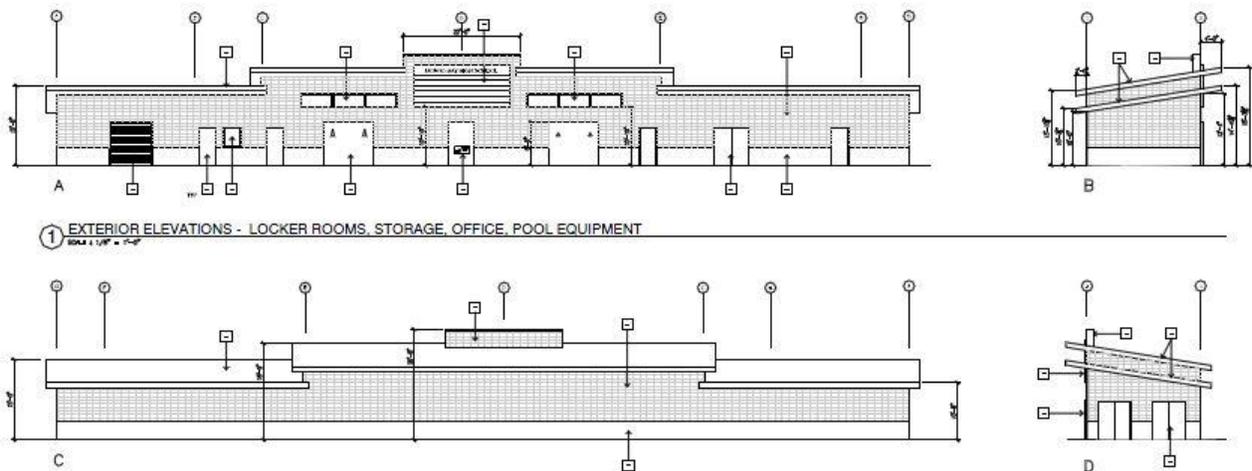
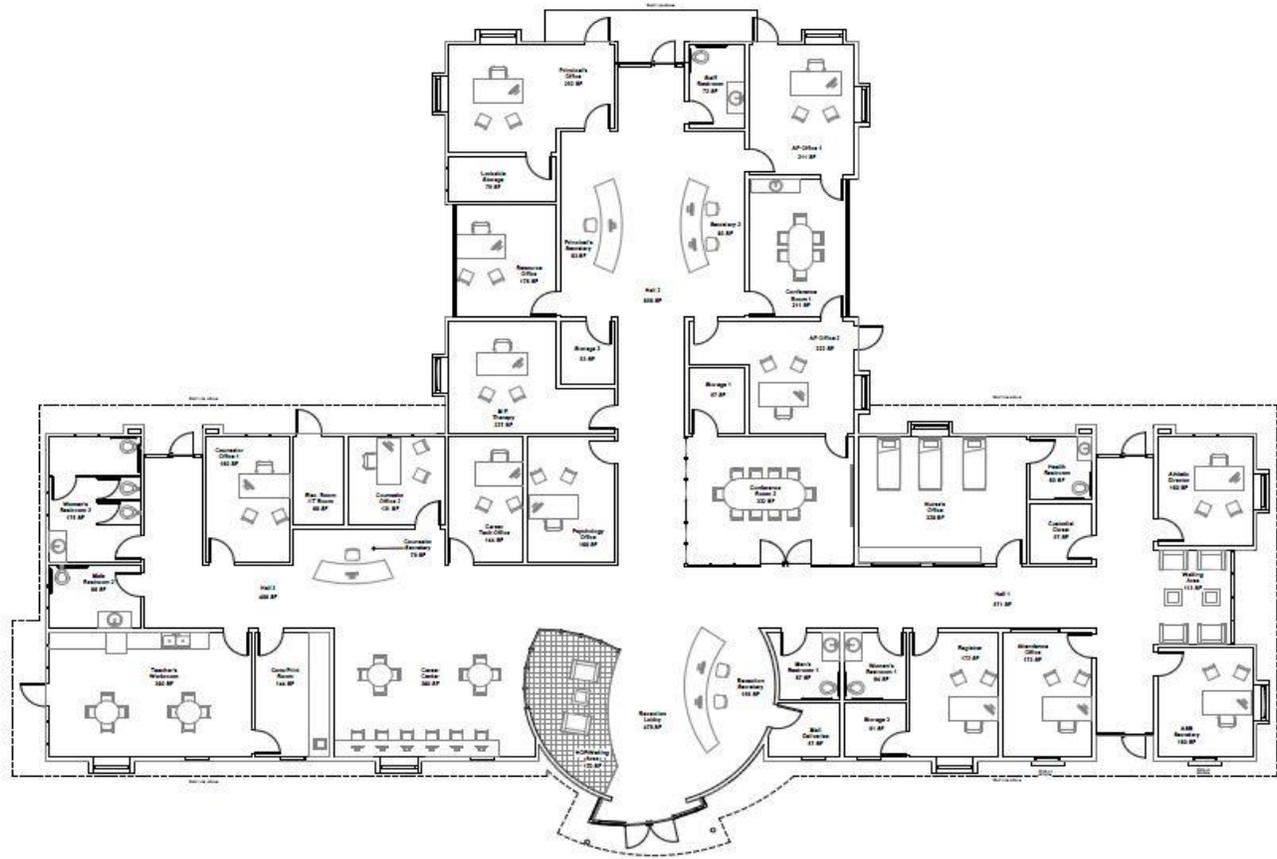
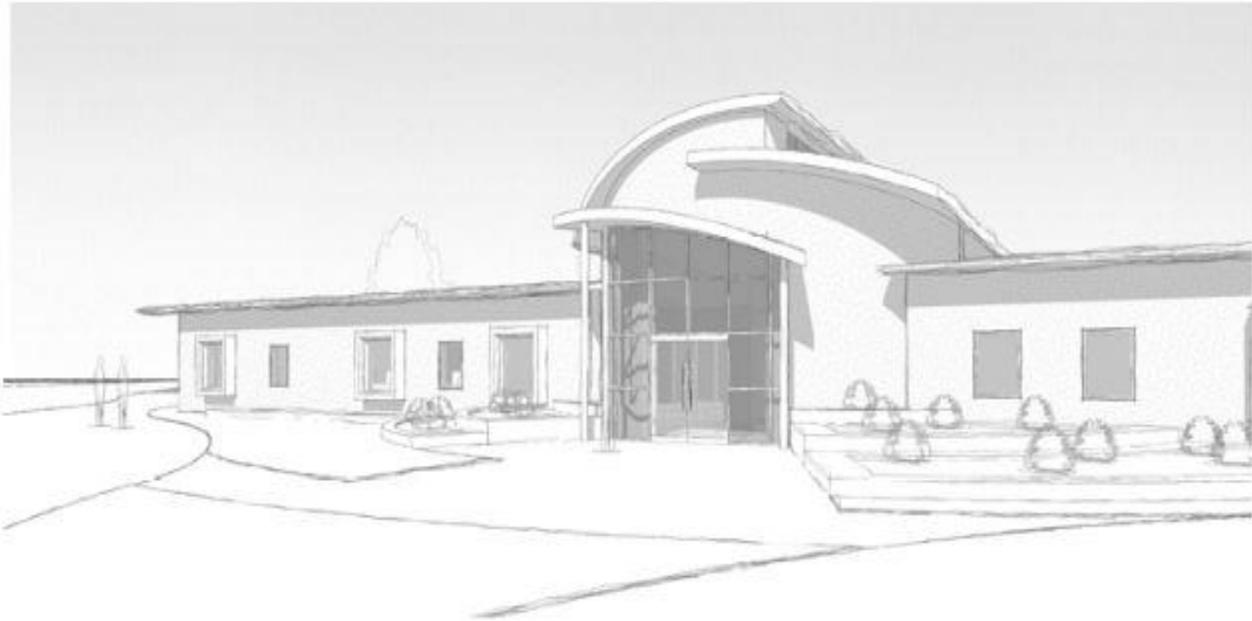


Figure 5: Student Services Building Floor Plan
Morro Bay High School, 235 Atascadero Road, Morro Bay, CA
Proposed Modernization Project with New Pool & Student Services Building



**Figure 6: Student Services Building Elevation Simulation
Morro Bay High School, 235 Atascadero Road, Morro Bay, CA
Proposed Modernization Project with New Pool & Student Services Building**



⑤ Perspective View - Looking to Main Entry

Figure 6: Student Services Building Simulation
Morro Bay High School, 235 Atascadero Road, Morro Bay, CA
Proposed Modernization Project with New Pool & Student Services Building



II. ENVIRONMENTAL SETTING AND IMPACTS

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the Environmental Checklist on the following pages.

X	1. Aesthetics		10. Land Use/Planning
	2. Agricultural Ressources		11. Mineral Resources
X	3. Air Quality	X	12. Noise
X	4. Biological Resources		13. Population/Housing
X	5. Cultural Resources / Tribal Cultural Resources		14. Public Services
	6. Geology/Soils		15. Recreation
	7. Greenhouse Gas Emissions		16. Transportation/Circulation
	8. Hazards/Hazardous Materials		17. Utility/Service Systems
	9. Hydrology/Water Quality		18. Mandatory Findings of Significance

FISH AND GAME FEES

	The Department of Fish and Wildlife has reviewed the CEQA document and written no effect determination request and has determined that the project will not have a potential effect on fish, wildlife, or habitat (see attached determination).
X	The project has potential to impact fish and wildlife resources and shall be subject to the payment of Fish and Game fees pursuant to Section 711.4 of the California Fish and Game Code. This initial study has been circulated to the California Department of Fish and Wildlife for review and comment.

STATE CLEARINGHOUSE

X	This environmental document must be submitted to the State Clearinghouse for review by one or more State agencies (e.g. Cal Trans, California Department of Fish and Wildlife, Department of Housing and Community Development). The public review period shall not be less than 30 days (CEQA Guidelines 15073(a)).
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III. DETERMINATION (To be completed by the Lead Agency):

On the basis of this initial evaluation:

	I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
X	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made, by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
	I find that the proposed project MAY have a “potentially significant” impact(s) or “potentially significant unless mitigated” impact(s) on the environment, but at least one effect (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (1) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (2) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION , including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Cindy Jacinth
Signature

3-1-16
Date

Cindy Jacinth , Associate Planner

For: Scot Graham
Community Development Manager

With Public Hearing

Without Public Hearing

Previous Document: N/A

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section 19, "Earlier Analysis," as described in (5) below, may be cross-referenced).
5. Earlier analysis may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063 (c) (3) (D)). In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they addressed site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. The explanation of each issue should identify:
 - a) The significance criteria or threshold, if any, used to evaluate each question; and
 - b) The mitigation measure identified, if any, to reduce the impact to less than significance

IV. ENVIRONMENTAL CHECKLIST

1. AESTHETICS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Have a substantial adverse effect on a scenic vista?			X	
b. Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within view of a state scenic highway?			X	
c. Substantially degrade the existing visual character or quality of the site and its surroundings?			X	
d. Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?		X		

Environmental Setting:

The General Plan and Local Coastal Plan contain policies that protect the City’s visual resources. To the east of the project site is Highway 1 which is identified as a “scenic highway”. This site is located at 235 Atascadero Road, approximately 500 feet west of the intersection of Highway 1 and Highway 41, which is considered a principal entryway to the City. The City’s entryways are important with regard to preserving and enhancing visual amenities. The campus is bordered on the north by the Cloisters Residential development with willow and coastal dune scrub vegetation; on the east by Highway 1; on the south by a trailer park, RV park, motels, and patches of ruderal and willow/ice plant vegetation. The campus is bordered on the west by a double row of planted Monterey cypress trees and coastal dune scrub habitat along Morro Strand State Beach that is a mapped ESHA (Environmentally Sensitive Habitat area) identified in the City’s Local Coastal Plan (LCP). The majority of the campus is ringed by rows of non-native Monterey cypress trees which serves to screen the large 55 acre campus. The immediate neighboring properties are developed with a mixture of commercial and visitor-serving uses with industrial development of the City’s wastewater treatment plant and Corporation yard to the south.

Impact Discussion:

a., c. The proposed development would not block a publicly recognized scenic vista, nor are there scenic resources on the site itself that would be impacted by development. The scenic views in the vicinity include Morro Rock and the Pacific Coastline, both of which are west of the site. Visual simulations submitted illustrate the proposed location of the pool with its single-story accessory buildings (storage buildings, shower facilities, equipment room, ticket/snack kiosk), and the proposed Student Services Building (SSB) to be located on the south and south-east side of the campus respectively. Although a single-story building, the center portion of the Student Services Building is proposed at approximately 25 feet with clear story windows on a second level to provide natural light through the building corridor. The SSB will be screened from the street by existing vegetation and a distance of 414 feet to the east property line and 90 feet to the south property line. The pool facility will be screened by a masonry wall 10 feet tall and setback 202 feet from the south property line and 386 feet to the west property line.

The SSB visibility is depicted in the visual simulation as shown on plans. The simulation identifies segments of the structure that will be visible from the Highway 1 on-ramp. The structure is screened primarily by existing solar panels structures in the school’s eastern parking lot. As stated, the SSB building will be sited approximately 414 feet west of Highway 1 and 90 feet north of Atascadero Road. With the combination of the screening of existing vegetation and distance of these two new facilities, they would therefore not have a substantial adverse effect on a scenic vista. Future Master Plan projects consisting of improvements to paths, running track/bleachers, parking remodeling of building interiors and addition of square footage to the Performing Arts Center are to be planned over a ten year period and will not have substantial impacts to scenic vista or scenic resources because they are improvements of existing campus facilities primarily located in the center of the campus away from Highway 1 to the east and the Pacific Ocean to the west. Review and approval of final architectural design, including

appropriateness of features will be made by the Planning Commission. Future development projects will be required to obtain a Coastal Development Permit as required by the City's Local Coastal Plan.

b. Currently the site of the Morro Bay High School, the project site is comprised of various school buildings, parking lot, miscellaneous flatwork, fencing, and athletic fields. Located west of the intersection of Highway 1 and Highway 41, the campus is near a principal entryway to the City. The scenic view from Highway 1 to the ocean will not be substantially affected by the new construction of the pool and Student Services Building or proposed Master Plan projects. The proposed height of the new structures is under the maximum building height of 25 feet allowed for in this zoning district. Future Master Plan projects as they are proposed will be reviewed for compliance with City standards and requirements by the Planning Commission.

A landscape master plan submitted shows turf areas, renovated landscaped areas and conversion of existing paved surfaces to landscape or permeable surface. Approximately 25 percent reduction in existing turf is proposed with drought tolerant plantings installed for water use reduction. Thirty-three diseased mostly conifer, and acacia and juniper trees are proposed to be removed. The location of these trees are along the south side of the campus, primarily in the proposed pool location, the outdoor plaza/quad area and in the area north of the southwest solar panel parking lot. The landscaping plan shows a variety of proposed native plantings along the perimeter of the property, in the main circulation, and plaza/quad/gathering spaces as well as replanting of trees along the north fence line of the Pool Facility.

d. The project consists of improvements to an existing school campus with existing light sources. There is currently existing outdoor lighting for campus uses, both day and evening. The proposed project would allow for high school and community use of the Pool Facility to extend beyond dusk and into nighttime hours, for practices and sports activities as well as community programming which is yet to be determined based on Recreation Department programming. New lighting is proposed in two areas. The new pool facility proposes an LED scoreboard and exterior overhead lighting which could produce a new source of lighting and glare during evening hours. The electrical plan shows LED sports lighting fixture within the Pool Facility at each end of the pool, facing north and facing south. A lighting plan submitted with the plan details the amount of light spillage around the perimeter of the pool facility. The lighting plans shows the foot-candle within 30 feet of the pool facility does not exceed 31 horizontal foot-candles. (A foot-candle is how bright the light is one foot away from the source). Project plans depict lighting schedule which shows wall mounted lighting and also four 50 foot tall mounted light poles proposed within the Pool Facility. The four 50 foot tall mounted light poles would be used only during water polo athletic events with two located at each short end of the pool. A photometric plan included with the project plans show the light spillage to reduce down to 6 at a distance of 30 feet from the pool with light spillage reduced to zero within 100 feet of the pool facility. The residential neighborhood to the north is 1,200 feet away, and therefore the lighting impact would be less than significant with no spillage off property.

The project also proposes new 20 foot tall outdoor skylights on campus in pedestrian walking areas for natural lighting as well as Master Plan future proposed new lighting at the athletic fields near bleachers. These are shown on plans as full-cut off lights. With the addition of a new Pool Facility, the proposed project would allow for high school and community pool events to extend beyond dusk and into nighttime hours, most notably in the winter months when the days are short. All proposed lighting is intended to adequately illuminate the pool and student services buildings and pathway and parking areas to assure safety for campus users. Implementation of the proposed lighting system would change daytime and nighttime views of the project site. As shown on the plans, the Pool Facility would have the majority of new lighting added which includes an LED scoreboard, overhead lighting necessary to illuminate the pool, however, with the size of the campus, and the pool located away from residential uses to the north, the amount of lighting would be reduced to a less than significant level at the school property lines.

The project will be required to conform to City standards for lighting installations and operational standards, which require downward shielded lighting and prohibit sky-reflected glare from buildings or portions thereof shall be so light from or being directed to, or allowed to spill off-site. However, both the pool facility lighting and the proposed skylights are located in the center of campus in an area that will not spill off-property due to the size of the 55 acre campus. Future Master Plan projects including existing building renovations, and pathway/parking improvements and upgrades will also be required to conform to City lighting standards that prohibit unshielded lighting or spillage

off property. Future Master Plan projects will also be required to seek City planning approval as required by the City's Local Coastal Program. Conformance with these standards will ensure that the proposed project will not create a new source of substantial light or glare or affect nighttime views in the area and shielded from State Highway 1.

Mitigation and Monitoring:

AES Impact 1 **Development of the project, including proposed new lighting at the Pool Facility and Master Plan projects to include new lighting at athletic fields could exceed City of Morro Bay's performance standards and produce adverse glare and light to surrounding uses.**

AES Impact 1 **Visibility of night lighting and daytime glare would adversely affect views resulting in a direct long-term impact.**

AES/mm-1 *Prior to start of construction, a comprehensive lighting plan shall be submitted for review and approval by the City. The lighting plan shall be prepared using guidance and best practices endorsed by the International Dark Sky Association. The lighting plan shall address all aspects of the lighting, including but not limited to all buildings, infrastructure, parking and driveways, paths, recreation areas, safety, and signage. The lighting plan shall include the following at minimum:*

- a) The point source of all exterior lighting shall be shielded from offsite views.*
- b) Light trespass from exterior lights shall be minimized by directing light downward and utilizing cut-off fixtures or shields.*
- c) Lumination from exterior lights shall be the lowest level allowed by public safety standards.*
- d) Exterior lighting shall be designed to not focus illumination onto exterior walls.*
- e) Any signage visible from offsite shall not be internally laminated..*

Monitoring: The City of Morro Bay Community Development Department would verify implementation of these design details through review and approval of the lighting plan prior to start of construction for the project.

Conclusion: With implementation of these measures, aesthetics impacts would be less than significant.

<p>2. AGRICULTURAL RESOURCES:</p> <p>In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocol adopted by the California Air Resources Board.</p> <p>Would the project:</p>	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>a. Convert prime farmland, unique farmland, or farmland of statewide importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?</p>				X
<p>b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?</p>				X
<p>c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?</p>				X
<p>d. Result in the loss of forest land or conversion of forest land to non-forest use?</p>				X
<p>e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?</p>				X

Environmental Setting:

The project site is an existing public high school and designated as SCH (School) zoning. The property and surrounding areas are not zoned for agricultural uses, nor has the site historically been used for farming or designated as prime farmland. The site is identified as urban and built up development on the California Department of Conservation Map of Important Farmland Finder, 2014.

Impact Discussion:

a-e) The site and surrounding land uses are not zoned for or suitable for agricultural uses. Also, the site does not contain agricultural soils of any importance nor is there surrounding agricultural farm land or forest land. Therefore the project will not impact farmland or forestland and have no impacts on agricultural resources.

Mitigation and Monitoring: Not Applicable.

Conclusion: No impacts related to Agricultural Resources have been identified.

3. AIR QUALITY	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:				
a. Conflict with or obstruct implementation of the applicable air quality plan?			X	
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?		X		
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative thresholds for ozone precursors)?			X	
d. Expose sensitive receptors to substantial pollutant concentrations?			X	
e. Create objectionable odors affecting a substantial number of people?			X	

Environmental Setting: The project area is located in the South Central Coast Air Basin (SCCAB). The SCCAB consists of San Luis Obispo County and a portion of Santa Barbara County north of the Santa Ynez Mountain ridgeline. Atmospheric pollutant concentrations in the SCCAB are generally moderate, due to persistent west-to-northwesterly winds that blow off the Pacific Ocean and enhance atmospheric mixing. Although meteorological conditions in the project area are usually conducive to pollutant dispersal, pollution can sometimes accumulate during the fall and summer months when the Eastern Pacific High can combine with high pressure over the continent to produce light winds and extended inversion conditions in the region. As a result, Morro Bay is considered a non-attainment area for particulate matter less than 10 microns in diameter (PM10) and ozone (O₃). State law requires that emissions of non-attainment pollutants and their precursors be reduced by at least 5% per year until the standards are attained. The Clean Air Plan (CAP) for San Luis Obispo County was developed and adopted by the Air Pollution Control District (APCD) to meet that requirement. The CAP is a comprehensive planning document designed to reduce emissions from traditional industrial and commercial sources, as well as from motor vehicle use. According to the APCD “CEQA Air Quality Handbook” (2012), both construction activities and ongoing activities of land uses can generate air quality impacts. The APCD has established the threshold of significance as project construction activities lasting more than one quarter and land uses that generate 1.25 or more pounds per day (PPD) of diesel particulate matter, .25 PPD of reactive organic gases, oxides or nitrogen, sulfur dioxide, or fine particulate matter, or more than 550 PPD of carbon monoxide, as having the potential to affect air quality significantly.

The proposed project area is located in a candidate area for Naturally Occurring Asbestos (NOA), which has been identified as a toxic air contaminant by the California Air Resources Board (ARB). Serpentine is a very common rock and has been identified by the ARB as having the potential to contain naturally occurring asbestos. The proposed project would result in grading activities and therefore naturally occurring asbestos may be encountered. Under the ARB Asbestos Airborne Toxics Control Measure (ATCM) for Construction, Grading, Quarrying, and Surface Mining Operations, prior to any construction or grading activities at the site, the applicant must comply with all applicable requirements outlined in the Asbestos ATCM, which include preparation of an Asbestos Dust Mitigation Plan and/or an Asbestos Health and Safety Program.

Impact Discussion:

Operational Screening Criteria for Project Impacts:

a-c) The project includes a new Pool Facility and Student Services Building with master planning for an overall

modernization of various facilities on the existing 55 acre campus located at 235 Atascadero Road. Specifically, the new Pool Facility and Student Services Building also includes renovation of campus landscape/quad areas providing upgrades to pedestrian path, addition of parking spaces with connections to new facilities. The project is consistent with the goals and policies of the City of Morro Bay General Plan and is consistent with the APCD's CEQA Handbook and Clean Air Plan. Based on reference of Table 1-1 of the SLO County APCD CEQA Air Quality Handbook for use designated as high school, both thresholds of significance for the APCD Annual Bright Line threshold (MT CO_{2e}) and reactive organic gases (ROG) and oxides of nitrogen (NO_x) would not be exceeded by the proposed project. The addition of a new Pool Facility and Student Services Building along with a Master Plan for future modernization of the school campus and buildings would be below operational thresholds of significance.

Temporary impacts from the project, including but not limited to grading and construction activities, vehicle emissions from heavy duty equipment and naturally occurring asbestos, has the potential to create dust and emissions that exceed air quality standards for temporary and intermediate periods. The area of disturbance for the pool area and Student Services Building is approximately 3 acres of disturbance with the majority of disturbance in the area of the Student Services Building. Areas of cut are limited primarily to the south portions of the campus, where the Pool Facility will be constructed and east of that where the Student Services Building will be constructed. Truck and equipment traffic would utilize major roadways and the number of daily vehicle trips that would be generated during construction would not add substantially to local traffic volumes.

Construction and operational emissions that would result from the proposed project were calculated using CalEEMod, pursuant to the CEQA Handbook and found to be under the threshold which would trigger mitigation. The construction period of the pool and Student Services Building is anticipated to last a year, longer than the one quarter threshold, and would likely result in construction fugitive dust emissions that could be a nuisance to students while school is in session. Mitigation is recommended during construction activities to reduce this to a level less than significant as detailed in AQ/mm-1. No significant long-term fugitive dust emissions are expected to occur and no long term mitigation measures are recommended.

d) Sensitive receptors typically include residential uses. The school itself is also a sensitive receptor, especially if construction activities occur during the school year or while students are in session. The types of construction projects that typically require a more comprehensive evaluation include large-scale, long-term projects within 1,000 feet of a sensitive receptor location. The construction of a new Pool Facility and Student Services Building and Master Plan long-range project to provide circulation upgrades, building interior and façade upgrades as well as running track improvements falls below the threshold required for mitigation because of the size of the 55 acre campus with the proposed work either in the central part of the campus or to the south is more than 1000 feet from sensitive receptors (such as the Cloisters residential neighborhood, and the residential neighborhood east of Highway 1) and is therefore considered less than significant. However, it is recommended that standard APCD mitigation be added to the project to minimize impact of diesel particulate matter (DPM) to sensitive receptors (AQ/mm-1).

e) No objectionable odors would be produced from the project during or following construction. Standard construction practices required by the Municipal Code will be imposed upon the project and the project will be subject to comply with all permit requirements for demolition or grading including APCD notification requirements.

Conclusion: *Potentially short-term significant impacts on air quality resources. The project is subject to standard construction practices, including dust control measures required by the Municipal Code and review by the APCD to address short-term air quality impacts related to construction. All permit conditions are required as notes on the plans.*

Mitigation:

AQ Impact 1 Construction activities associated with development of the proposed project could generate dust that could be a nuisance to adjacent sensitive receptors.

AQ/mm-1

Prior to issuance of grading and construction permits, the applicant shall include the following notes on applicable grading and construction plans, and shall comply with the following standard mitigation measures for reducing fugitive dust emissions such that they do not exceed the APCD's 20 percent opacity limit (APCD Rule 401) and do not impact off-site areas prompting nuisance violations (APCD Rule 402) as follows:

- a) Reduce the amount of disturbed area where possible;*
- b) Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible;*
- c) All dirt stockpile areas should be sprayed daily as needed;*
- d) Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible, following completion of any soil disturbing activities;*
- e) Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating, non-invasive, grass seed and watered until vegetation is established;*
- f) All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;*
- g) All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.*
- h) Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site;*
- i) All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with California Vehicle Code Section 23114;*
- j) Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site;*
- k) Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible;*
- l) All PM₁₀ mitigation measures required shall be shown on grading and building plans; and*
- m) The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20 percent opacity, and to prevent transport of dust off-site. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading, earthwork or demolition.*

AQ Impact 2 Construction activities associated with development of the proposed project could generate dust that could be a nuisance to adjacent sensitive receptors.

AQ/mm-2 Prior to start of construction, the applicant shall submit a geologic evaluation that determines if naturally occurring asbestos (NOA) is present within the area that will be disturbed. If NOA is not present, an exemption request shall be filed with the District. If NOA is found at the site, the applicant shall comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program for approval by the APCD.

With implementation of these measures, air quality impacts would be less than significant.

Monitoring:

Copies of regulatory forms will be submitted to the APCD for review and approval, consistent with existing regulations. The applicant is required to submit approval documentation from APCD to the City Environmental Coordinator/Community Development Department. Monitoring or inspection shall occur as necessary to ensure all construction activities are conducted in compliance with the above measures. Measures also require that a person be appointed to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20 percent opacity, and to prevent transport of dust off-site. All potential violations, remediation actions, and correspondence with APCD will be documented and on file with the City Community Development Department /Environmental Coordinator.

4. BIOLOGICAL RESOURCES	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?			X	
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife service?				X
c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc) through direct removal, filling, hydrological interruption, or other means?				X
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?			X	

EXHIBIT B

e.	Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?		X		
f.	Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state habitat conservation plan?				X

Environmental Setting: The applicant provide a Biological Resources Assessment (Sage Institutes, June 1, 2015) that reviewed background information, conducted multiple fields surveys of the project site and conducted a suitability assessment for Morro shoulderband snail and delineated ESHA (environmentally sensitive habitat area) boundary where the west side of the campus site abuts coastal dune scrub habitat as identified on the City’s Land Use Map and noted in both the General Plan and Local Coastal Plan (LCP). The results of the assessments are provided below. The campus is bordered on the north by the Cloisters Residential development with willow and coastal dune scrub vegetation; on the east by Highway 1; on the south by a trailer park, RV park, motels, and patches of ruderal and willow/ice plant vegetation. The campus is bordered on the west by a double row of planted Monterey cypress trees and coastal dune scrub habitat along Morro Strand State Beach.

The 2015 biological assessment documented existing conditions of the study area and evaluated the potential for any direct or indirect potentially significant impacts on biological resources or adverse effects on any rare, threatened, or endangered plant or wildlife species (special-status species).

Soils

The USDA Natural Resources Conservation Services (NRCS) identified three soil series on the campus that include Concepcion Loam, Dune Land, and Psamments and Fluvents. The report concluded that given the developed nature of the campus, there is no longer a natural soil profile within the study area. Visible areas observed during the biological resources assessment were mostly sandy soil.

Vegetation

The campus is ringed with planted rows of Monterey cypress with myoporum, tea tree, and other non-native trees scattered throughout the campus.

Wildlife

The report concluded that given that the site surrounded by urban development on three side, wildlife use ,is likely limited with generally low wildlife values attributed to this site. The coastal dune scrub habitat to the west may provide habitat for dune wildlife, but the fencing, row of cypress trees with established walking trail and no understory vegetation essentially provides a barrier/border to wildlife movement along the developed western campus edge.

Special-Status Species and Natural Communities of Special Concern

Special-status species are those plants and animals listed, proposed for listing or candidates for listing as threatened or endangered by the U.S. Fish and Wildlife Service (USFWS) or the National Marine Fisheries Service (NMFS) under the federal Endangered Species Act (FESA).

Impact Discussion:

a-c) The campus area which comprises the project is developed area and is classified as urban land. The Biological Resources Assessment dated June 1, 2015 classifies the study area as urban land. The study area supports a patchwork of landscaping and does not support any habitat meeting conventional habitat or plant community classification systems. Vegetation is composed of native and non-native plants in existing landscaped areas, and ruderal (disturbed) areas in and around the livestock area, developed buildings, and parking lots.

A search and review in the Biological Assessment of the California Natural Diversity Database (CNDDDB) revealed recorded occurrences for 40 special-status plant species, two species of lichen, 24 special-status wildlife species, and 6 natural communities of special concern within a five mile radius of the project site. However, while the CNDDDB list is exhaustive, the field surveys of the developed campus resulted in no observations of any rare, threatened or endangered plant species within the study area. Further, the developed campus study area does not support any natural habitats and does not support any suitable habitat for special status plants. Table B-2 of the Biological Assessment provides further habitat suitability requirement detail support this conclusion. The project site is an existing disturbed high school campus site that does not contain any known habitat, special status species or wetlands; therefore, no impacts on biological resources would result.

d.) The CNDDDB search revealed the recorded occurrences of 23 special-status wildlife species within the Morro Bay North and Morro Bay South 7.5 minutes quadrangle search radius of the project site. As with the special-status plant species, the study area does not support any native habitat types suitable for any special special-status wildlife species. The Biological Resources Assessment included a protocol-level habitat assessment for Morro shoulderband snail. The CNDDDB has a recorded occurrence polygon for MSS in the dune scrub habitat which borders the western edge of the study area. As noted in the assessment, the MSS species is typically associated with sandy soils that support coastal dune, coastal dune scrub, and maritime chaparral plant communities that are in backdune or stabilized dune systems. The assessment identifies key potential MSS habitat features within and adjacent to the survey area. The protocol-level survey and habitat assessment conducted within the project area found no live MSS or empty MSS shells. One empty Big Sur shoulderband snail shell was found on the southern property boundary, near the western entrance to the school property. Also, the habitat assessment found no native habitat elements suitable for MSS present within the project area. Several large areas of ice plant, turf grass, landscape beds, and beds of wood chip mulch occur in the project area but are isolated from adjacent habitat around the southwest campus area by parking lots, access roads, and buildings. Therefore, these areas were determined to be unsuitable for the MSS. In addition, the coastal dune scrub habitat present in the dunes to the west of the school where there is MSS occurrence is separated from school grounds by a double row of non-native planted Monterey cypress trees, along with a unvegetated walking path and parking area to the south that creates a barrier to any potential MSS movement onto the project areas. Based on the negative findings of the protocol MSS survey and habitat assessment that documented no MSS or MSS shells were observed, the lack of suitable MSS habitat on the site, the cypress tree barrier separation from suitable MSS habitat in the surrounding area, and ongoing campus activities for over 50 years, no impact on MSS or MSS habitat would result from project implementation.

e. The project proposes to remove 33 mostly diseased conifer trees primarily located along the south side and south-central portion of the campus. Approximately 12 of the 33 trees removed are proposed to be in the area of pool construction; 13 in the general area of the existing center outdoor plaza/quad area used by students; and the remaining 9 trees would be in the general area of the new Student Service Building, and nearby outdoor plaza area to the east. None of the Monterey Cypress trees which screen the campus on the west side adjacent to the beach or on the east side which screen Highway One are proposed for removal. Under the City's Major Vegetation Guidelines policy, tree removal requirements are replacement at a 2 to 1 ratio for 5 gallon or a 1 to 1 ratio if the new tree is a minimum of 15 gallon in size. The proposed project includes plans which denotes the required replacement of diseased conifers by coastal adapted broadleaf evergreen trees or pitch canker resistant conifers, with most new trees planted at the north end of the Pool Facility and near the Student Services Building as either 5 gallon or 24" box size. In addition, the City's Major Vegetation Guidelines also prohibit tree removal during bird nesting season.

The Biological Resources Assessment recommends mitigation to reduce potentially significant impacts on biological resources in regards to vegetation removal and initial site disturbance if conducted during bird nesting season. Mitigation would require that vegetation removal and initial site disturbance only be conducted between September 1 and January 31 or if planned for the bird nesting season between February 1 to August 31, then preconstruction nesting bird surveys shall be conducted by a qualified biologist to determine if any active nests would be impacted by project construction, with avoidance of nest sites by establishment of a non-disturbance buffer zone around active nests as determined by a qualified biologist. With incorporation of Mitigation Measure BIO-1, implementation of the proposed project would not result in any substantial adverse effect or significant impact to biological, botanical, wetland or riparian habitat resources and therefore impacts would be reduced to a level less than significant.

e-f) No policies or ordinances protecting biological resources; or adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan govern the project site

Mitigation and Monitoring:

BIO Impact 1 Development of the project, including tree removal and initial site disturbance, could potentially adversely affect nesting birds.

Mitigation Measure BIO- 1: To reduce any potentially significant impact on nesting birds from vegetation and tree removals, the following mitigation measures are recommended:

BIO/mm-1: Vegetation removal and initial site disturbance shall be conducted between September 1 and January 31 outside of the nesting season for birds. If vegetation and/or tree removal is planned for the bird nesting season (February 1 to August 31), then preconstruction nesting bird surveys shall be conducted by a qualified biologist to determine if any active nests would be impacted by project construction. If no active nests are found, then no further mitigation shall be required.

BIO/mm-2: If any active nests are found that would be impacted by construction, then the nest sites shall be avoided with the establishment of a non-disturbance buffer zone around active nests as determined by a qualified biologist. Nest sites shall be avoided and protected with the non-disturbance buffer zone until the adults and young of the year are no longer reliant on the nest site for survival as determined by a qualified biologist. As such, avoiding disturbance or take of an active nest would reduce potential impacts on nesting bird to a less than significant level.

Monitoring:

Prior to start of construction, the qualified biologist conducting the survey for active bird nests shall provide the City of Morro Bay Community Development Department /Environmental Coordinator with a written copy of survey results.

Conclusion: With implementation of the above mitigation measures, impacts related to Biological Resources would be reduced to a level less than significant.

5. CULTURAL RESOURCES		Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a.	Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines Section 15064.5?				X
b.	Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines Section 15064.5?		X		
c.	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?			X	
d.	Disturb any human remains, including those interred outside of formal cemeteries?		X		

Environmental Setting: The proposed project will affect several areas on the campus of Morro Bay High School, including current parking areas, landscaped areas, and building locations where ground disturbing activities will occur primarily for construction of the new Pool Facility and Student Services Building. The campus is located north of Atascadero Road, west of Highway 1, south of the Cloisters residential development, and east of the Pacific Ocean. The campus was originally constructed in 1958 and is currently developed with built-environment features (high school campus) and the native ground surface is mostly overlain by fill material. A Phase 1 Archaeological Inventory Survey was prepared by Cultural Resource Management Services (CRMS, April 2015) which discusses the archaeological significance and ethnographic history of Morro Bay with this area as Obispeno Chumash and Salinan territory. Previous archaeological study have placed the northern boundary of the Obispeno Chumash and the southern boundary of the Salinan territory just north and east of the town of Morro Bay (Kroeber, 1925), where other archaeological study place the boundary further north near the Monterey county line (Greenwood, 1978; Gibson, 1983; Rivers and Farris, 1994). A records search revealed three recorded archaeological sites, and 19 previous cultural resource surveys have been performed within this area. The CRMS Phase 1 Archaeological Survey provides recommendations which are discussed below.

Impact Discussion:

a) The site does not contain any known historic resources as defined in the CEQA Guidelines Section 15064.5. A field reconnaissance of the property conducted on March 26, 2015 by CRMS observed occasional small fragments of abalone and Pismo clam throughout the campus. None of them appeared to be prehistorically or historically significant (CRMS, 2015).

b) The property is within the boundaries of two known archaeological sites (SLO-2142 and SLO-2143) and is west of the boundaries of a third site (SLO-165). The project has been previously surveyed multiple times during past High School improvement projects and ground disturbing activities. The CRMS survey found that these sites do contain confidential cultural deposits. A field reconnaissance of the property conducted on March 26, 2015 by CRMS found no evidence of significant historic or prehistoric archaeological resources within the project area. However, the nature of surface survey does not preclude the possible existence of remains, especially in a region that has been demonstrated to be archaeologically sensitive.

In addition new legislation, Assembly Bill 52, became effective July 1, 2015 which requires formal consultation with Native American tribes in order to protect tribal cultural resources. Consultation initiation letters were sent to seven local tribes with connection to Morro Bay. Two tribes responded in writing and requested that culturally affiliated Native American monitor be present during ground disturbing activities as well as CRMS as the archaeological monitor and Mitigation Measure CR-1 has been recommended to ensure that the appropriate monitors are present.

The results of numerous archaeological investigations and excavations in the immediate vicinity of the project area indicate there is a likelihood that significant cultural resources will be encountered during the course of construction of the Pool Facility and Student Services Building/ Master Plan projects. With implementation of Mitigation Measure CR-1, the impacts would be reduced to a level less than significant.

c-d) The area of proposed ground disturbance does not contain any known unique paleontological resources or geologic features identified on city maintained maps, or known human remains. However, the site is within an archaeologically sensitive area and there is the potential that materials (including but not limited to unique paleontological or geologic resources or human burials) could be encountered given the known historic and archaeological history of the site. Please refer to above paragraph CR-b, for further discussion and recommended mitigation measure CR-1, which will ensure proper treatment of any cultural resources, should they be discovered during construction activities.

Mitigation and Monitoring:

CR Impact 1 Ground disturbance associated with development of the project, including initial site disturbance, grading/excavation activities for the Pool Facility and Student Services Building / Master Plan project could potentially adversely affect cultural resources.

Mitigation Measure CR- 1: Both a culturally-affiliated Native American monitor and a qualified archaeologist as recommended by the Phase 1 Archaeological Survey (CRMS, 2015) shall be present during any ground disturbing activity within the proposed project area. The School District shall notify the City of Morro Bay Community Development Department upon start of construction.

CR/mm-1 Prior to start of construction, the applicant shall submit to the City of Morro Bay Community Development Department an Archaeological Monitoring Plan for review and approval. The plan shall include, at minimum:

- a) Archaeological and Native American monitoring of all initial site disturbance and initial grading. Archaeological and culturally-affiliated Native American monitors shall be approved by the City.*
- b) A list of all personnel involved in the monitoring activities.*
- c) Clear identification of what portions of the project (e.g., phases, areas of the site, types of activities) would require monitoring.*
- d) Description of how the monitoring shall occur.*
- e) Description of monitoring frequency.*
- f) Description of resources expected to be encountered.*
- g) Description of circumstances that would result in work stoppage or diversion in the case of discovery at the project site.*
- h) Description of procedures for stopping or diverting work at the project site and notification procedures.*
- i) Description of monitoring reporting procedures.*

CR/mm-2 In the event that intact and/or unique archaeological artifacts or historic or paleontological resources are encountered during grading, clearing, grubbing, and/or other construction activities associated with the proposed project involving ground disturbance, all work in the immediate vicinity of the find shall be stopped immediately, the onsite archaeological and Native American monitors shall be notified, and the resource shall be evaluated to ensure the discovery is adequately recorded, evaluated and, if significant, mitigated.

CR/mm-3 Upon completion of all monitoring and mitigation activities, and prior to final inspection or occupancy, whichever occurs first, the Applicant shall submit to the City of Morro Bay Community Development Department a report summarizing all monitoring and mitigation activities and confirming that all recommended mitigation measures have been met.

Monitoring: The City Community Development Department / Environmental Coordinator shall verify compliance with this measure.

Conclusion: With implementation of the above mitigation measures, impacts related to Cultural Resources would be reduced to a level less than significant.

6. GEOLOGY /SOILS	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:			X	
i Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? (Refer to Division of Mines and Geology Publication 42)			X	
ii Strong Seismic ground shaking?			X	
iii Seismic-related ground failure, including liquefaction?			X	
iv Landslides?				X
b. Result in substantial erosion or the loss of topsoil?			X	
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?			X	
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?				X
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X

Environmental Setting: The site is located within the Tidelands area of the Morro Bay Estuary, on the coastal edge of the Santa Lucia Range, within the Coast Range Geomorphic Province of California. The 55 acre site is currently occupied by the Morro Bay High School campus consisting of school buildings, parking, walking pathways, and athletic fields. The General Plan Safety Element depicts landslide prone areas, flood prone areas, areas of high liquefaction potential, and areas of potential ground shaking. There are no known active faults within the City limits.

Impact Discussion:

a) The Southern Coast Ranges Province is one of the most complex geologic provinces in the state, characterized by a number of sub-parallel structural blocks bounded by several on- and off-shore faults. There are no official maps of Alquist-Priolo Earthquake Fault Zones in or near the City of Morro Bay, and the site is not within a State Earthquake Fault Zone. The closest active fault to the project site is the Los Osos Fault, approximately 3.5 miles to the south/southwest, which is not a fault with historic surface rupture. The closest mapped fault to the site (regardless of activity) is the Cambria Fault located approximately 2.5 miles from the project site.

The project site is located in a region of generally high seismicity, and has the potential to experience strong ground shaking from earthquakes on regional and/or local causative faults. Based on the location of known faults, the

potential for surface fault rupture is low. There is a high potential for existing soil slumps to reactivate as a result of strong ground shaking from a seismic event.

Liquefaction occurs when saturated, cohesionless soils lose strength due to earthquake shaking. The presence of loose, poorly graded, fine sand material that is saturated by groundwater within an area known to be subjected to high intensity earth quakes and long-duration ground motion are the key factors that indicate potentially liquefiable areas and conditions that could lead to liquefaction.

The School District, will be subject to the standards of the State Division of the State Architect (DSA). The DSA provides design and construction oversight for K-12 school, community colleges, and various other state-owned and leased facilities. The division also develops accessibility, structural safety, and historical building codes and standards utilized in various public and private buildings through California. The DSA requires structures be built to withstand earth-shaking events or remain standing in the event of an earthquake. The site is located in an area that has the potential for ground shaking and a moderate to high liquefaction potential and the proposed new structures will be required by the State DSA to be in compliance with existing Building Code requirements. Therefore, potential impacts would be less than significant.

b) The subject site is a previously developed existing 55 acre high school campus. The area of disturbance is proposed to be graded to drain to landscaped areas or to the High School’s existing storm drain system. According to the Preliminary Stormwater Control Plan prepared by Above Grade Engineering, (May 22, 2015), the project is subject to the requirements of the State Water Resources Control Board (SWRCB). The SWRCB regulates general, post-construction Stormwater requirements for K-12 School District construction projects and are addressed by a Statewide Construction General Permit (CGP), (SWRCB Order No. 2012-0006-DWQ / 2010-0014-DWQ/ 2009-0009-DWQ). Therefore, the impact is less than significant.

c-d) The project is located on an existing developed school campus. Construction will be required to comply with all City Codes as well as the Division of the State Architect (DSA), which require proper documentation of soil characteristics for designing structurally sound buildings to ensure new structures are built to resist such shaking or to remain standing in an earthquake.

e) The proposed project is currently connected to the City’s sewer system. Septic tanks or alternative wastewater systems are not proposed and will not be used on the site.

Mitigation and Monitoring: Not applicable.

7. GREENHOUSE GAS EMISSIONS	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?			x	
b. Conflict with an applicable plan, policy of regulation adopted for the purpose of reducing the emissions of greenhouse gases?			x	

Impact Discussion: In January of 2014 the City of Morro Bay adopted Climate Action Plan, which provides a qualitative threshold consistent with AB 32 Scoping Plan measures and goals. As identified in the APCD’s CEQA Handbook (April 2012), if a project is consistent with an adopted Qualified GHG Reduction Strategy (i.e. a CAP) that addresses the project’s GHG emissions, it can be presumed that the project will not have significant GHG emission impacts and the project would be considered less than significant. This approach is consistent with CEQA Guidelines Sections 15064(h)11 and 15183.5(b). The City’s CAP was developed to be consistent with State CEQA Guidelines Section 15183.5 and APCD’s CEQA Handbook to mitigate emissions and climate change impacts, and serves as a Qualified GHG Reduction Strategy for the City of Morro Bay. Appendix C of the CAP contains a CAP

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Compliance Worksheet, which has been used to demonstrate project-level compliance. The project is in compliance with all mandatory measures including: provision of bicycle parking, pedestrian linkages and interconnectivity, construction techniques, and landscaping. The project is also required to comply with the California Green Building Standards code.

a–b) In the short-term, the proposed project could result in minor increases in emission of greenhouse gases during the site construction process of the Pool Facility, Student Services Building and Master Plan projects. Such an increase would not individually contribute to global climate change nor cumulatively contribute to global emissions of GHGs. Standard City Construction Regulations will apply to this project, which include requirements that 1) a minimum six percent of construction vehicles and equipment be electrically-powered or use alternative fuels such as compressed natural gas, and 2) The contractor will limit idling of construction equipment to three minutes and post signs to that effect. Refer to Air Quality mitigation Measures AQ/mm-1 and AQ/mm-2.

Long-term impacts would be primarily associated with vehicle trips to and from the pool, especially non-student pool visitors. However, the proposed project is consistent with the land use diagram and policy provisions of the City’s General Plan, and will result in modernization of the high school overall. City policies recognize that compact, infill development allows for more efficient use of existing infrastructure and Citywide efforts to reduce greenhouse gas emissions as the proposed project is not expanding the campus footprint but modernizing and adding a new Pool Facility and Student Services Building in existing used campus area. In addition, the campus previously had a pool facility for over 30 years but was demolished in the late 1990’s due to severe repair need. The City’s Climate Action Plan (CAP) also recognizes that energy efficient design will result in significant energy savings, which result in emissions reductions. In addition, the Division of the State Architect (DSA) is engaged with school districts and industry representatives in facilitating review and approval of energy efficient installations on school sites. Districts are encouraged to work with DSA on energy efficient solutions when modernizing existing facilities or constructing new facilities.

Conclusion: Impacts related to Greenhouse Gas Emissions would be less than significant.

Mitigation and Monitoring: Not applicable.

8. HAZARDS/HAZARDOUS MATERIALS	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			X	
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			X	
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would create a significant hazard to the public or the environment?				X

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e.	For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				X
f.	For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?				X
g.	Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
h.	Expose people or structures to a significant risk of loss, injury or death involving wild land fires, including where wild lands are adjacent to urbanized areas or where residences are intermixed with wildlands?				X

Environmental Setting: Human-caused hazards often occur as a result of modern activities and technologies. These potential hazards can include the use of hazardous materials and buildings that may be unsafe during a strong earthquake. The proposed project includes construction of a Pool Facility with accessory buildings, a new Student Services Building, associated site improvements, and Master Plan for long-term campus modernization projects.

Impact Discussion:

a-b) Development of the proposed project would not involve the routine transport, use, or disposal of significant quantities of hazardous materials, nor would there be a significant hazard through reasonably foreseeable upset and accident conditions related to release of hazardous materials. The project would routinely handle and use small quantities of commercially-available hazardous materials, such as cleaning, and landscaping and pool supplies. However, these materials would not be expected to be used in sufficient quantities to pose a threat to human health or the environment. Development of the proposed project would have a less than significant impact on the public and the environment related to routine transport, use, handling, or accidental release of hazardous materials into the environment.

c) No other schools are within 1,000 feet of Morro Bay High School. The closest school is Del Mar Elementary in north Morro Bay. The proposed modernization and new facilities at the existing high school are not considered a nuisance or have the potential to create significant impacts, as operations will not entail handling or emission of hazardous materials, substances or waste.

d) Within 500 feet of the project site there are no known Leaking Underground Tank (LUST) Cleanup Sites, and therefore there is no known significant hazard in the immediate vicinity of the project site.

e-f) The project is not located in the vicinity of an airport.

g-h) The Morro Bay High School project will not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. The San Luis Coastal Unified School District has a state-approved emergency evacuation plan in place in the event of emergency. The construction of new facilities will not impair existing circulation or parking lots on campus in a way that would prevent the District from executing its adopted emergency plans. Plans have been reviewed by the Fire Marshal and Public Works staff, who determined that as designed the project will not conflict with any emergency response plan, evacuation plan, or future plans for improvements in the immediate vicinity of State Highway 1 and Highway 41. The site is not directly adjacent to any wild lands.

Mitigation and Monitoring: Not applicable.

Conclusion: Impacts related to Hazards/Hazardous Materials would be less than significant.

9. HYDROLOGY/WATER QUALITY Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Violate any water quality standards or waste discharge requirements?			X	
b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			X	
c. Substantially alter the existing drainage pattern on the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off-site?				X
d. Substantially alter the existing drainage pattern on the site or area, including through the alteration of the course of a stream or substantially increase the rate or amount of surface runoff in a manner, which would result in flooding on- or off-site?			X	
e. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?			X	
f. Otherwise substantially degrade water quality?			X	
g. Place housing within a 100-year flood hazard area as mapped on a federal flood hazard boundary or flood insurance rate map or other flood hazard delineation map?				X
h. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?				X
i. Expose people or structures to a significant risk or loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
j. Inundation by seiche, tsunami, or mudflow?			X	

Environmental Setting:

The project site is an existing 55 acre high school campus, located west of the intersection of State Highway 1 and Highway 41. The watershed of Morro Bay is approximately 48,450 acres and is bounded by the Santa Lucia Range on the north, Cerro Romauldo to the east and the San Luis Range to the south. Eventually draining to Morro Bay, the watershed has two significant creek systems: Los Osos and Chorro Creeks. The Chorro Creek watershed drains approximately 27,670 acres, while Los Osos Creek drains 16,933 acres, the remaining area drains directly into the bay through small local tributaries or urban runoff facilities. Sixty percent of the Chorro Creek watershed is classified as rangeland, while twenty percent is brushland.

Morro Bay contains approximately 2,100 acres of water surface at low tide and approximately 6,500 acres at high tide, leaving approximately 980 acres of tidal mud flat and approximately 470 acres of salt marsh. The water quality of Morro Bay is affected by presence of nutrients, toxic substances, hydrocarbons, bacteria, heavy metals, suspended sediment, and turbidity. Studies by various authors also suggest that Morro Bay is subjected to a relatively rapid increase in sedimentation. Morro Bay, Los Osos and Chorro Creek are listed as “impaired waters” under the federal Clean Water Act, Section 303(d) and are the subject of a Total Maximum Daily Load (TMDL), which is a

calculation of the maximum amount of a pollutant that a water body can receive and still meet water quality standards.

Impact Discussion:

a) The project includes a new Pool Facility and Student Services Building / Master Plan projects. All development will be required to comply with the State Water Resources Control Board water quality standards and waste discharge requirements. School sites greater than 1 acre are subject to the requirements of the SWRCB's Construction General Permit which includes a Stormwater Pollution Prevent Plan. Construction activities associated with the proposed project would cause disturbance of soils during excavation work. The project would include addition of parking spaces and landscaping, which may potentially be sources of Stormwater runoff contaminants as the operation and parking of vehicles has the potential to introduce motor oil, metals, and sediment to runoff. New landscaping and gardens at the project site would generally be expected to improve runoff quality (relative to the existing condition). Therefore, impact would be less than significant.

b) The pool (25 yards x 35 meter size) once constructed will have a capacity of approximately 543,882 gallons of water. The City's predominant source of water to serve commercial uses is obtained from the State Water Project and will not substantially deplete ground water. The pool's impact on the City's annual water supply represents 0.105% in 1 year, based on calculating an average water use of 100 gallons of water per person per day.

c-f) No alteration of a stream or river course would occur as a result of the new Pool Facility, Student Services Building / Master Plan modernization projects. The MBHS project would be subject to the Construction General Permit (CGP) and the Post-Construction Stormwater requirement regulated by the SWRCB.

g-i) The proposed Pool Facility and Student Services Building are not located within a 100 year flood hazard area as delineated on FEMA's Flood Insurance Rate Map #06079C0813G, Panel 813 of 2050. Future Master Plan projects are also not proposed to be located within a 100 year flood hazard areas. No structures would impede or redirect flood flow nor would there be exposure to significant risk or loss of injury or death as a result of the project. The project proposes resurfacing and minimal ground disturbance to the existing athletic field on the north central side of the campus which is delineated as Zone AE. Zone AE is designated as the floodplain area where currently existing football field and baseball field are located. No structures are proposed in this area and the existing athletic fields will remain.

j) Because the project site is located relatively near the coast, a potential hazard from tsunamis exists. However there is no established methodology to predict recurrence intervals of tsunamis and the history of the Central Coast area has recorded few significant damaging incidents, with lesser damage to docks, boat and near shore structures. The last known tsunami warning occurred on March 11, 2011 when an 8.9 earthquake in Japan spawned a tsunami along the California coast. However, the tidal wave action resulted in no damage to far shore structures such as the High School campus which is 1,500 feet from shore. According to the County of San Luis Obispo's Tsunami Response Plan (rev. Aug.2011), the project is located within an area of tsunami inundation. The County's Tsunami Response Plan discussed run-up and inundation modeling and mapping which was done by the University of Southern California under contract to Cal EMA, indicates a general potential maximum inundation elevation of 40 feet above mean sea level. The County's plan however utilizes an inundation of 50 feet above mean sea level for emergency planning purposes. The existing elevation of the Pool Facility, the westernmost area of the campus proposed for development is shown on plans at 98.54 and therefore impacts to hazards are deemed to be less than significant. In addition, the sand dunes west of the project offer some protection from tsunamis. As discussed in the Safety Element of the General Plan, the most feasible protection in the event of a tsunami is a warning system and evacuation plan. The warning is handled by the United States Weather Service and both the City's Safety Element and the City's Hazard Mitigation Plan outline safety preparedness measures. Therefore, the hazard presented by tsunamis is less than significant when approved safety measures are adhered.

Conclusion: Impacts related to Hydrology and Water Quality would be less than significant.

Mitigation Monitoring: Not applicable.

10. LAND USE AND PLANNING		Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a.	Physically divide an established community?				X
b.	Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?				X
c.	Conflict with any applicable habitat conservation plan or natural community conservation plan?				X

Environmental Setting: Morro Bay High School is located at 235 Atascadero Road on an existing 52-acre campus west of the intersection of Main Street and Highway 41, and is zoned for school (SCH) uses. The immediate surrounding area is zoned commercial visitor serving with a mixture of these allowed uses. Nearby development includes a mixture of hotel, RV parks as well as industrial uses to the west and gas/ convenience stores, restaurants, retail to the east and the Cloisters residential development to the north.

Impact Discussion:

a) Morro Bay High School is a 52-acre existing campus originally constructed in 1958 and is consistent with the General Plan and Local Coastal Plan. It would not physically divide an established community.

b) The project cannot be approved unless found consistent with the City’s Local Coastal Program. The school district as a state government agency is typically exempt from the requirement of local land use approval. However, the school is located in the coastal zone, and as such is subject to the requirements of the City’s Coastal Commission-certified Local Coastal Program. Included within the LCP is the City’s Zoning Ordinance which states that per the SCH zoning district, conditional use permit approval is required in addition to the coastal development permit. With the approval of the CDP and CUP, the use can be found consistent with City regulations. Additionally, the proposed design has been reviewed by City staff, who has found the project can be developed consistently with City standards.

c) The City of Morro Bay does not have an adopted habitat conservation plan; therefore, the project would not conflict with applicable habitat conservation plan or a natural community conservation plan.

Conclusion: *No impacts to Land Use and Planning have been identified.*

Mitigation and Monitoring: Not applicable.

11. MINERAL RESOURCES		Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a.	Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?				X
b.	Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X

Environmental Setting: The General Plan and the Division of Oil, Gas, and Geothermal Resources do not delineate any resources in the area. Further, the State Mining and Geology Board has not designated or formally

recognized the statewide or regional significance of any classified mineral resources in the County of San Luis Obispo.

Impact Discussion: a-b) The Morro Bay High School project is not proposed where significant sand and gravel mining has occurred or will occur and there are no oil wells within the area where the project is located. In addition, the area is not delineated as a mineral resource recovery site in the general plan, any specific plan or other land use plan. This area of the City is fully built up and the General Plan does not provide for mining. Therefore the project will not result in the loss of a known mineral resource of value to the region and impacts would be less than significant.

Conclusion: *No impacts to Mineral Resources have been identified.*

Mitigation and Monitoring: Not applicable.

12. NOISE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Expose people to, or generate, noise levels exceeding established standards in the local general plan, coastal plan, noise ordinance or other applicable standards of other agencies?		x		
b. Expose persons to or generation of excessive groundborne vibration or groundborne noise levels?		x		
c. Cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?			x	
d. Cause a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?		x		
e. For a project located within an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				x
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?				x

Environmental Setting: Noise sensitive uses are located within the vicinity of the project site; specifically the Cloisters single-family residential neighborhood to the north. Visitor-serving commercial, and a recreational vehicle (RV) park uses are located to the south. The City’s General Plan Noise Element threshold for noise exposure is 70dB for school uses and 75dB maximum for outdoor recreation. This maximum noise level is based on determination of at the property line of the receiving land use. The Pool Facility is proposed toward the south side of the campus, situated approximately 1,200 feet away from the nearest home in the Cloister’s residential neighborhood. The City’s Zoning Ordinance also contains noise limitations and specifies operational hours, review criteria, noise mitigation, and requirements for noise analyses.

Impact Discussion:

a, c, d) The proposed new Pool Facility will result in a new noise source for the area. It is anticipated that use of the outdoor pool which will be a new athletic option for students and a recreational opportunity for community users which will create new sources of noise. However, the campus previously had a pool facility for over 30 years but was demolished in the late 1990’s due to severe repair need. The noise level is expected to be consistent with the previous pool use which formerly existed at the campus and not more than the existing school use present. The

expected use of the pool facility will be 6-8am and 3-5 pm Monday through Friday year round. In the spring, it is anticipated to be used for 3-4 weeks from 6AM to 5pm daily to include use by physical education (PE) classes. In addition, there will be weekend use during swim and water polo seasons by students which is anticipated to be 8am to 5pm. The pool is also anticipated to be available as a recreational opportunity to the community as well through a rent arrangement between the School District and the City's Recreation Department. Hours of community use have not been established but will be during times of day when students are not in the pool area. While spectator and participant noise would not result in a substantial increase in ambient noise levels, single event operational noise associated with use of the outdoor pool, including installation and use of a PA system, could still potentially result in evening and night time disturbance of noise sensitive receptors in the project vicinity. Noise specifications and hours of operation for a potential PA system have not been determined, but it can be reasonably assumed, that the PA system would be in use during the same times as pool usage, and more commonly for weekend athletic events.

To reduce this impact and for security purposes, a 10 foot high CMU wall is proposed along the south and east of the pool facility. Along the west of the pool will be the associated building including storage building, changing room and pump equipment room. Along the north is proposed a 10 foot fence with proposed tree plantings for screening. It is expected that the surrounding CMU wall and associated buildings will act to absorb some noise decibel levels to bring operational noise levels consistent with the existing campus noise level and to reduce noise dB level to City standards at the property line. However to ensure noise levels do not exceed City standards, mitigation measure NOI-1 has been recommended to mitigate periodic increases to noise levels during pool use as well as ensure compliance with standards in the General Plan, Local Coastal Plan and Zoning Ordinance. For the proposed Student Service Building and future Master Plan projects, no noise generating amplification is proposed or identified at this time. It is expected that noise will be consistent with existing campus ambient noise as there is no project increase in student enrollment or staffing increases.

b) Site development will result in short-term increases in ambient noise levels related to the use of construction equipment including trucks, loaders, bulldozers, and backhoes. The potential noise levels are dependent on the location of the equipment on the site as well as the actual number and types of equipment used during construction. Construction activities may also result in temporary ground borne vibration. Construction noise and ground borne vibration is regulated by the City's Municipal Code, which regulates time of construction and maximum noise levels that may be generated. Standard construction standards imposed on the project include limited hours of activity and reduce other measures to reduce the noise levels of equipment during construction. Therefore, no impacts to surrounding residences will occur. Title 17 Zoning Ordinance table 17.52.030(1) provides performance standards as it relates to noise levels allowed to occur at the site.

e, f) The project is not within the boundaries of an adopted airport land use plan or within two miles of a public airport or private airstrip.

Mitigation:

NOI Impact 1 Implementation of the proposed project could result in a substantial increase in ambient noise level in the vicinity of the project site with the expected increase use of the proposed Pool Facility, including the installation and use of a PA audio system.

NOI - 1: The speakers of the proposed PA system shall be located and shielded to directionally focus the emitted sound away from the residential land uses located north of the project site.

NOI - 2: The PA system shall include a processor to control the maximum output that the speakers can reach; so that even if the announcer shouts into the microphone, the levels will be controlled to the maximum allowable level programmed into the processor. The maximum output noise level shall be set to not exceed 75 dBA as measured at any point on the receiving property of an off-site noise sensitive land use in order to demonstrate compliance with standards in the City's General Plan/Local Coastal Plan.

NOI -3: The hours of operation of the PA system shall be restricted in order to not cause additional impacts related to sleep disturbance of nearby residential property owners and to comply with the City's Noise

EXHIBIT B

Ordinance Section MBMC 17.52.030. The hours from 7am to 10pm daily shall be considered permissible hours of operation.

Monitoring: The School District shall provide to the City the final design requirements of the PA system demonstrating compliance with Mitigation Measures NOI-1, 2, and 3 prior to construction or installation of any PA system. The School District shall also provide to the City Community Development Department /Environmental Coordinator documentation of the final volume of the PA sound system tested on-site prior to operation of the PA system.

Conclusion: *With implementation of the above mitigation measures, impacts to Noise levels will be reduced to a level less than significant.*

13. POPULATION AND HOUSING	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X
b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				X
c. Induce substantial growth in an area either directly (for example, by proposing new homes and businesses) or indirectly (e.g. through extension of roads or other infrastructure)?				X

Environmental Setting: The site is designated in the General Plan for school uses and is occupied by Morro Bay High School in an area surrounded by residential to the north, State Highway One and Highway 41 to the east, visitor-serving commercial uses and City Public Works yard to the south; and the Pacific Ocean to the west.

Impact Discussion:

a-c) The project site does not include housing, nor does it displace housing. In addition, the project would not result in the extension of infrastructure or roadways within the site's vicinity. The current enrollment is 837 students with no significant change expected in ten years. The proposed project will not increase enrollment capacity. The goal of the project is to update and modernize the high school campus which was originally constructed in 1958 and as a result will not displace people, housing units, nor induce substantial growth.

Conclusion: *No impacts to Population and Housing have been identified.*

Mitigation and Monitoring: Not applicable.

14. PUBLIC SERVICES	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project result in a substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:				
a. Fire protection?			X	
b. Police protection?			X	
c. Schools?			X	

EXHIBIT B

d.	Parks or other recreational facilities?			X	
e.	Roads and other transportation infrastructure?				X
f.	Other public facilities?				X

Environmental Setting: The project site lies within the City of Morro Bay; therefore the City of Morro Bay provides most of the public services, including Fire and Police protection. In addition to the high school, the San Luis Coastal Unified School District also operates an elementary school within the City.

Impact Discussion:

a - f) Because of the scale of the project and its location within a developed portion of the city, no changes to governmental service levels or the need for new facilities or equipment to maintain existing service levels have been identified as this is an existing serviced high school campus. New structures will be constructed to meet current fire code requirements and are not expected to result in adverse physical impact that would change or increase fire protection needs. Police protection services are not impacted or expected to change beyond existing service levels. The construction of a new Pool Facility will include a component for community use during non-school hours that will result in an additional recreation option for both students and non-students. The hours of community use have not been identified but would consist of a type of rental agreement between the School District and the City's Recreation Department. Based on the typical length of the school day, it is anticipated that community hours would be limited and therefore impacts to public services would be less than significant.

Conclusion: *Impacts related to Public Services would be less than significant.*

Mitigation and Monitoring: Not applicable.

15. RECREATION		Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a.	Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				X
b.	Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?			X	

Environmental Setting: A variety of recreational activities including hiking, sightseeing, birdwatching, etc. are available within Morro Bay. Within the boundary of Morro Bay City limits, there are over 10 miles of ocean and bay front shoreline. Approximately 95% of the shoreline has public lateral access. These walkways provide active recreational activities for visitors and residents. There are also multiple improved parks and playgrounds throughout the City.

Impact Discussion:

a) The project is construction of a new Pool Facility with accessory buildings, Student Services Building and overall Master Plan for modernization of the Morro Bay High School campus. No increase in demand on existing parks and other recreational facilities is anticipated due to the school setting. In addition, the campus previously had a pool facility for over 30 years but was demolished in the late 1990's due to severe repair need. The project is not growth-inducing nor is enrollment expected to increase over the next ten years. The proposed pool facility, student service buildings and master plan modernization projects would not therefore create an increase in use of existing neighborhood or regional recreation facilities. Therefore there is no impact to existing recreational facilities. .

b) The proposed project includes construction of a new Pool Facility for the Morro Bay High School owned by the School District. However, there is proposed to be a community use component of the Pool Facility in an rental arrangement between the School District and the City’s Recreation Department that has yet to be determined. Space rental of the pool facility would be consistent with other School District facility uses for community use. Community use will not be permitted while students are in the pool area. The proposed fencing circling the pool has been designed to facilitate that. The Pool Facility, as discussed in this document and as mitigated, is not anticipated to have an adverse physical effect on the environment.

Conclusion: *Impacts related to Recreation would be less than significant.*

Mitigation and Monitoring: Not applicable.

16. TRANSPORTATION/CIRCULATION	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, street, highway and freeways, pedestrian and bicycle path, and mass transit?			X	
b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the country congestion management agency for designated roads or highways?			X	
c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?				X
d. Substantially increase hazards due to a design feature (e.g. limited sight visibility, sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?				X
e. Result in inadequate emergency access?				X
f. Conflicts with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities or otherwise decrease the performance or safety of such facilities?				X

Environmental Setting: The project site sits west of the intersection of three major roadways in the City of Morro Bay; Highway 1, which bisects the community north-south, Highway 41, which is the major east-west regional connector, and Main Street, which is a 2-lane local roadway which includes a Class II Bikeway. Current enrollment is 837 students with no significant change projected in ten years. The proposed project will not increase enrollment capacity.

Impact Discussion:

a-b) A Traffic Impact Study was not prepared for the proposed project because the proposed modernization projects including the Pool Facility, Student Services Building and Master Plan projects are not proposing to increase the existing student enrollment. The campus previously had a pool for over 30 years but was demolished in the late

1990s due to severe repair needs. The use of the pool for student events, including attendance by spectators or users is expected to be consistent with other existing athletic events at the campus where temporary increases in traffic occur by spectators viewing the event. To accommodate the temporary increase, the project proposes addition of parking spaces so all campus event parking is parked on-site and therefore impacts would be less than significant. Use of the pool by non-student community users would occur during non-school hours when campus attendance is significantly less and therefore traffic conditions are correspondingly lower.

The project does not conflict with any applicable circulation system plans and does not add significantly to demand on the circulation system or conflict with any congestion management programs or any other agency's plans for congestion management. Development of the proposed project will not significantly increase the traffic trips to and from the site as explained above, and existing streets have sufficient unused capacity to accommodate any added vehicular traffic without reducing levels of service. The proposed project would not result in a significant impact with regard to increased vehicular trips and does not conflict with performance standards provided in City adopted plans or policies. The largest impact on traffic levels and circulation effectiveness would be affected in large part due to the construction activity and equipment associated with the project, which will temporarily result in minor increases in traffic to and from the site. Once construction is complete, traffic volumes and impacts will return to substantially the same level as the existing site. Therefore, impact would be less than significant.

c) The project will not result in any changes to air traffic patterns.

d) The project has been designed to comply with State DSA standards as well as City Engineering Standards and will not result in safety risks. No design features are proposed which limit sight visibility, include sharp curves or create a dangerous intersection.

e) The project has been reviewed by the City Fire Marshal to ensure adequate emergency access has been provided.

f.) The proposed project site is located on Atascadero Road west of the intersection of Highway 41 and Highway 1. The project will not decrease performance or safety in the area of public transit, bicycle or pedestrian facilities, as the traffic patterns will remain unchanged at this time. On campus, the project does propose improvements to circulation to accommodate location of the future Pool Facility and Student Services Buildings where new parking spaces will be added in the pool area. New bus drop off and entry drop off will be added at the entry to campus along with upgraded and re-defined pedestrian pathways providing connections to the new facilities. The proposed improvements do not change the two existing access driveways entering the campus from Atascadero Road. Therefore, impacts would be less than significant.

Conclusion: *Impacts related to Transportation / Circulation Systems would be less than significant.*

Mitigation and Monitoring – Not Applicable

17. UTILITIES & SERVICE SYSTEMS	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?			X	
b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	

EXHIBIT B

c.	Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	
d.	Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?			X	
e.	Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?			X	
f.	Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?			X	
g.	Comply with federal, state, and local statutes and regulations related to solid waste?			X	

Environmental Setting: The proposed project is a new Pool Facility and Student Services Building with Master Plan for overall long-term campus modernization project. Current enrollment of students is 837 with no significant change projected in the next ten years. The water capacity of the pool is 543,882 gallons which will cause a one time increase in water needs, which represents 0.105% impact to the City's water supply for one year. The proposed project will not increase enrollment capacity and therefore will not result in increased demand related to water, wastewater and solid waste systems. The High School is currently served by the Morro Bay Wastewater Treatment Plant and local waste collection services that dispose of waste at Cold Canyon Landfill, which has been expanded to take increased waste anticipated within its services area. The project will comply with federal, state, and local statutes and regulations related to solid waste disposal, diverting materials from the demolition activities to recycling facilities as feasible.

Impact Discussion:

a, b, d, e) The proposed project would result in a minor increase in demand on City infrastructure, including water and wastewater facilities. In consultation with the City Engineer, the average water usage for the City is 100 gallons per person per day. Based on existing City water supplies, the impact to the City's water supply as a result of the initial filling of the pool would only create a one-time impact of 0.105% of the the City's annual water usage. The project will not cause a substantial increase in the amount of water that is required to be treated, because it is not expected that the pool will be drained and the treatment facilities can accommodate the current and proposed water and wastewater. New construction or expansion of treatment facilities not necessary as a result of this project.

c) Adequate storm water facilities exist on the premises of the 55 acre high school campus site, and it is not anticipated the proposed project will result in the need for new facilities or expansion of existing facilities which could have significant environmental effects. This project has been reviewed by the City's Public Works Department for utilities and no resource/infrastructure deficiencies have been identified.

f-g) The landfills in San Luis Obispo County have the capacity to accommodate the solid waste for the proposed Pool Facility, Student Services Building and long-term Master Plan modernization project activities.

Conclusion: *Impacts related to Utilities and Service Systems will have less than significant impact.*

Mitigation and Monitoring: Not applicable.

IV. MANDATORY FINDINGS OF SIGNIFICANCE (Section 15065)

A project may have a significant effect on the environment and thereby require a focused or full environmental impact report to be prepared for the project where any of the following conditions occur (CEQA Sec. 15065):

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<i>a) Potential to degrade:</i> Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?		X		
<i>b) Cumulative:</i> Does the project have impacts that are individually limited but cumulatively considerable? (Cumulatively considerable means that incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?		X		
<i>c) Substantial adverse:</i> Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?		X		

Impact Discussion:

a) The project is the modernization of the Morro Bay High School including construction of a new Pool Facility, Student Services Buildings, removal of major vegetation, improvements to parking and circulation and flatwork along with Master Plan long term modernization projects to renovate existing campus buildings, athletic fields, and improvements to outdoor plaza/quad areas. Without mitigation, the project could have the potential to have adverse impacts on all of the issue areas checked in the Initial Study Checklist, Section II, Environmental Setting and Impacts. As discussed above, potential impacts to aesthetics, air quality, biological resources, cultural resources, and noise will be less than significant with incorporation of recommended mitigation measures.

b) The project is consistent with the Local Coastal Program, including the General Plan, Local Coastal Plan and Zoning Ordinance, which identifies this site as school use and supports modernization of the campus and provision of educational/recreation uses. The School District proposal is dependent on funding with the project to include construction of the Pool Facility first followed by the Student Services building. The Master Plan projects are identified in this document but are largely dependent on funding and thus are proposed for an estimated 10 year window. Discussion of Master Plan projects are included as part of an analysis of cumulative impacts. As discussed in the initial study checklist, the proposed project, as mitigated, will not result in cumulatively considerable impacts. New construction proposed under the Master Plan will be required to receive future coastal development permit approval by the City which will ensure compliance with local standards at that time.

c) With the incorporation of mitigation measures, the project will not result in substantial adverse impacts on humans.

V. INFORMATION SOURCES:

A. County/City/Federal Departments Consulted:

City of Morro Bay Community Development Department (Planning, Building, and Public Works Divisions), Fire Department.
 San Luis Obispo Air Pollution Control District
 Cal Trans, District 5 Office, San Luis Obispo, CA

B. General Plan

x	Land Use Element	x	Conservation Element
x	Circulation Element	x	Noise Element
x	Seismic Safety/Safety Element	x	Local Coastal Plan and Maps
x	Zoning Ordinance & Map	x	Climate Action Plan

C. Other Sources of Information

x	Field work/Site Visit	x	Ag. Preserve Maps
x	Staff knowledge/ calculations	x	FEMA Flood Hazard Zone Map, FIRM Panel 813 of 2050, Map #06079C0813G, dated 11/16/2012
x	Project Plans dated November 19, 2015	x	Archaeological maps and reports, City of Morro Bay resource library
x	Applicant project statement/description and submittal/resubmittal letters, emails	x	Soils Maps/Reports
x	CALeeMod emissions software, 2/25/16		
x	Firma Consultants, Agent for Applicant, email correspondence and personal communication September 10, 2015-February, 2016.	x	Published USGS geological maps
X	County of San Luis Obispo Tsunami Response Plan, revised August, 2011 http://www.slocounty.ca.gov/Assets/OES/Plans/SLO+County+Tsunami+Response+Plan.pdf	x	Topographic maps
x	Phase 1 Archaeological Inventory Survey for the Morro Bay High School Construction and Renovation Project, prepared by Cultural Resources Management Services (CRMS), April, 2015	x	County of San Luis Obispo Air Pollution Control District, CEQA Air Quality Handbook, April 2012
x	Biological Resources Assessment (Sage Institute, June 1, 2015)	x	U.S. Fish & Wildlife Service (USFWS) Wetlands Inventory Mapper, website review 1/26/16
	Preliminary Stormwater Control Plan, May 22, 2015	x	Cal Trans District 5, Adam Fukushima, personal communication, 1/25/16.
x	California Dept. of Conservation, Fault Maps, website review 1/26/16		California Emergency Management Agency, California Geological Survey, Tsunami Inundation Map for Emergency Planning, Morro Bay North Quadrangle, dated July 1, 2009
x	Vince Kirkhuff, APCD, telephone, email communication, Jan-Feb., 2016.	X	Division of the State Architect website review, http://www.dgs.ca.gov/dsa/home.aspx , http://www.calschoolconstruction.dgs.ca.gov/

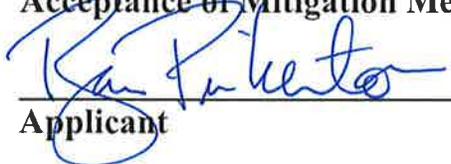
Morro Bay High School / 235 Atascadero
CASE NO. CP0-404 and UP0-364
DATE: February 2016

VI. ATTACHMENTS

A – Summary of Mitigation Measures and Applicant’s Consent to Incorporate Mitigation into the Project Description.

Attachment A

Acceptance of Mitigation Measures by Project Applicant:

	<u>3-1-16</u>
Applicant	Date

ATTACHMENT A**Morro Bay High School Pool Facility / Student Services Building / Master Plan Modernization Project
Mitigation and Monitoring Program****AESTHETICS:**

AES Impact 1 Development of the project, including proposed new lighting at the Pool Facility and Master Plan projects to include new lighting at athletic fields could exceed City of Morro Bay's performance standards and produce adverse glare and light to surrounding uses.

AES Impact 1 Visibility of night lighting and daytime glare would adversely affect views resulting in a direct long-term impact.

AES/mm-1 Prior to start of construction, a comprehensive lighting plan shall be submitted for review and approval by the City. The lighting plan shall be prepared using guidance and best practices endorsed by the International Dark Sky Association. The lighting plan shall address all aspects of the lighting, including but not limited to all buildings, infrastructure, parking and driveways, paths, recreation areas, safety, and signage. The lighting plan shall include the following at minimum:

- a) The point source of all exterior lighting shall be shielded from offsite views.
- b) Light trespass from exterior lights shall be minimized by directing light downward and utilizing cut-off fixtures or shields.
- c) Lumination from exterior lights shall be the lowest level allowed by public safety standards.
- d) Exterior lighting shall be designed to not focus illumination onto exterior walls.
- e) Any signage visible from offsite shall not be internally laminated..

Monitoring: The City of Morro Bay Community Development Department would verify implementation of these design details through review and approval of the lighting plan prior to start of construction for the project.

AIR QUALITY:

AQ Impact 1 Construction activities associated with development of the proposed project could generate dust that could be a nuisance to adjacent sensitive receptors.

AQ/mm-1 Prior to issuance of grading and construction permits,, the applicant shall include the following notes on applicable grading and construction plans, and shall comply with the following standard mitigation measures for reducing fugitive dust emissions such that they do not exceed the APCD's 20 percent opacity limit (APCD Rule 401) and do not impact off-site areas prompting nuisance violations (APCD Rule 402) as follows:

- a) Reduce the amount of disturbed area where possible;
- b) Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible;
- c) All dirt stockpile areas should be sprayed daily as needed;

- d) *Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible, following completion of any soil disturbing activities;*
- e) *Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating, non-invasive, grass seed and watered until vegetation is established;*
- f) *All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;*
- g) *All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.*
- h) *Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site;*
- i) *All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with California Vehicle Code Section 23114;*
- j) *Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site;*
- k) *Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible;*
- l) *All PM₁₀ mitigation measures required shall be shown on grading and building plans; and*
- m) *The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20 percent opacity, and to prevent transport of dust off-site. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading, earthwork or demolition.*

AQ Impact 2 Construction activities associated with development of the proposed project could generate dust that could be a nuisance to adjacent sensitive receptors.

AQ/mm-2 Prior to start of construction, the applicant shall submit a geologic evaluation that determines if naturally occurring asbestos (NOA) is present within the area that will be disturbed. If NOA is not present, an exemption request shall be filed with the District. If NOA is found at the site, the applicant shall comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program for approval by the APCD.

Mitigation Measures AQ/mm-3 and AQ/mm-4 were added to the Mitigated Negative Declaration as requested by the County of San Luis Obispo Air Pollution Control District (APCD) during the required 30 day review period pursuant to CEQA.

AQ Impact 3 To help reduce sensitive receptor emission impacts of diesel vehicles and equipment used to construct the project, the following idling control techniques are included as

recommended by the County of San Luis Obispo Air Pollution Control District (APCD) in a letter to the City of Morro Bay dated April 4, 2016.

AQ/mm-3

1. California Diesel Idling Regulations

- a. On-road diesel vehicles shall comply with Section 2485 of Title 13 of the California Code of Regulations. This regulation limits idling from diesel-fueled commercial motor vehicles with gross vehicular weight ratings of more than 10,000 pounds and licenses for operation on highways. It applies to California and non-california based vehicles. In general, the regulation specifies that drivers of said vehicles:
1. Shall not idle the vehicle's primary diesel engine for greater than 5 minutes at any location, except as noted in Subsection (d) of the regulation; and,
 2. Shall not operate a diesel-fueled auxiliary power system (APS) to power a heater, air conditioner, or any ancillary equipment on the vehicle during sleeping or resting in a sleeper berth for greater than 5 minutes at any location when within 1,000 feet of a restricted area, except as noted in Subsection (d) of the regulation.
- b. Off-road diesel equipment shall comply with the 5 minute idling restriction identified in Section 2449(d)(2) of the California Air Resources Board's In-Use off-Road Diesel regulation.
- c. Signs must be posted in the designated queuing areas and job sites to remind drivers and operators of the state's 5 minute idling limit.
- d. The specific requirements and exceptions in the regulations can be reviewed at the following web sites: www.arb.ca.gov/msprog/truck-idling/2485.pdf and www.arb.ca.gov/regact/2007/ordiesl07/frooal.pdf.

2. Diesel Idling Restrictions Near Sensitive Receptors

- In addition to the state-required diesel idling requirements, the project applicant shall comply with these more restrictive requirements to minimize impacts to nearby sensitive receptors:
- a. Diesel idling within 1,000 feet of sensitive receptors shall not be permitted;
 - b. Use of alternative fueled equipment is recommended; and
 - c. Signs that specify the no idling areas must be posted and enforced at the site.

AQ Impact 4

Emissions from Architectural Coatings. Modeling results indicate that the APCD daily (lbs/day) would be exceeded based on estimated modeling results using CALEEMOD modeling software as recommended by the County of San Luis Obispo Air Pollution Control District (APCD) in a letter to the City of Morro Bay dated April 4, 2016.

AQ/mm-4

Low-VOC paint shall be used for architectural coatings or adjust the schedule for architectural coating applications to extend the painting activities, in order to reduce the daily APCD threshold.

With implementation of these measures, air quality impacts would be less than significant.

Monitoring:

Copies of regulatory forms will be submitted to the APCD for review and approval, consistent with existing regulations. The applicant is required to submit approval documentation from APCD to the City Environmental Coordinator/Community Development Department. Monitoring or inspection shall occur as necessary to ensure all construction activities are conducted in compliance with the above measures. Measures also require that a person be appointed to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20 percent opacity, and to prevent transport of dust off-site. All potential violations, remediation actions, and correspondence with APCD will be documented and on file with the City Community Development Department /Environmental Coordinator.

BIOLOGICAL RESOURCES:**Mitigation:**

BIO Impact 1 Development of the project, including tree removal and initial site disturbance, could potentially adversely affect nesting birds.

Mitigation Measure BIO- 1: To reduce any potentially significant impact on nesting birds from vegetation and tree removals, the following mitigation measures are recommended:

BIO/mm-1: Vegetation removal and initial site disturbance shall be conducted between September 1 and January 31 outside of the nesting season for birds. If vegetation and/or tree removal is planned for the bird nesting season (February 1 to August 31), then preconstruction nesting bird surveys shall be conducted by a qualified biologist to determine if any active nests would be impacted by project construction. If no active nests are found, then no further mitigation shall be required.

BIO/mm-2: If any active nests are found that would be impacted by construction, then the nest sites shall be avoided with the establishment of a non-disturbance buffer zone around active nests as determined by a qualified biologist. Nest sites shall be avoided and protected with the non-disturbance buffer zone until the adults and young of the year are no longer reliant on the nest site for survival as determined by a qualified biologist. As such, avoiding disturbance or take of an active nest would reduce potential impacts on nesting bird to a less than significant level.

Monitoring:

Prior to start of construction, the qualified biologist conducting the survey for active bird nests shall provide the City of Morro Bay Community Development Department /Environmental Coordinator with a written copy of survey results.

CULTURAL RESOURCES:

CR Impact 1 Ground disturbance associated with development of the project, including initial site disturbance, grading/excavation activities for the Pool Facility and Student Services Building / Master Plan project could potentially adversely affect cultural resources.

Mitigation Measure CR- 1: Both a culturally-affiliated Native American monitor and a qualified archaeologist as recommended by the Phase 1 Archaeological Survey (CRMS, 2015) shall be present during any ground disturbing activity within the proposed project area. The School District shall notify the City of Morro Bay Community Development Department upon start of construction.

CR/mm-1 Prior to start of construction, the applicant shall submit to the City of Morro Bay Community Development Department an Archaeological Monitoring Plan for review and approval. The plan shall include, at minimum:

- a) Archaeological and Native American monitoring of all initial site disturbance and initial grading. Archaeological and culturally-affiliated Native American monitors shall be approved by the City.*
- b) A list of all personnel involved in the monitoring activities.*
- c) Clear identification of what portions of the project (e.g., phases, areas of the site, types of activities) would require monitoring.*

- d) *Description of how the monitoring shall occur.*
- e) *Description of monitoring frequency.*
- f) *Description of resources expected to be encountered.*
- g) *Description of circumstances that would result in work stoppage or diversion in the case of discovery at the project site.*
- h) *Description of procedures for stopping or diverting work at the project site and notification procedures.*
- i) *Description of monitoring reporting procedures.*

CR/mm-2 In the event that intact and/or unique archaeological artifacts or historic or paleontological resources are encountered during grading, clearing, grubbing, and/or other construction activities associated with the proposed project involving ground disturbance, all work in the immediate vicinity of the find shall be stopped immediately, the onsite archaeological and Native American monitors shall be notified, and the resource shall be evaluated to ensure the discovery is adequately recorded, evaluated and, if significant, mitigated.

CR/mm-3 Upon completion of all monitoring and mitigation activities, and prior to final inspection or occupancy, whichever occurs first, the Applicant shall submit to the City of Morro Bay Community Development Department a report summarizing all monitoring and mitigation activities and confirming that all recommended mitigation measures have been met.

Monitoring: The City Community Development Department / Environmental Coordinator shall verify compliance with this measure.

NOISE:

NOI Impact 1 Implementation of the proposed project could result in a substantial increase in ambient noise level in the vicinity of the project site with the expected increase use of the proposed Pool Facility, including the installation and use of a PA audio system.

NOI - 1: The speakers of the proposed PA system shall be located and shielded to directionally focus the emitted sound away from the residential land uses located north of the project site.

NOI – 2: The PA system shall include a processor to control the maximum output that the speakers can reach; so that even if the announcer shouts into the microphone, the levels will be controlled to the maximum allowable level programmed into the processor. The maximum output noise level shall be set to not exceed 75 dBA as measured at any point on the receiving property of an off-site noise sensitive land use in order to demonstrate compliance with standards in the City’s General Plan/Local Coastal Plan.

NOI-3: The hours of operation of the PA system shall be restricted in order to not cause additional impacts related to sleep disturbance of nearby residential property owners and to comply with the City’s Noise Ordinance Section MBMC 17.52.030. The hours from 7am to 10pm daily shall be considered permissible hours of operation.

Monitoring: The School District shall provide to the City the final design requirements of the PA system demonstrating compliance with Mitigation Measures NOI-1, 2, and 3 prior to construction or installation of any PA system. The School District shall also provide to the City Community Development Department /Environmental Coordinator documentation of the final volume of the PA sound system tested on-site prior to operation of the PA system.

EXHIBIT C
RECEIVED

APR 11 2016

City of Morro Bay
Community Development Dept.

Air Pollution Control District
San Luis Obispo County

April 4, 2016

Cindy Jacinth
City of Morro Bay Community Development Dept.
955 Shasta Avenue
Morro Bay, CA 93442

SUBJECT: *Revised* APCD comments regarding the Mitigated Negative Declaration for the Morro Bay High School swimming pool and student services building project (CP0-425 and UP0-487)

Dear Ms. Jacinth:

Thank you for including the San Luis Obispo County Air Pollution Control District (APCD) in the environmental review process. We have completed our review of the mitigated negative declaration (MND) for the proposed Morro Bay High School project located at 235 Atascadero Road in Morro Bay.

This project involves modernization of various facilities on the existing, 52-acre high school campus, including a new swimming pool with support building (4,135 sq. ft.), new student services building (8,000 sq. ft.) and landscape renovation.

The following are APCD comments that are pertinent to this project.

GENERAL COMMENTS

As a commenting agency in the California Environmental Quality Act (CEQA) review process for a project, the APCD assesses air pollution impacts from both the construction and operational phases of a project, with separate significant thresholds for each. **Please address the action items contained in this letter that are highlighted by bold and underlined text.**

Because this project will be taking place on an active high school campus, APCD is especially concerned with construction impacts on the student body due to emissions from diesel engines and architectural coatings, as well as fugitive dust during construction. **APCD strongly recommends that construction activities which are likely to produce dust and emissions be undertaken when school is not in session.**

CONSTRUCTION PHASE IMPACTS - Below Threshold

The MND evaluated the construction impacts of this project using the most recent CalEEMod computer model for estimating construction emissions related to the development of land uses. The modeling results indicate that the construction phase

impacts will likely be less than the APCD's significance threshold values identified in Table 2-1 of the CEQA Air Quality Handbook (available at the APCD web site: slocleanair.org). **Therefore, with the exception of the requirements below, the APCD is not requiring other construction phase mitigation measures for this project.**

Dust Control Measures

The MND addresses fugitive dust as "AQ Impact 1". The mitigation measures proposed in the MND as "AQ/mm-1" should adequately address this impact.

Naturally Occurring Asbestos

The MND addresses naturally occurring asbestos as "AQ Impact 2". The mitigation measures proposed in the MND as "AQ/mm-2" should adequately address this impact. However, please note that on page 22 of the MND, "AQ Impact 2" erroneously refers to nuisance dust instead of naturally occurring asbestos.

Sensitive Receptors and Diesel Particulate Matter

Paragraph "d)" of the Impact Discussion on page 20 of the MND discusses sensitive receptors and diesel particulate matter (DPM) impacts. Sensitive receptors are considered "nearby" when they are within 1,000 feet of a proposed project or source of emissions. It is the policy of the APCD to measure that 1,000-foot zone from the property line of the project parcel. This measurement would include the sensitive receptors of the Cloisters residential neighborhood to the north of the school and the residential neighborhood east of Highway 1. As previously discussed, the high school and its student population is also a sensitive receptor of concern, so the APCD's more stringent controls and mitigation measures for DPM and fugitive dust will apply to projects anywhere on the school grounds, regardless of the 1,000-foot off-site zone.

Paragraph "d)" recommends that standard APCD mitigation be added to the project to minimize the impact of DPM and identifies mitigation measure "AQ/mm-1". However, "AQ/mm-1" addresses only fugitive dust, not DPM.

To help reduce sensitive receptor emission impacts of diesel vehicles and equipment used to construct the project, the following idling control techniques should be included in the MND:

1. California Diesel Idling Regulations

- a. ***On-road diesel vehicles*** shall comply with Section 2485 of Title 13 of the California Code of Regulations. This regulation limits idling from diesel-fueled commercial motor vehicles with gross vehicular weight ratings of more than 10,000 pounds and licensed for operation on highways. It applies to California and non-California based vehicles. In general, the regulation specifies that drivers of said vehicles:
 1. Shall not idle the vehicle's primary diesel engine for greater than 5 minutes at any location, except as noted in Subsection (d) of the regulation; and,
 2. Shall not operate a diesel-fueled auxiliary power system (APS) to power a heater, air conditioner, or any ancillary equipment on that vehicle during sleeping or resting in a sleeper berth for greater than 5 minutes at any location when within 1,000 feet of a restricted area, except as noted in Subsection (d) of the regulation.

- b. **Off-road diesel equipment** shall comply with the 5 minute idling restriction identified in Section 2449(d)(2) of the California Air Resources Board's In-Use off-Road Diesel regulation.
- c. Signs must be posted in the designated queuing areas and job sites to remind drivers and operators of the state's 5 minute idling limit.
- d. The specific requirements and exceptions in the regulations can be reviewed at the following web sites: www.arb.ca.gov/msprog/truck-idling/2485.pdf and www.arb.ca.gov/regact/2007/ordiesl07/frooal.pdf.

AND

2. Diesel Idling Restrictions Near Sensitive Receptors

In addition to the state-required diesel idling requirements, the project applicant shall comply with these more restrictive requirements to minimize impacts to nearby sensitive receptors:

- a. Diesel idling within 1,000 feet of sensitive receptors shall not be permitted;
- b. Use of alternative fueled equipment is recommended; and
- c. Signs that specify the no idling areas must be posted and enforced at the site.

Emissions from Architectural Coatings

The modeling results indicate that the APCD daily (lbs./day) threshold would be exceeded due to architectural coatings. **Mitigation measures should be provided to reduce this impact. This could be accomplished by reducing the VOC content of the paint used and/or adjusting the schedule for architectural coating applications to extend the painting activities, thereby limiting the daily coating activities to ensure emissions remain below the threshold, or other options as may be appropriate to this specific project. The method(s) selected should be clearly outlined in the mitigation measures. The APCD also recommends the outdoor painting activities be carried out only when school is not in session.**

Demolition Activities

The project description does not include any building demolition. However, the aerial photo of the school site shows an existing building at the proposed location for the new swimming pool. **If this or any building will be demolished as part of this project, the following demolition activities requirements will apply:**

Lead During Demolition

Demolition of structures coated with lead based paint is a concern for the APCD. Improper demolition can result in the release of lead containing particles from the site. Sandblasting or removal of paint by heating with a heat gun can result in significant emissions of lead. Therefore, proper abatement of lead before demolition of these structures must be performed in order to prevent the release of lead from the site. **Depending on removal method, an APCD permit may be required. Contact the APCD Engineering Division at (805) 781-5912 for more information. Approval of a lead work plan by the APCD is required and must be submitted ten days prior to the start of the demolition. For more information, contact the APCD Enforcement Division at**

Mitigated Negative Declaration for Morro Bay High School Project

April 4, 2016

Page 4 of 4

(805) 781-5912; or for specific information regarding lead removal, please contact Cal-OSHA at (818) 901-5403. Additional information can also be found on line at <http://www.epa.gov/lead>.

Demolition/Asbestos

Demolition activities can have potential negative air quality impacts, including issues surrounding proper handling, abatement, and disposal of asbestos containing material (ACM). Asbestos containing materials could be encountered during the demolition or remodeling of existing buildings or the disturbance, demolition, or relocation of above or below ground utility pipes/pipelines (e.g., transite pipes or insulation on pipes). **If this project will include any of these activities, then it may be subject to various regulatory jurisdictions, including the requirements stipulated in the National Emission Standard for Hazardous Air Pollutants (40CFR61, Subpart M - asbestos NESHA^P).** These requirements include, but are not limited to: 1) written notification to the APCD within at least 10 business days of commencement of activities; 2) asbestos survey conducted by a Certified Asbestos Consultant; and, 3) applicable removal and disposal requirements of identified ACM. Please contact the APCD Enforcement Division at (805) 781-5912 and also go to slocleanair.org/business/asbestos.php for further information. To obtain a Notification of Demolition and Renovation form go to the "Other Forms" section of: slocleanair.org/business/onlineforms.php.

Again, thank you for the opportunity to comment on this MND. If you have any questions or comments, feel free to contact me at 781-5912 or vkirkhuff@co.slo.ca.us.

Sincerely,



Vince Kirkhuff
Air Quality Specialist

VJK/arr

cc: Mr. Steve Stewart
Tim Fuhs, Enforcement Division, APCD

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Edmund G. Brown Jr.
Governor

STATE OF CALIFORNIA
Governor's Office of Planning and Research
State Clearinghouse and Planning Unit

RECEIVED EXHIBIT D

APR 08 2016

City of Morro Bay
Community Development Dept



Ken Alex
Director

April 6, 2016

Cindy Jacinth
City of Morro Bay
955 Shasta Avenue
Morro Bay, CA 93442

Subject: Morro Bay High School Pool & Student Services Bldg / Master Plan Modernization Project
SCH#: 2016031018

Dear Cindy Jacinth:

The State Clearinghouse submitted the above named Mitigated Negative Declaration to selected state agencies for review. The review period closed on April 5, 2016, and no state agencies submitted comments by that date. This letter acknowledges that you have complied with the State Clearinghouse review requirements for draft environmental documents, pursuant to the California Environmental Quality Act.

Please call the State Clearinghouse at (916) 445-0613 if you have any questions regarding the environmental review process. If you have a question about the above-named project, please refer to the ten-digit State Clearinghouse number when contacting this office.

Sincerely,

Scott Morgan
Director, State Clearinghouse

Document Details Report
State Clearinghouse Data Base

SCH# 2016031018
Project Title Morro Bay High School Pool & Student Services Bldg / Master Plan Modernization Project
Lead Agency Morro Bay, City of

Type MND Mitigated Negative Declaration

Description The proposed project includes new construction of a Pool Facility and Student Services Building along with a Master Plan for an overall modernization of various facilities at Morro Bay High School on the existing 55 acre campus located at 235 Atascadero Road. Specifically the new pool would be 25 yards x 35 meters in size along with associated support buildings surrounding the pool which total 4,215 sf and to include 22,600 sf of concrete flatwork. The single-story 25 foot tall Student Services Building with clear story lighting on the second level is proposed at approx. 8,500 sf both with associated new flatwork, landscaping. In addition, the project includes removal of approx. 33 diseased trees which consists of major vegetation improvement to interior campus circulation and parking improvements. ... as well as renovation of campus landscape/quad areas. The Master Plan modernization component of the project includes long term proposals to include remodeling of building interiors, minor exterior refurbishment, adding skylights for natural lighting, and upgrades to paths, running track/bleachers, ASB stage in center outdoor plaza/quad area and improvement to parking areas.

Lead Agency Contact

Name Cindy Jacinth
Agency City of Morro Bay
Phone 805-772-6577 **Fax**
email
Address 955 Shasta Avenue
City Morro Bay **State** CA **Zip** 93442

Project Location

County San Luis Obispo
City Morro Bay
Region
Lat / Long 35° 22' 52.77" N / 120° 51' 25.7" W
Cross Streets Atascadero Road (west of Hwy 1 and Hwy 41)
Parcel No. 065-182-001
Township

Range	Section	Base
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Proximity to:

Highways 1 and 41
Airports
Railways
Waterways Alva Paul Creek
Schools Del Mar ES
Land Use SCH/School Zoning District

Project Issues Aesthetic/Visual; Air Quality; Archaeologic-Historic; Biological Resources; Coastal Zone; Flood Plain/Flooding; Geologic/Seismic; Noise; Public Services; Recreation/Parks; Schools/Universities; Toxic/Hazardous; Landuse; Cumulative Effects

Reviewing Agencies Resources Agency; Department of Fish and Wildlife, Region 4; Department of Parks and Recreation; Department of Water Resources; California Highway Patrol; Caltrans, District 5; Air Resources Board; Regional Water Quality Control Board, Region 3; Department of Toxic Substances Control; Native American Heritage Commission

Date Received 03/07/2016 **Start of Review** 03/07/2016 **End of Review** 04/05/2016

Index of Exhibits

- CDP-1 Master Plan
- CDP-2 Landscape Master Plan
- CDP-3 Ground Disturbance Plan
- CDP-4A Pool- Site Plan
- CDP-4B Pool- Landscape
- CDP-4C Pool- Grading Plan
- CDP-4D Pool- Elevations
- CDP-5A SSB Site Plan
- CDP-5B SSB Landscape Plan
- CDP-5C SSB Building Elevations
- CDP-5D SSB Building Floor Plan
- CDP-6 Color Board
- CDP-7 Existing Conditions Photos
- CDP-8 Entry Features- Concept Model
- CDP-9 Pool Lighting Plan
- EXHIBITS Visual Simulation: SSB/Pool

Building Height Calculations:

Location:	Average Natural Grade	Max. Building Height (At Roofline)	Tallest Roofline Elevation (Approximate)
Student Services Bldg.	Approx. 21	25 ft	46.00 elevation
Pool Building	Approx. 20	18 ft	38.00 elevation

Campus Map Coverage Legend:

- Landscape Coverage
Total Square Footage: 110,721
- Hardscape Coverage
Total Square Footage: 136,715
- Street Hardscape Coverage
Total Square Footage: 15,457
- Swimming Pool Hardscape Coverage
Total Square Footage: 19,018
- ASB Stage Coverage
Total Square Footage: 2,664

New / Existing Parking	
New Parking Spaces:	76
Total Square Footage:	42,445
Existing Parking Spaces:	48
Total Square Footage:	21,600

New Parking	
New Parking Spaces:	50
Total Square Footage:	30,480

City Standards:

Zone: SCH, School
Landuse: S(H), High School

Notes:

- 1) Map is not to scale for diagrammatic purposes only.
- 2) Refer to CDP-1 for setback information and Preliminary Master Plan

Project Description

The Proposed Project is the Master Planning for modernization of various facilities on the existing 52 acre campus in addition to construction of a new Pool Facility and Student Services Building including renovation of campus landscape/quad areas providing connections to new facilities.

This application is for a combined Coastal Development Permit / Conditional Use Permit that covers the Master Plan site work and construction of the new Pool Facility and Student Services Building (SSB). Other Master Plan projects that may be undertaken are included for purposes of one comprehensive CEQA document at this time. It is understood that the CEQA document will be updated as needed with future CDP application for Future Projects at the time they are brought forth. The CEQA document for the Master Plan/Pool/ SSB project will cover all planned ground disturbing and tree removal activities associated with the Master Plan so that the site work associated with changes to parking, circulation and flatwork ancillary to remodel work on existing buildings are covered by the application.



New Buildings to be constructed:

The new pool facility building is 4215 square feet and includes 22600 sf of concrete flatwork and pool and 2000 sf of associated new landscape. The new Student Services Building (SSB) is approximately 8500 sf and will also include new flatwork and landscape. The SSB is a single story building with clear story lighting on the second level to provide natural light through the building corridor.

Throughout the campus entry features will be added to existing buildings to architecturally unify the campus and provide better identification of entry points to sub-areas on the campus. See CDP-1 for location of entry features and CDP-8 for conceptual model of the structures.

Future Projects:

Other Master Plan projects in the future may include remodeling of building interiors, minor exterior refurbishment, adding sky-lights for natural lighting and upgrades to paths, running track/bleachers, ASB stage, and parking areas as identified on CDP-1 Preliminary Master Plan

Phasing

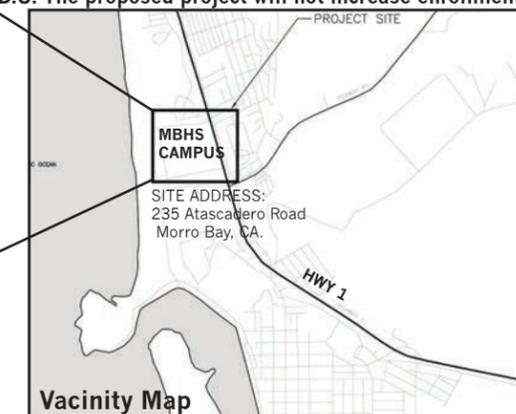
The phasing of the various Master Plan components will begin with the reconstruction of a new Pool Facility and Student Services Building. Subsequent phasing order is tentative and subject to change depending on funding and District priorities. The time frame for completion of all the projects is approximately ten years from 2015.

Parking

The Projects include new and reconfigured parking areas. The net parking change is the addition of 126 spaces. Based on campus enrollment projections the District determined parking spaces are adequate for staff and students based on historic use of parking.

Background

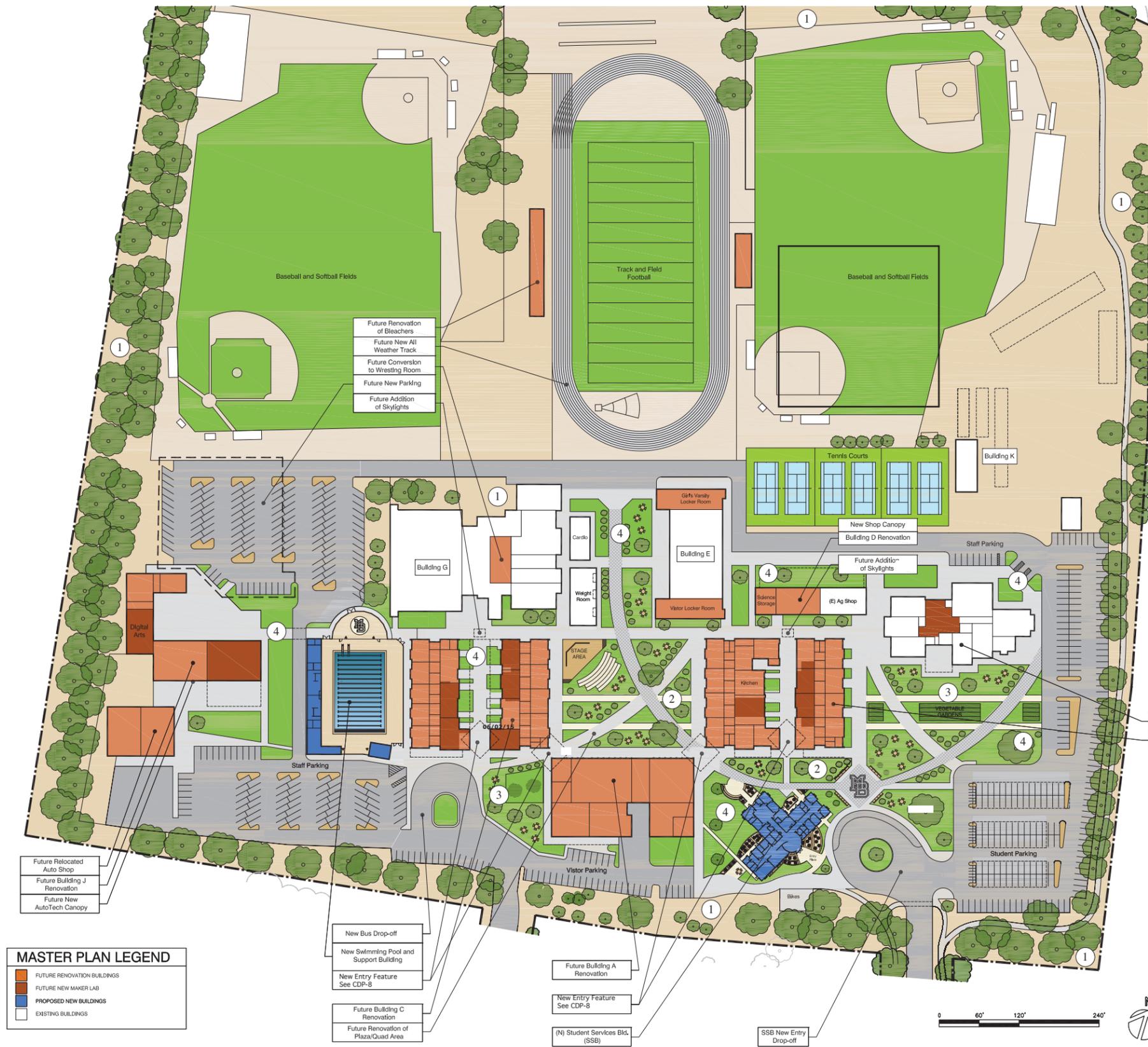
The campus was originally constructed in 1958 with a planned capacity of 1600 students. Current enrollment is 837 students with no significant change in ten years. The current student generation factor applied to the High School enrollment area is 0.03 students/D.U. The proposed project will not increase enrollment capacity.



**San Luis Obispo Unified School District
Morro Bay High School**

MASTER PLAN AND MODERNIZATION PROJECT

October 26, 2015



LANDSCAPE CONCEPT

Existing non-sport turf =
Approx. 86,400 SF

Planned non-sport turf =
Approx. 64,800 SF (25% reduction)

Renovated Landscape (Drought tolerant natives/Mediterranean species) =
60,00 SF

Conversion of existing paved surfaces to landscape or permeable surfaces =
84,000 SF

Where feasible for the function, existing turf will be removed and drought tolerant plantings installed. Based on this strategy irrigation water usage is expected to go down.

- ① **Native Perimeter Planting**
 - Cupressus macrocarpa
 - Pinus radiata (existing)
 - Pinus torreyana (existing)
 - Quercus agrifolia
 - Myrica californica
 - Hetromeles arbutifolia
- ② **Main Circulation and Gathering Spaces**
 - Turf
 - Shrubs in raised planters
 - Arctostaphylos spp.
 - Ceanothus spp.
 - Cistus 'Sunset'
 - Trees
 - Arbutus 'Marina'
 - Eucalyptus ficifolia
 - Melaleuca spp.
 - Metrosideros excelsa
- ③ **Secondary Gathering Spaces**
 - Turf
 - Shrubs and groundcovers (at grade)
 - Arctostaphylos spp.
 - Ceanothus spp.
 - Cistus 'Sunset'
 - Trees
 - Cupressus macrocarpa
 - Eucalyptus ficifolia
 - Melaleuca spp.
 - Quercus agrifolia
 - Tristania conferta
- ④ **Native Landscape Trees**
 - Cupressus macrocarpa
 - Lythamnus floribundus asplenifolius
 - Myrica californica
 - Quercus agrifolia
- Shrubs and groundcovers
 - Arctostaphylos spp.

MASTER PLAN LEGEND

- FUTURE RENOVATION BUILDINGS
- FUTURE NEW MAKER LAB
- PROPOSED NEW BUILDINGS
- EXISTING BUILDINGS

Landscape Master Plan

OCTOBER, 2015

Tree Removal Note:

Existing diseased conifers will be removed. It is anticipated that 35 Tree removals are required to implement the plan and/or remedy unsafe conditions due to diseased trees. Refer to Biological Resource Assessment prepared by Sage Institute (June 1, 2015). See map including location of trees to be removed.

Trees removed shall be replaced at a 1:1 ratio with minimum 15gallon trees, as required by the City Major Vegetation Guidelines.

Diseased conifers will be replaced by coastal adapted broadleaf evergreen trees or pitch canker resistant conifers. The table below indicated the number of diseased trees noted in Biological Resource Assessment.

Species	diameter (dbh)	Cause	Replace
Pinus radiata	36"	disease	yes
Quercus agrifolia	7"	in drive lane	yes
Pinus radiata	18"	disease	yes
Maytenus boaria	(4) 4"-6"	disease	yes
Pinus torreyana	28"	conflict w/new bldg	yes
Fraxus bieriana	(3) 8"	conflict w/new bldg	yes
Pinus radiata	36"	disease	yes
Pinus radiata	(6) 8"-30"	disease	yes
Pinus radiata	12"	disease	yes
Pinus torreyana	8"	disease	yes
Pinus radiata	48"	disease	yes
Pinus radiata	12"	disease	yes
Metrosideros leucodendron	(9) 6"-16"	conflict w/ const	yes
Pinus radiata	18"	disease	yes
Cupressus macrocarpa	36"	conflict w/ const	yes



KEY

- TREES TO BE REMOVED
 - 6 PROPOSED AREAS OF GROUND DISTURBANCE
 - 13 PROPOSED AREAS OF MINIMAL GROUND DISTURBANCE
1. NEW ENTRANCE
 2. NEW BUILDING
 3. NEW LANDSCAPE/QUAD
 4. BUILDING ADDITION (not a part)
 5. NEW OUTDOOR PLAZA/QUAD
 6. PORTABLES REMOVED (not a part)
 7. NEW POOL AREA - COMMUNITY ENTRANCE, STUDENT ENTRY, AND POOL.
 8. NEW PARKING AREAS/ PARKING LOT ADDITIONS
 9. RENOVATE BLEACHERS
 10. REFURBISH FIELD
 11. NEW ALL WEATHER TRACK

**San Luis Obispo Unified School District
Morro Bay High School**

COASTAL DEVELOPMENT GROUND DISTURBANCE ACTIVITIES
updated April, 2016

CODE ANALYSIS

OCCUPANCY: ACTUAL AREAS A-5 = 19,568 S.F. / S-2 = 2193 S.F. / E = 2166 S.F.
 CONSTRUCTION TYPE - V-B (WITH FIRE SPRINKLERS)
 ALLOWABLE AREAS PER TABLE 503: A-5= UNLIMITED / S-2 = 13,500 S.F. / E = 9,500 S.F.
 AREA MODIFICATIONS:
 $A_a = [A_1 + (A_2 \times I_1)] + (A_3 \times I_3)$
 $I_1 = (F / P - 0.25) W/30$
 $W = (123 \times 30 + 173 \times 25) / 296 = 27.1$
 $I_1 = (296 / 592 - 0.25) 27.1 / 30 = 0.23$
 $I_3 = 3$ (SINGLE STORY)
 AREA CALCULATION - E OCCUPANCY:
 $A_a = (9500 + (9500 \times 0.23)) + (9500 \times 3)$
 $A_a = 9500 + 2185 + 28500 = 40185$ S.F.
 AREA RATIO = 2166 / 40185 = 0.054

AREA CALCULATION - A-5 OCCUPANCY:
 AREA RATIO = UNLIMITED = 0.0

AREA CALCULATION - S-2 OCCUPANCY:
 $A_a = (13500 + (13500 \times 0.23)) + (13500 \times 3)$
 $A_a = 13500 + 3105 + 40500 = 57105$
 AREA RATIO = 2193 / 57105 = 0.04

SUM OF AREA RATIOS = 0.054 + 0.0 + 0.04 = **0.094 < 1.0K**

OCCUPANT LOAD
 SWIMMING POOL - 8,610 S.F. / 50 S.F. PER OCC = 173 OCCUPANTS
 POOL DECK - 10,818 S.F. / 15 S.F. PER OCC = 722 OCCUPANTS
 CHANGING ROOMS - 1,442 S.F. / 30 S.F. PER OCC = 48 OCCUPANTS
 ACCESSORY BLDG. - 580 S.F. / 30 S.F. PER OCC = 19 OCCUPANTS
 OFFICE - 144 S.F. / 100 S.F. PER OCC = 1 OCCUPANT
 STORAGE / MECH - 2,193 S.F. / 300 S.F. PER OCC = 7 OCCUPANTS
 TOTAL OCCUPANTS = 946 (3) EXITS REQUIRED
 LOGO DECK - 2,780 S.F. / 15 S.F. PER OCC = 185 OCCUPANTS (2) EXITS REQUIRED

PARKING
 SOUTH PARKING LOT
 STANDARD = 42 SPACES
 ACCESSIBLE = 2 SPACES (1 VAN)
 TOTAL = 44 SPACES

SITE PLAN KEYNOTES

- 1 LED SCOREBOARD
- 2 EXTERIOR OVERHEAD LIGHTS
- 3 NEW PARKING LOT ISLAND
- 4 OUTDOOR SHOWERS
- 5 FOOTING FOR FUTURE DIVING BOARD
- 6 POOL SURGE TANK (SEE 7/SP-5)
- 7 NEW STORM DRAIN DROP INLET
- 8 NEW CONCRETE CURB PAINTED RED BOTH SIDES AT "FIRE LANE"
- 9 SCHOOL LOGO IN CONCRETE DECK (SEE DETAIL 10/A-8.0)
- 10 DRAIN INLET PER CIVIL DRAWINGS
- 11 TRENCH DRAIN PER CIVIL DRAWINGS
- 12 EXISTING ISLANDS TO REMAIN
- 13 RESTRIPE PARKING SPACES AS REQUIRED
- 14 BLUE STRIPED CROSSWALK
- 15 "FIRE LANE NO PARKING" SIGN PER DETAIL 13/A8.3
- 16 SITE LIGHTING POLES PER ELECTRICAL
- 17 EXISTING LIGHT POLE RELOCATED PER ELECTRICAL

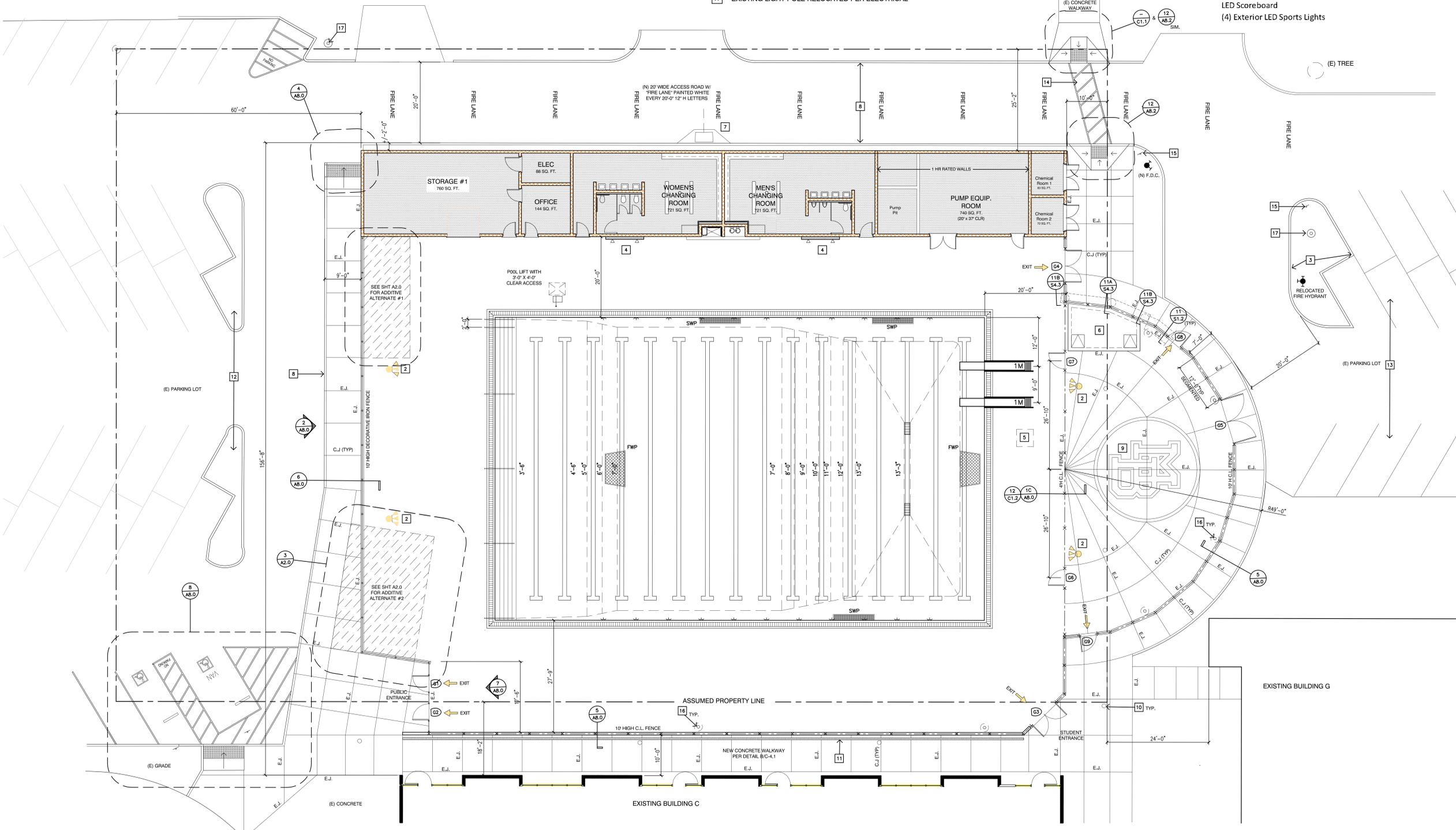
LEGEND

- - - CHAIN LINK FENCING
- ===== ORNAMENTAL STEEL FENCING
- - - - - ASSUMED PROPERTY LINE

Morro Bay High School New Swimming Pool

Support Spaces	Square Footage
Chemical Room 1	83
Chemical Room 2	72
Accessory Building	ADD ALTERNATE #2 580
Men's Changing Room	721
Women's Changing Room	721
Office	144
Electrical Room	88
Pump Equipment Room	740
Storage #1	760
Storage #2	ADD ALTERNATE #1 153
Storage #3	ADD ALTERNATE #1 153
Total	4,215

Pool Area (16 Lanes) 25 Yards x 35 Yards
 LED Scoreboard
 (4) Exterior LED Sports Lights



SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
 235 ATASCADERO ROAD, MORRO BAY, CA 93442

**MORRO BAY HIGH SCHOOL
 NEW SWIMMING POOL**



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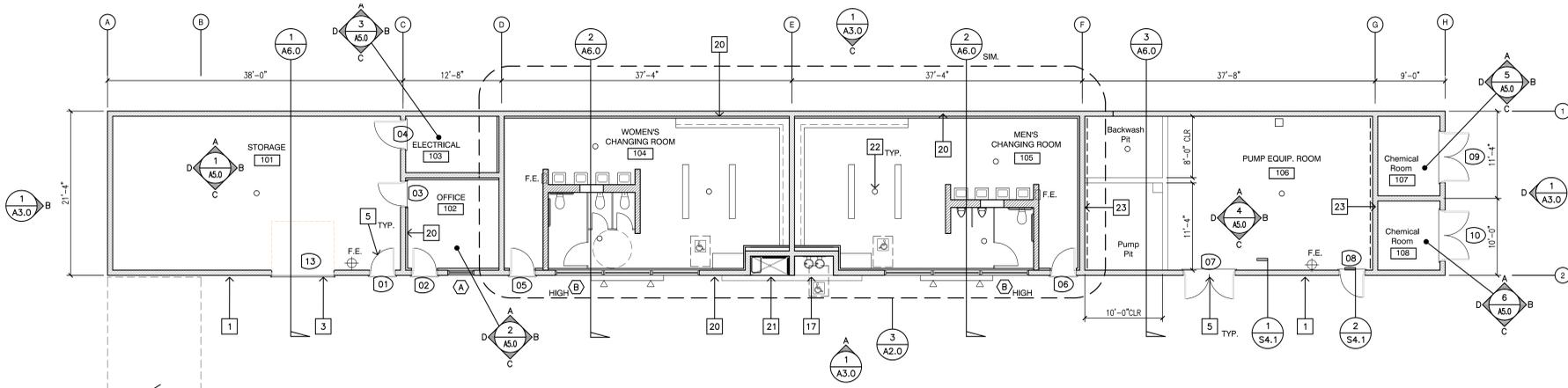
SHEET TITLE: SITE PLAN
 SHEET: **A-1.0**

1 SITE PLAN
 SCALE: 1" = 10'-0"

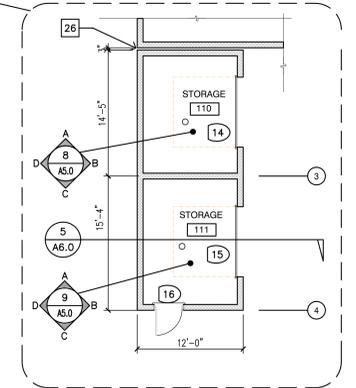




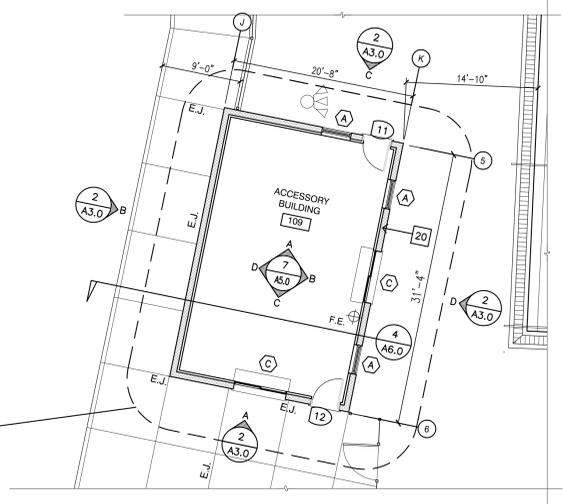
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1 CHANGING ROOMS, STORAGE, OFFICE & PUMP EQUIPMENT BUILDING
 SCALE : 1/8" = 1'-0"



2 STORAGE #110 & 111
 SCALE : 1/8" = 1'-0" ADDITIVE ALTERNATE #1



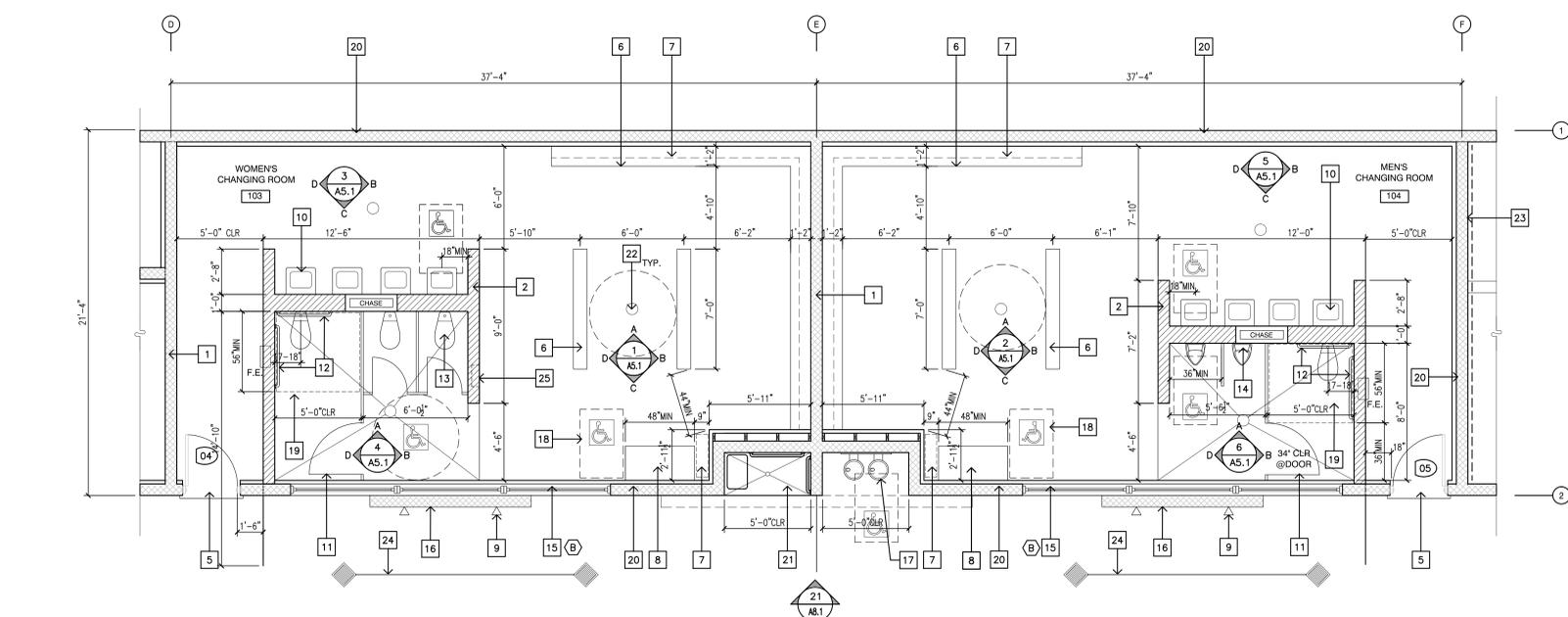
3 ACCESSORY BUILDING
 SCALE : 1/8" = 1'-0" ADDITIVE ALTERNATE #2

FLOOR PLAN KEYNOTES

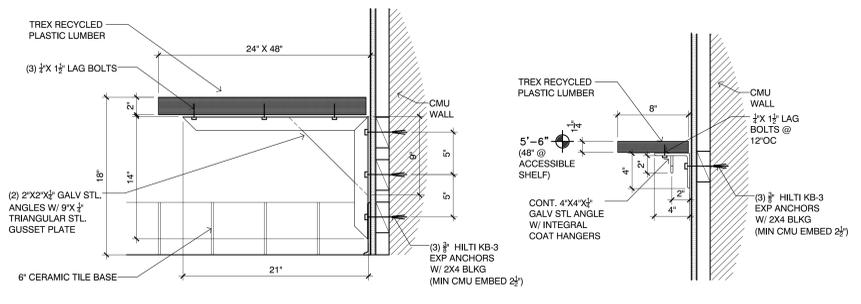
- 1 8" CMU WALLS
- 2 WOOD STUD WALLS
- 3 ROLL UP SERVICE DOOR 8'W X 8'H
- 4 NOT USED
- 5 FRP DOOR & ST. STL. FRAME
- 6 COMPOSITE MATERIAL WALL OR PEDESTAL BENCH (PER DETAILS 5&7)
- 7 COMPOSITE MATERIAL SHELF W/ COAT HOOKS (PER DETAIL 4)
- 8 ADA COMPOSITE MATERIAL BENCH (PER DETAIL 6)
- 9 EXTERIOR SHOWERS
- 10 WALL MOUNTED LAVATORY
- 11 PLASTIC TOILET & URINAL PARTITIONS
- 12 ACCESSIBLE GRAB BARS
- 13 WALL MOUNTED WATER CLOSETS
- 14 WALL MOUNTED URINALS
- 15 HIGH WINDOWS
- 16 WALL POP OUT AT EXTERIOR SHOWERS PER DET. 6/A6.0
- 17 ACCESSIBLE DRINKING FOUNTAIN PER DETAIL 21/A8.1
- 18 SEALED CONCRETE FLOOR
- 19 THK SET CERAMIC TILE FLOORING (DEPRESS SLAB 2" & SLOPE TO DRAIN)
- 20 RIGID INSULATION OVER CMU WALL
- 21 ACCESSIBLE SHOWER PER DETAIL 21/A8.1
- 22 FLOOR DRAINS PER PLUMBING DRAWINGS
- 23 1 HR RATED CMU WALL
- 24 SHOWER SLOT DRAIN (PER SHT. DP-1 & DETAIL 6/SP-9)
- 25 RECESSED SANITARY NAPKIN DISPENSER
- 26 3" SEISMIC EXPANSION JOINT PER DETAILS 3&4 / A7.0

LEGEND

- 8" CMU WALLS
- 1 HR RATED 8" CMU WALLS
- 8" CMU WALLS W/ 2X3 FURRING @ 16"OC & RIGID INSULATION ON INSIDE FACE
- WOOD STUD WALLS & FURRED WALLS

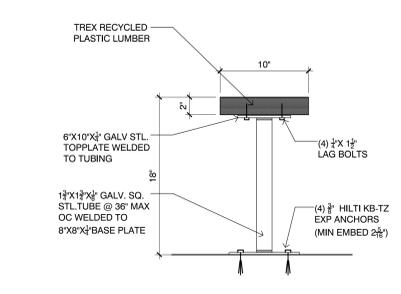


4 ENLARGED FLOOR PLAN AT CHANGING ROOMS
 SCALE : 1/4" = 1'-0"

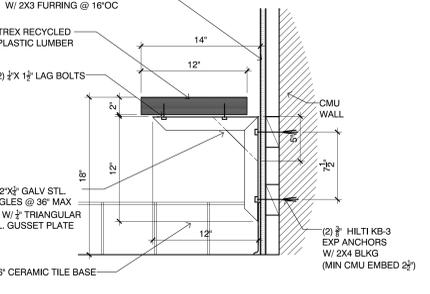


6 ACCESSIBLE BENCH
 SCALE : 1 1/2" = 1'-0"

4 WALL SHELVING
 SCALE : 1 1/2" = 1'-0"



7 PEDESTAL BENCH
 SCALE : 1 1/2" = 1'-0"



5 WALL BENCH
 SCALE : 1 1/2" = 1'-0"



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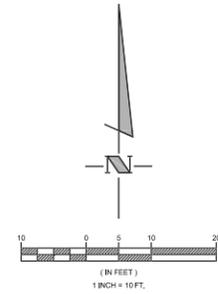
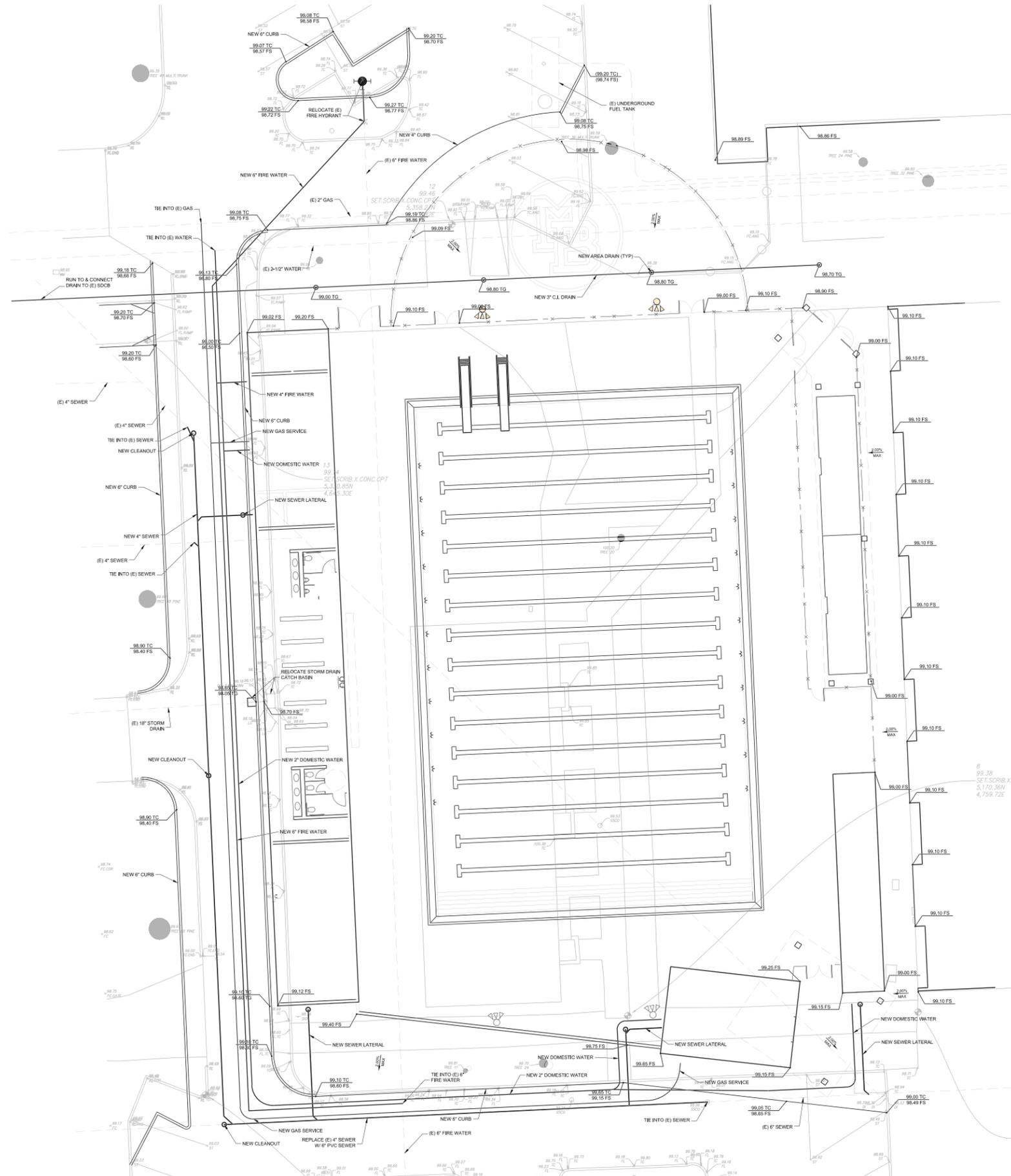


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REVISION	DESCRIPTION	DATE	BY
△			XX

SHEET TITLE: FLOOR PLANS
 JOB NO. 14.067



SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
 235 ATASCADERO ROAD, MORRO BAY, CA 94042
**MORRO BAY HIGH SCHOOL
 NEW SWIMMING POOL**



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 A California Corporation • San Diego # 88256

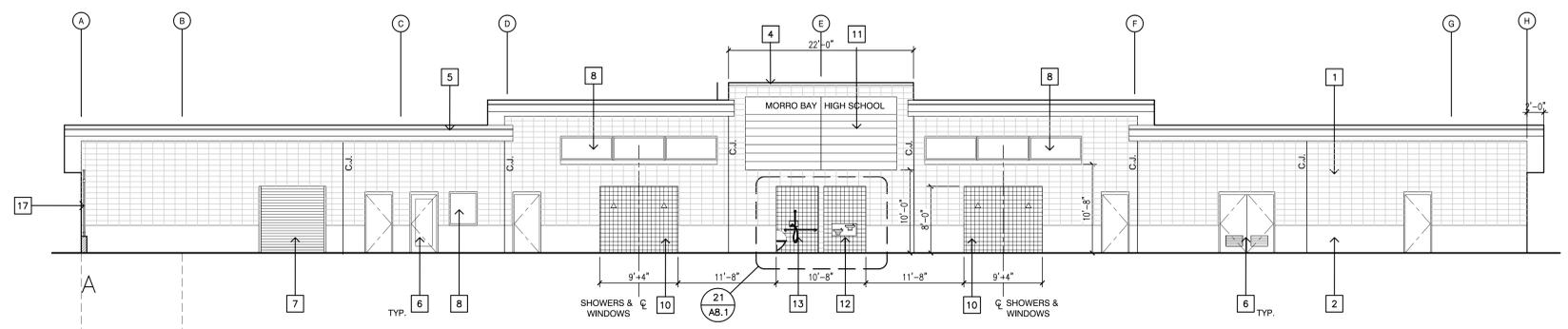
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 FILE NUMBER:
 APPL _____
 AC _____
 DATE _____
 OPSC/DISA TRACKING NUMBER: _____

REVISION DESCRIPTION	DATE	BY
DRAWN		
CHECKED		
DATE	03/20/2015	
JOB. NO.	14.067	

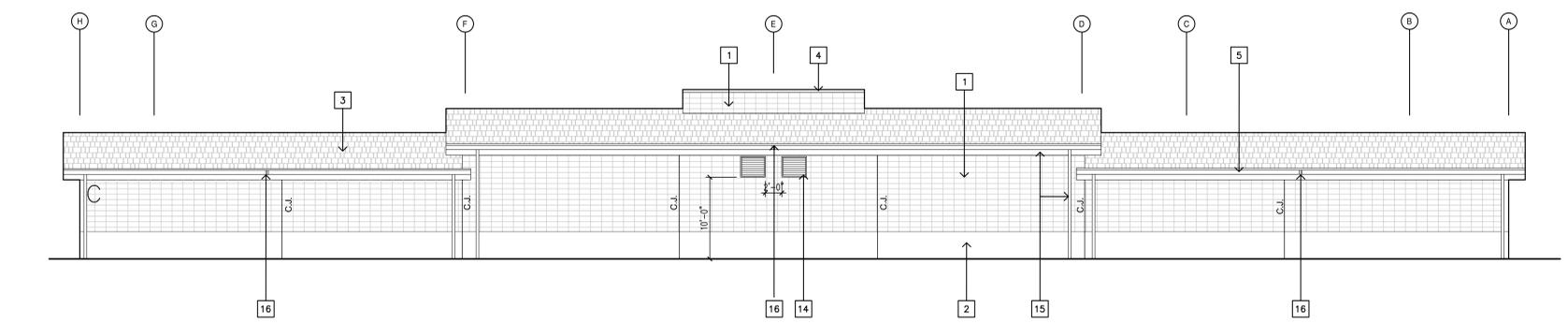
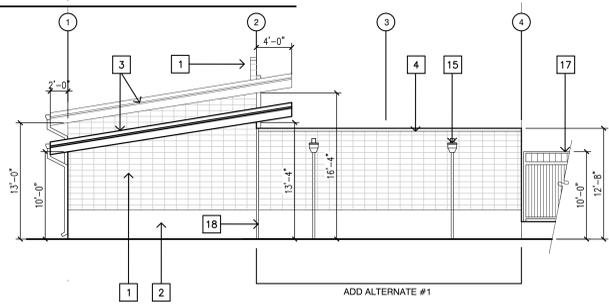
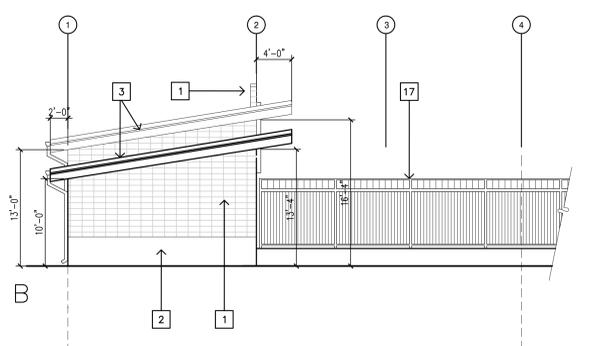
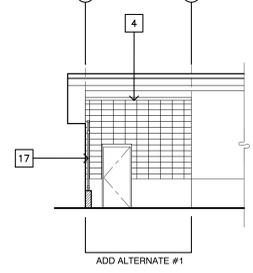
SHEET C-1.0
 TITLE SCHEMATIC GRADING & UTILITY PLAN



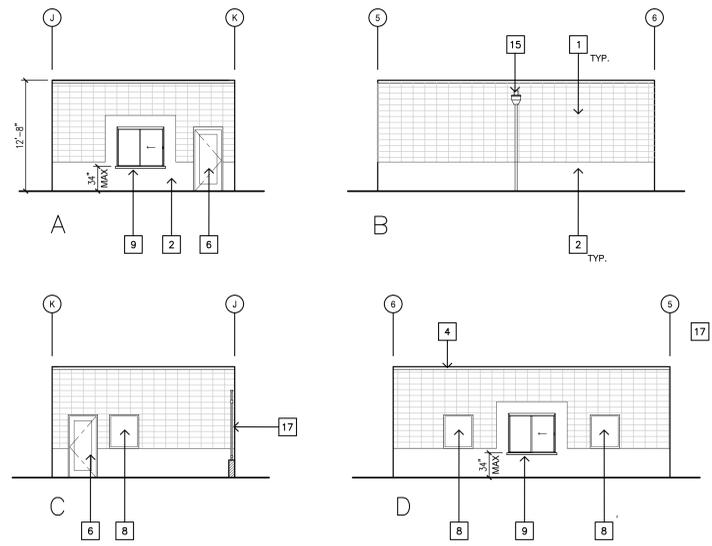
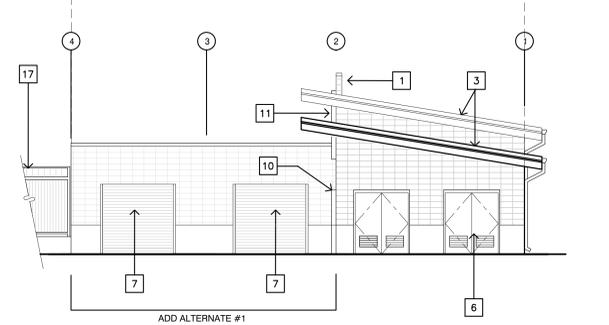
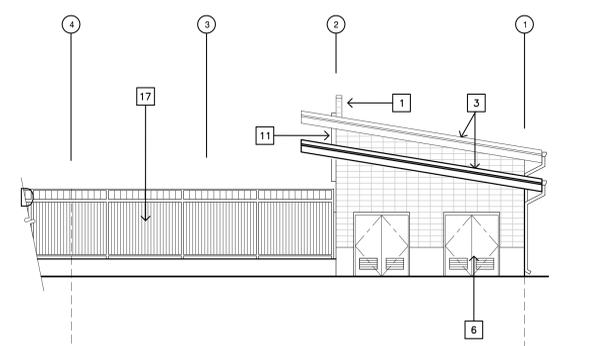
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MORRO BAY HIGH SCHOOL
NEW SWIMMING POOL



1 EXTERIOR ELEVATIONS - LOCKER ROOMS, STORAGE, OFFICE, POOL EQUIPMENT
 SCALE : 1/8" = 1'-0"



1 CONTINUED
 SCALE : 1/8" = 1'-0"



2 ACCESSORY BUILDING (ADD ALTERNATE #2)
 SCALE : 1/8" = 1'-0"

LEGEND
 C.J. CMU CRACK CONTROL JOINT (SEE STRUCTURAL)

EXTERIOR ELEVATIONS KEYNOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> 1 8" CMU WALLS 2 BURNISHED CMU WAINSCOT 3 FIBER GLASS SHINGLES (PER DETAIL 7/A-6.0) 4 COPPER METAL WALL CAP (PER DETAIL 1/A-8.2) 5 REDWOOD FACIA 6 FIBERGLASS DOOR & ST. STL. FRAME (PER DETAILS 1,2,&3/A-8.1) 7 ELECTRIC ROLL-UP SERVICE DOOR (PER DETAILS 6,7,&8/A-8.1) 8 ALUMINUM FRAME WINDOW (PER DETAILS 11,12,13,&14/A-8.1) 9 ALUMINUM FRAME SLIDING SERVICE WINDOW (PER DETAIL 16/A-8.1) | <ul style="list-style-type: none"> 10 EXTERIOR SHOWERS W/ THINSET CERAMIC TILE (PER DETAIL 6/A6.0) 11 ELECTRONIC SCOREBOARD (SEE MOUNTING DETAIL 9/AB.2) 12 ADA DUAL DRINKING FOUNTAINS W/ CERAMIC TILE 13 ACCESSIBLE SHOWER W/ CERAMIC TILE 14 ALUMINUM AIR INTAKE GRILLE PER DETAIL 11/AB.2 15 COPPER GUTTER/LEADER HEAD & DOWNSPOUT PER DETAIL 8/A-6.0 16 GUTTER EXPANSION JOINT 17 10' HIGH ORNAMENTAL IRON FENCE 18 3" SEISMIC EXPANSION JOINT PER DETAILS 3&4 / A7.0 |
|--|---|



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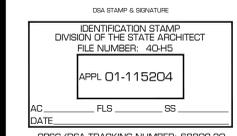
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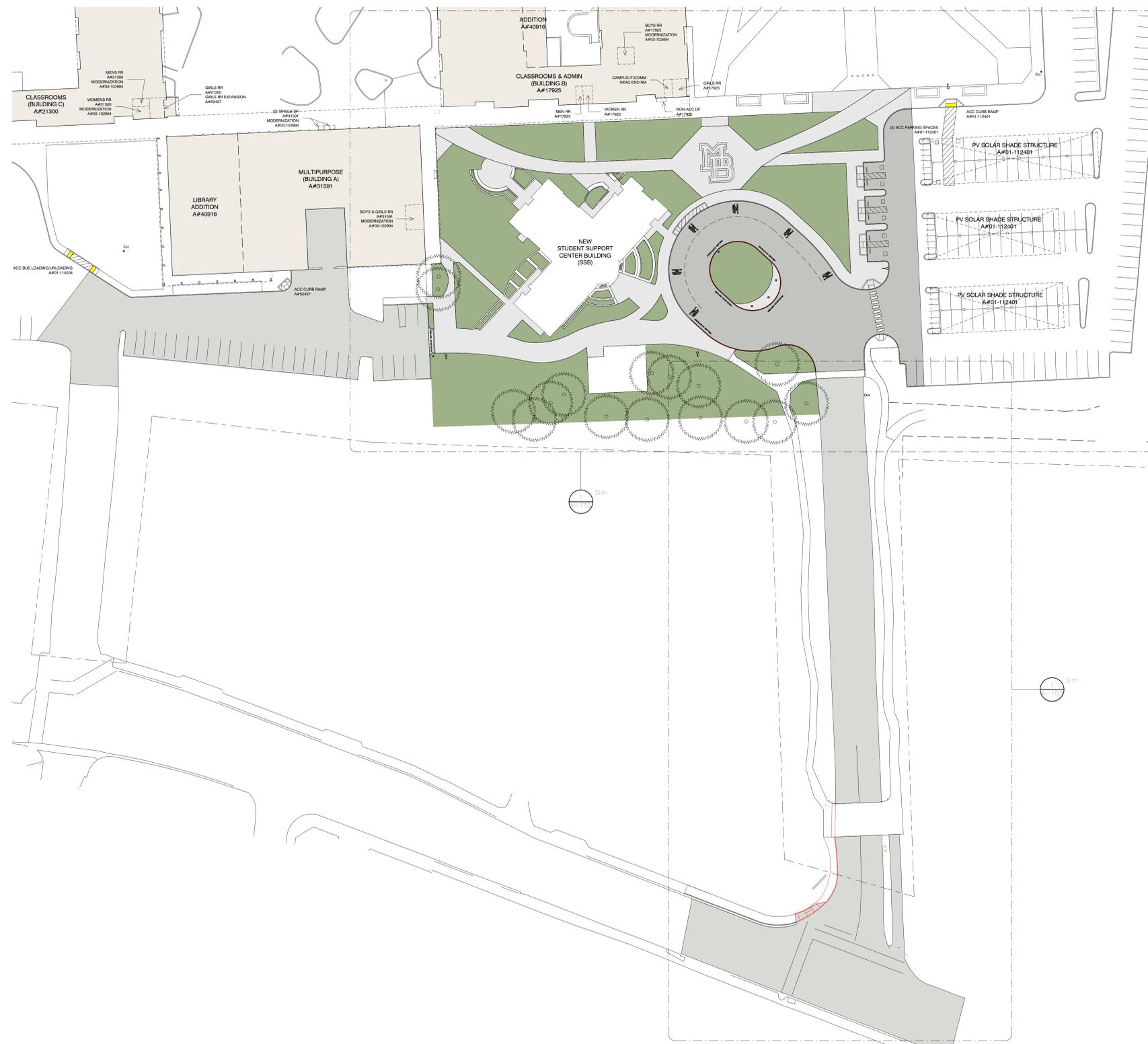


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△	-	-/-	XX

REVISION	DESCRIPTION	DATE	BY
DRAWN	JC		
CHECKED	JW		
DATE	02/26/2016		
JOB NO.	14.067		

SHEET TITLE: EXTERIOR ELEVATIONS



1 Site Plan - Overall New
SCALE: 1" = 40'-0"

SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
MORRO BAY HIGH SCHOOL
255 ATASCADERO BLVD., MORRO BAY, CA 93942
STUDENT SUPPORT CENTER



KRUGER BENSEN ZIEMER ARCHITECTS, INC. AIA
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CHECKED: Checker
DATE: 04/11/2016
JOB. NO.: 14.066

SHEET TITLE: OVERALL SITE PLAN

SHEET A-101



- Keynotes**
- 100 (E) AC PAVING TO REMAIN
 - 101 (E) CONC WALKWAY TO REMAIN
 - 102 (E) WALKWAY ROOF STRUCTURE STL COL TO REMAIN - PROTECT FOOTINGS
 - 103 (E) TREE TO REMAIN - PROTECT
 - 104 (E) POLE LIGHT TO REMAIN
 - 105 (E) BOLLARDS TO REMAIN
 - 106 AC PAVED DRIVEWAY, PARKING & PASSENGER DROP-OFF/ROUNDABOUT
 - 107 6" RAISED CONC CURB & GUTTER
 - 108 4" CONC WALKWAYS - 1.5% MAX SLOPE ANY DIRECTION, MED BROOK FIN PERP TO P.D.T.
 - 109 4" INTEGRAL COLOR DECORATIVE CONC WALKWAY - 1.5% MAX SLOPE ANY DIRECTION, MED BROOK FIN PERP TO P.D.T.
 - 110 SCORED SCHOOL LOGO
 - 111 SHADED AREA DENOTES MIN 18" CONC PAVEMENT HYV TRAFFIC SECTION FOR FIRE VEHICLE ACCESS
 - 112 ACC PASSENGER LOADING/UNLOADING ZONE w/ PARALLEL CURB RAMPS PER CBC 11B-402.3
 - 113 ACC PARKING SPACES
 - 114 ACC PARALLEL CURB RAMP PER CBC 11B-402.3
 - 115 CAST-IN-PLACE CONC RAISED PLANTER
 - 116 INTEGRAL CONC SEATING AREA
 - 117 30" REMOVABLE BOLLARD
 - 118 ROLLED CURB FOR FIRE VEHICLE ACCESS, PAINT TRAFFIC RED
 - 119 FIRE HYDRANT
 - 120 LOCATION FOR SALVAGED POLE LIGHT
 - 121 LOCATION FOR SALVAGED FLAG POLE
 - 122 12" FIRE LANE - DO NOT BLOCK (TRAFFIC RED)
 - 123 12" W/ LOADING/UNLOADING ONLY NO PARKING (TRAFFIC WHITE)
 - 124 SCREENED CONDENSING UNIT AREA
 - 125 30" W/ DETECTABLE WARNING PAVEMENT TO (E) WALKWAY @ FLUSH CURB TO VEHICULAR AREA

1 Site Plan - Enlarged New
SCALE: 1" = 20'-0"

NEW STUDENT SERVICES BUILDING

SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
MORRO BAY HIGH SCHOOL
200 AVENUE 100, MORRO BAY, CA 93442
STUDENT SUPPORT CENTER

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 ENGINEER'S STAMP & SIGNATURE: [Signature]

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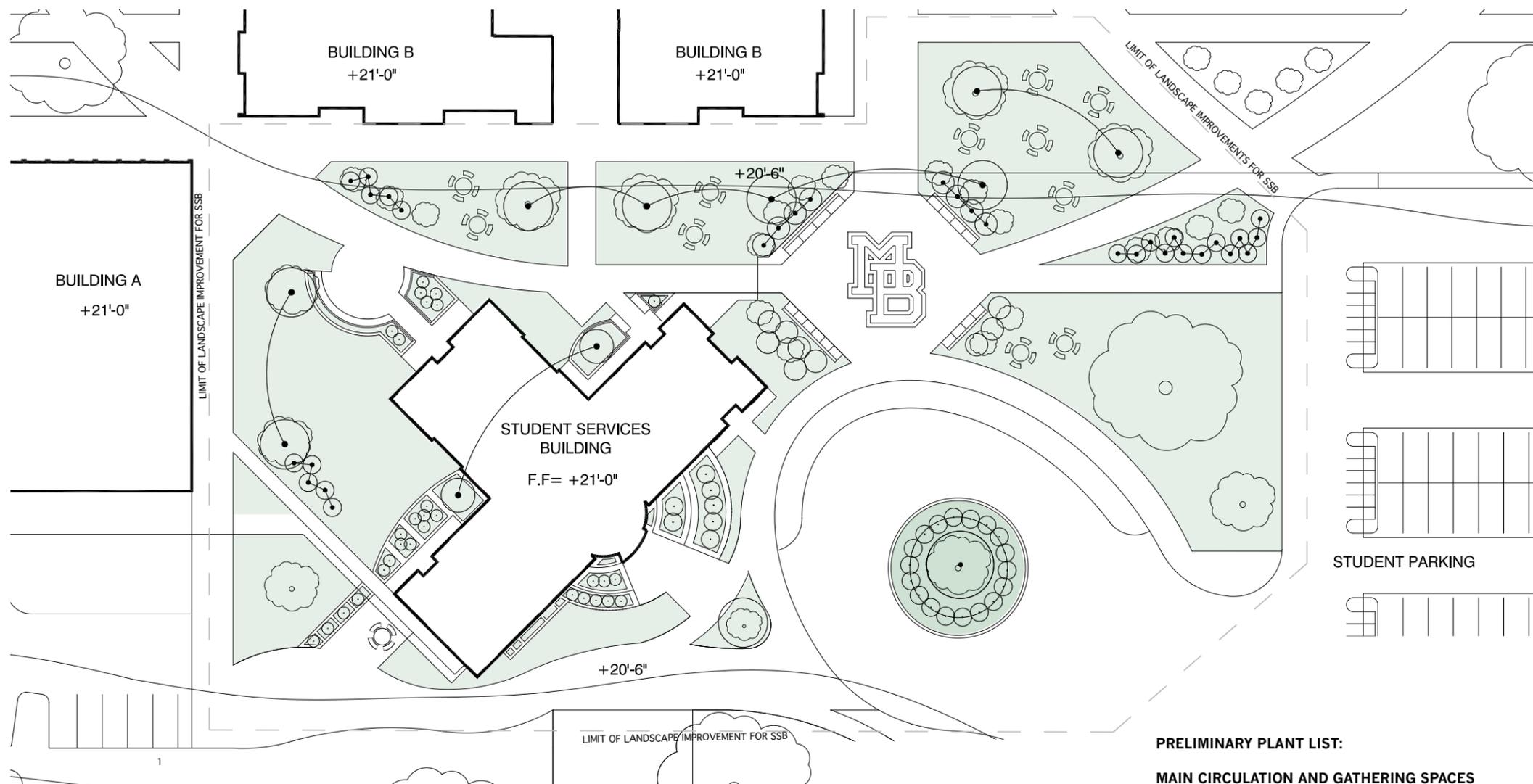
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 FILE NUMBER: 2016001
 APPL. [Signature]
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 CPSC/CSA TRACKING NUMBER: XXXXXX

REVISION	DESCRIPTION	DATE	BY

DRAWN: MM
 CHECKED: Checker
 DATE: 04/11/2016
 JOB NO: 14-000

SHEET: ENLARGED SITE PLAN
 TITLE:

SHEET: **A-102**



GENERAL WATER CONSERVATION NOTES

Planting and irrigation shall be designed to conserve water. The following factors have been incorporated to aid in the success of the project landscape:

- 1) Irrigation system to be a fully automatic system utilizing low-precipitation spray heads and/or drip irrigation. Irrigation hydrozones shall be separated with control valves and controller stations into appropriate and compatible zones. All valves shall have pressure regulators and filters.
- 2) Plant materials proposed are selected for their compatibility to climatic and site conditions and for drought tolerance.
- 3) All planter beds shall be mulched with a 3" minimum layer of organic mulch throughout.

Preliminary Landscape Area - 33,530 square feet.

Estimated Total Water Use is 66% of Maximum Applied Water Allowed (Per WELO for Outdoor Landscape Irrigation for Public School).

The project shall be designed to comply with Water Efficient Landscape Ordinance (WELO)

PRELIMINARY PLANT LIST:

MAIN CIRCULATION AND GATHERING SPACES

ABBREV	SIZE	BOTANICAL NAME/Common Name
TREES		
ARB MAR	24" B	ARBUTUS MARINA / ARBUTUS
EUC FIC	24" B	EUCALYPTUS FICIFOLIA / RED FLOWERING GUM
MEL QUI	15G	MELALEUCA QUINQUINERVA / CAJUPUT TREE
MET EXC	24" B	METROSIDEROS EXCELSA / NEW ZEALAND CHRISTMAS TREE
SHRUBS		
CAL 'LJ'	5G	CALISTEMON 'LITTLE JOHN' / DWARF BOTTLE BRUSH
CEA 'AB'	5G	CEANOTHUS GLORIOSUS 'ANCHOR BAY' / POINT REYES CEANOTHUS
CIS 'S'	5G	CISTUS 'SUNSET' / SUNSET ROCKROSE
RAP 'B'	5G	RAPHIOLEPSIS INDICA 'BALLERINA' / INDIA HAWTHORN
ARC DEN 'DH'	5G	ARCTOSTAPHYLOS MANZANITA 'DR. HURD' / DR. HURD MANZANITA
ARC DEN 'HM'	5G	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / MANZANITA

MULCH / LAWN
 MULCH ALL PLANTER AREAS WITH 3" LAYER 'WALK-ON' BARK.
 POTENTIAL LAWN AREAS TO BE FINALIZED BY DISTRICT

Preliminary Landscape Plan

SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
MORRO BAY HIGH SCHOOL
200 ATASCADERO ROAD, MORRO BAY, CA 94042
STUDENT SERVICES BUILDING



KRUGER BENSEN ZIEMER ARCHITECTS, INC. AIA
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JOE S. WILCOX, A.I.A.
 PRINCIPAL-IN-CHARGE

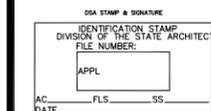
PROJECT MANAGER

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ARCHITECT'S STAMP & SIGNATURE ENGINEER'S STAMP & SIGNATURE



CONSULTANT INFORMATION



OPSC/DSEA TRACKING NUMBER:

△	-	--/--/--XX

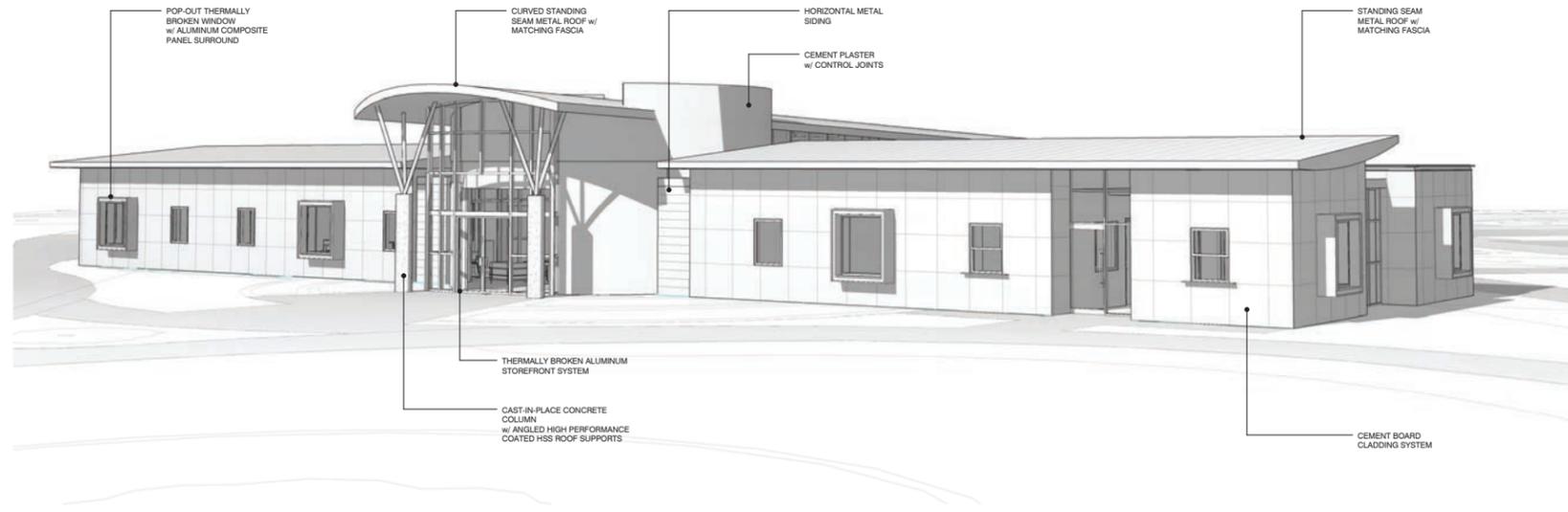
REVISION DESCRIPTION DATE BY

CRAMIN JC
 CHECKED JW
 DATE 8/18/2015
 JOB. NO. 14.066

SHEET SITE PLAN
 TITLE TOPOGRAPHY OVERLAY

SHEET

SAN LUIS COASTAL UNIFIE
MORRO BAY HIGH
STUDENT SUPPORT



1 3D View - From Northeast - Cement Board
SCALE:



ALUMINUM STOREFRONT



CEMENT BOARD PANEL SYSTEM



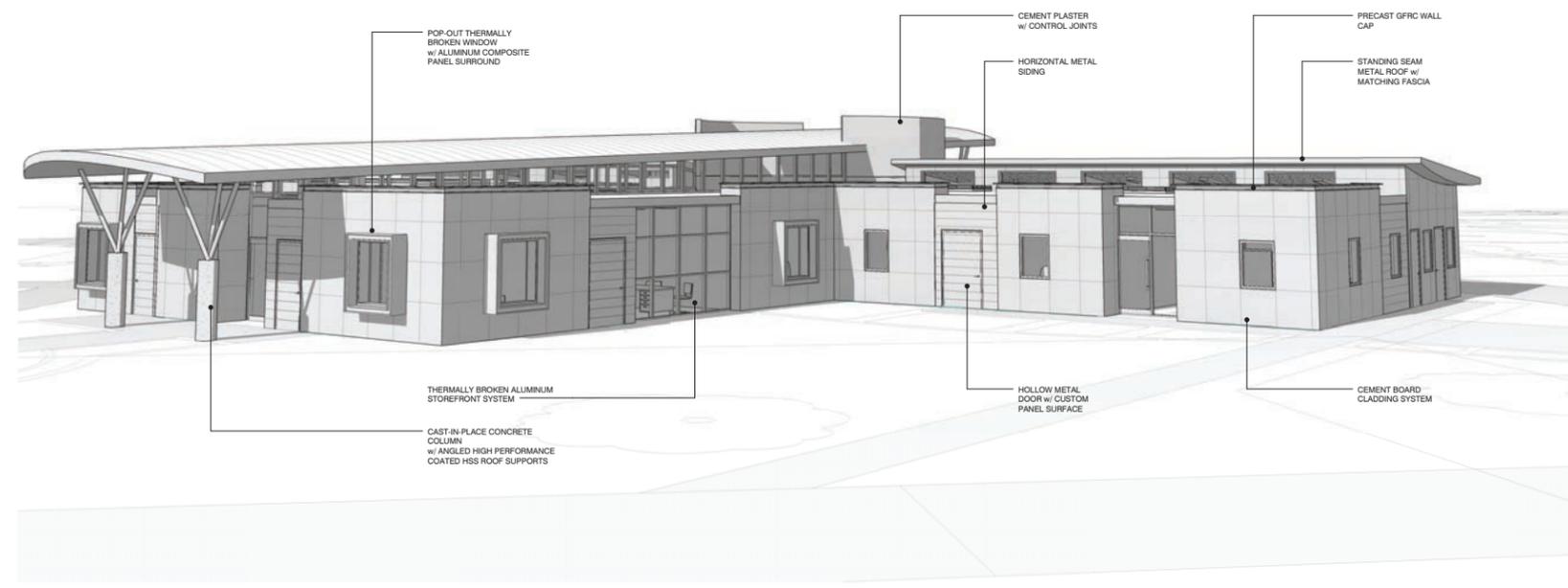
CAST IN PLACE CONCRETE COLUMNS & PRECAST GFRC WALL CAP



STANDING SEAM METAL ROOF



HORIZONTAL METAL SIDING



2 3D View - From Southwest - Cement Board
SCALE:

Notes:

- 1) Max BLDG height is 25ft.
- 2) Architectural model is conceptual, color shall be consistent with MBHS finishes (see CDP-6).



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MARK L. McFARLIN, AIA LEED AP BD+C
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CONSULTANT INFORMATION

DESIGN DEVELOPMENT

IDENTIFICATION STAMP
DIVISION OF THE STATE ARCHITECT
FILE NUMBER: 4CH5

APPL

AC _____ FLS _____ SS _____
DATE _____

OPSC/DSA TRACKING NUMBER: 68809-30

REVISION	DESCRIPTION	DATE	BY

DRAWN Author
CHECKED Checker
DATE 4/11/2016
JOB. NO. 14.066

SHEET TITLE EXTERIOR PERSPECTIVES
SHEET A-1000

NEW STUDENT SERVICES BUILDING

SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
MORRO BAY HIGH SCHOOL
 255 HINGWOOD ROAD, MORRO BAY, CA 93942
STUDENT SUPPORT CENTER



1 Student Support Center - Overall Floor Plan
 SCALE: 1/8" = 1'-0"

NEW STUDENT SERVICES BUILDING



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ARCHITECTS: KRUGER BENSON ZIEMER ENGINEERS: GROUP 2 SIGNATURE



CONSULTANT INFORMATION

DESIGN DEVELOPMENT

DESIGN DEVELOPMENT
 DESIGN GROUP SIGNATURE
 IDENTIFICATION STAMP
 DIVISION OF THE STATE ARCHITECT
 FILE NUMBER: 4DHS
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 AC _____ FLS _____ OS _____
 DATE _____
 OPS/C/CSA TRACKING NUMBER: 68809-30

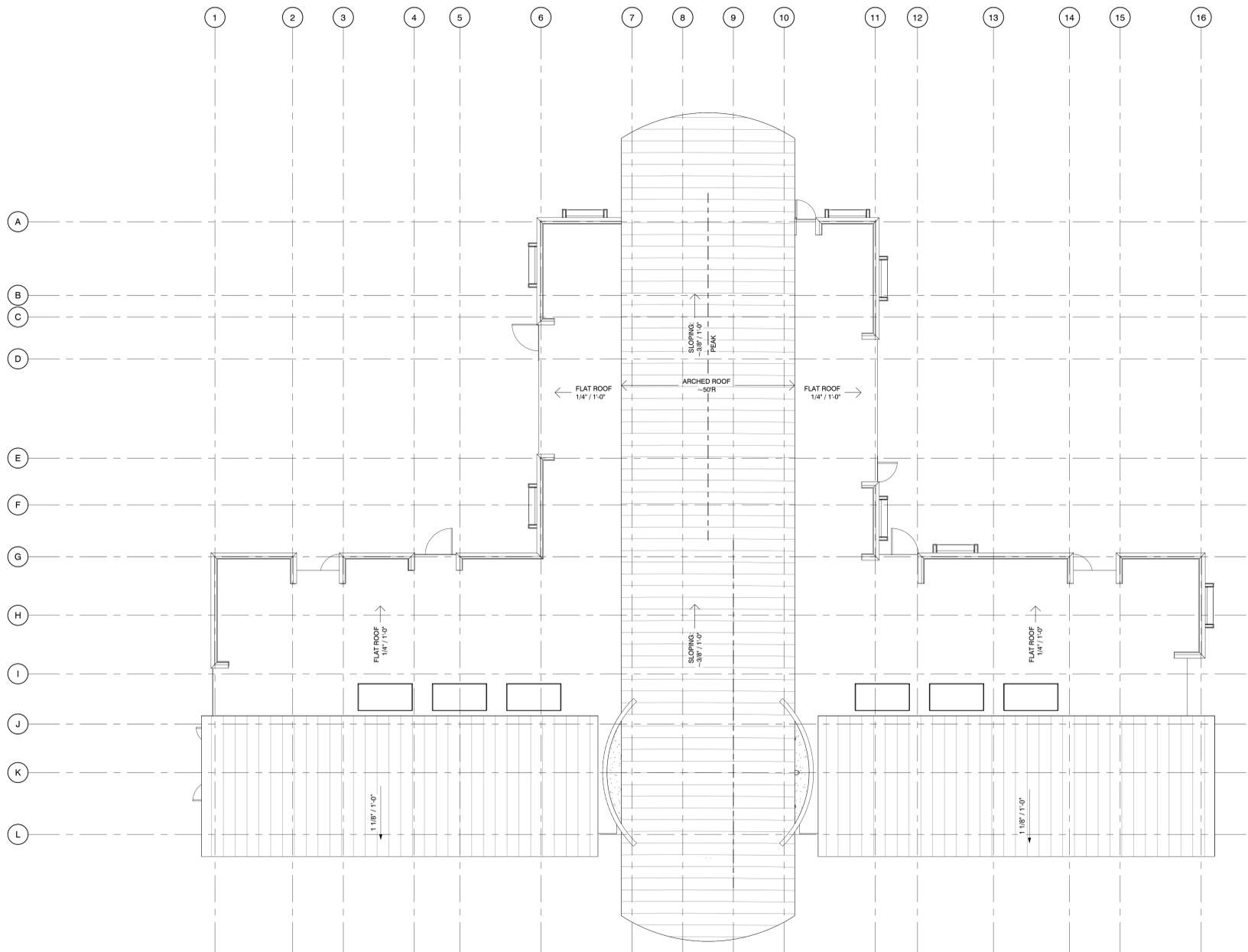
REVISION	DESCRIPTION	DATE	BY

DRAWN: MM
 CHECKED: JW
 DATE: 4/11/2016
 JOB NO.: 14-056

SHEET: FLOOR PLAN
 TITLE: FLOOR PLAN

SHEET: **A-201**

SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
MORRO BAY HIGH SCHOOL
 225 ATASCADERO BLVD. MORRO BAY, CA 93942
STUDENT SUPPORT CENTER



1 Roof Plan
 SCALE: 1/8" = 1'-0"



ROOF PLAN LEGEND



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CONSULTANT INFORMATION

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 DATE _____
 OPSC/DSA TRACKING NUMBER: 68809-30

REVISION	DESCRIPTION	DATE	BY

DRAWN/ Author
 CHECKED/ Checker
 DATE 4/11/2016
 JOB. NO. 14.088

SHEET ROOF PLAN
 TITLE

SHEET
A-210



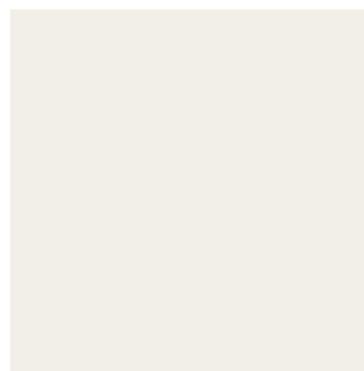
Metal Roof Color
Blue Earth DE5853



Wood Fascia Color
Play on Gray DE6228



Tower Metal Roof & Steel Framing Color
Old Town Grey



Plaster Field Wall Paint
Fossil DE6225



Alum Window Trim Paint
Drifting DEC770



Alum Door Frame Color
Night Life DET596



MORRO BAY HIGH SCHOOL FINISHES
235 ATASCADERO ROAD, MORRO BAY, CA 93442



**San Luis Obispo Unified School District
Morro Bay High School**

COLOR BOARD
September 10, 2015



View from parking lot looking North east.



View from parking lot looking South towards the bay.

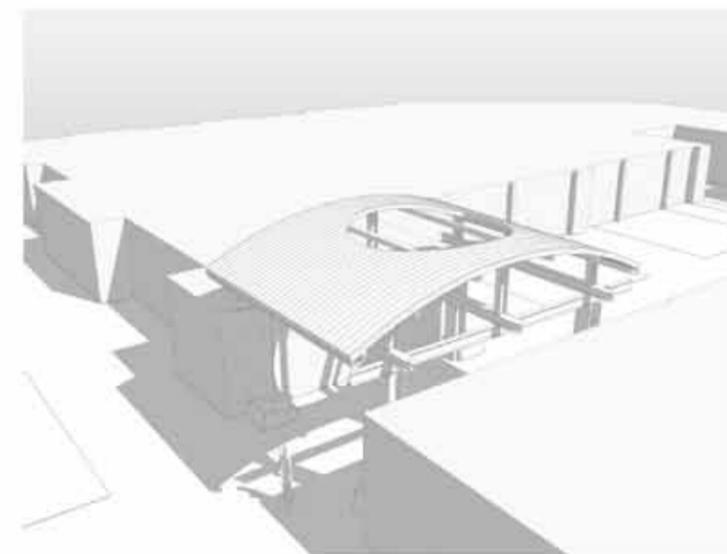
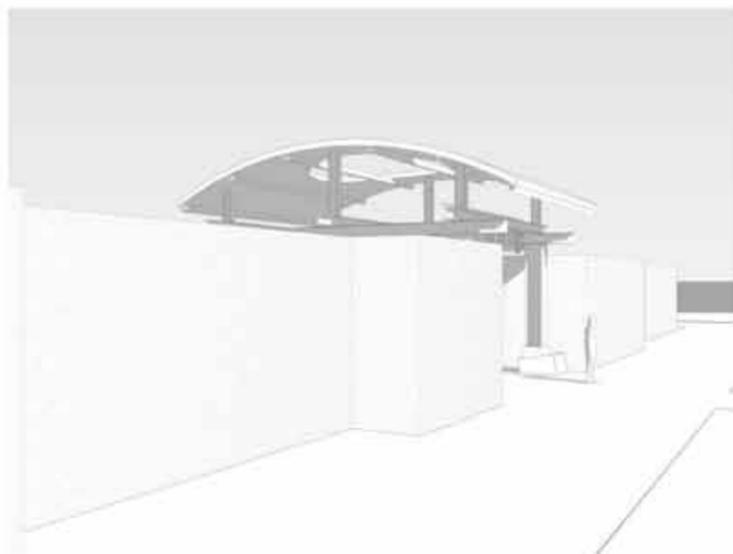


View from parking lot looking South towards the bay.

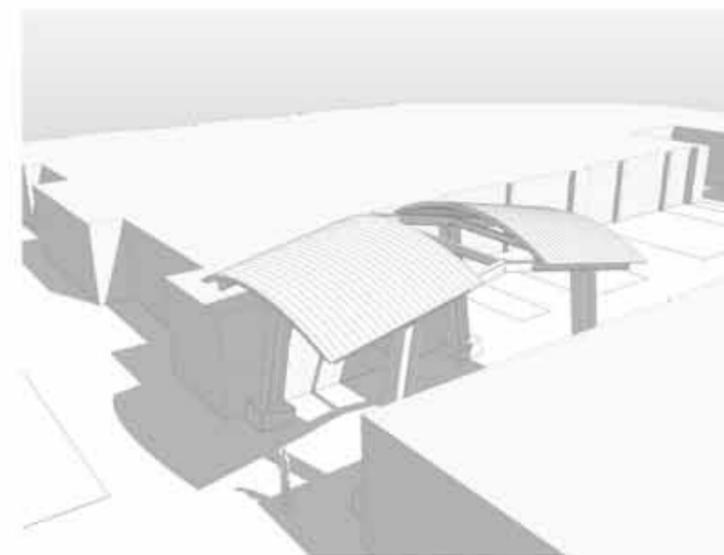
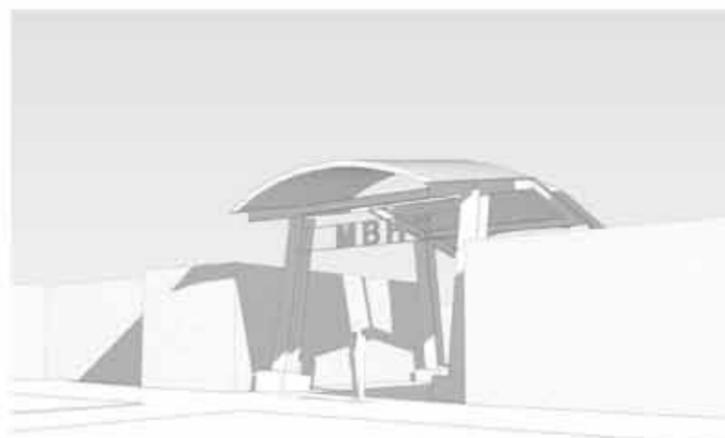
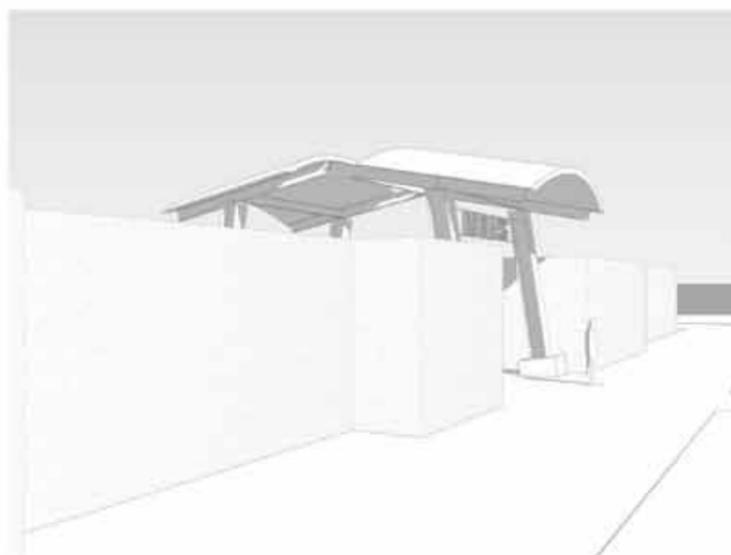


Viewing North towards Cayucos

**San Luis Obispo Unified School District
Morro Bay High School**
CAMPUS CONDITIONS, GENERAL PHOTOS
June 2015



STUDY 1



STUDY 2

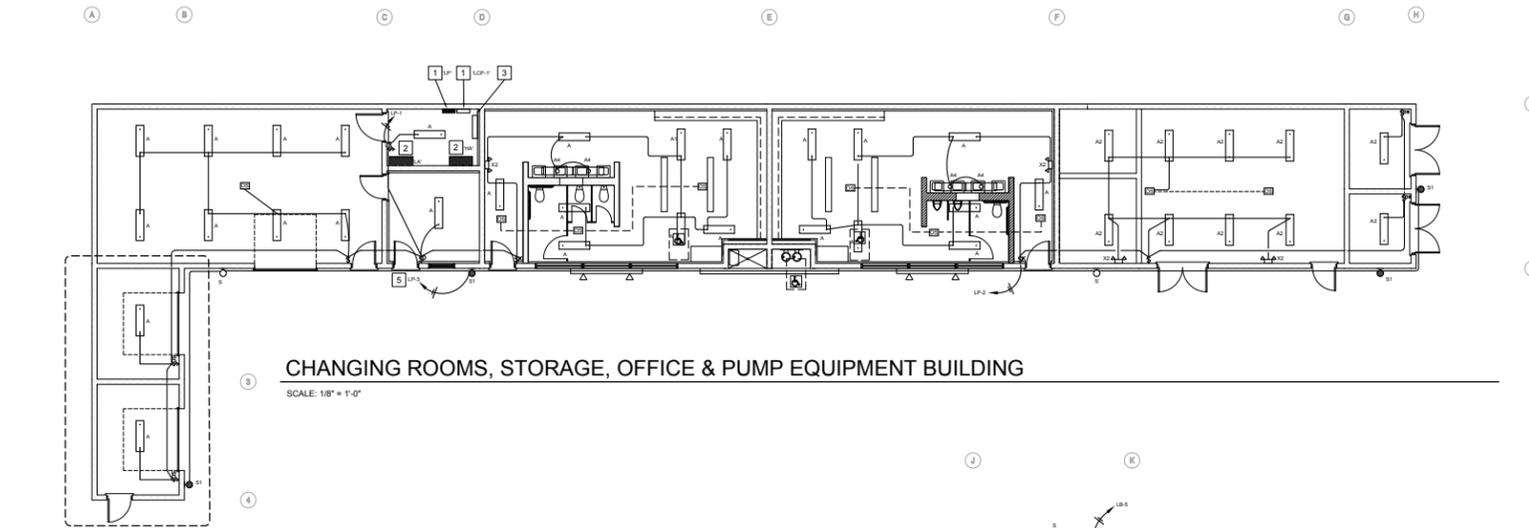
Note:
Preliminary Design for Land Use Entitlement
Maximum Structure Height from Existing Grade : 17ft
Existing Building Height: Approx. 12 ft.



SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
200 MANCINIERS ROAD, MORRO BAY, CA 93942
**MORRO BAY HIGH SCHOOL
NEW SWIMMING POOL**

REFERENCE NOTES

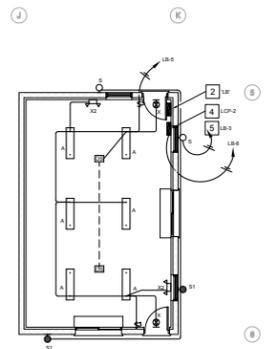
1. EXTERIOR LIGHTING CONTROL / MECHANICAL EQUIPMENT TIMECLOCK.
2. ELECTRICAL PANEL, SEE SINGLE LINE DIAGRAM AND PANEL SCHEDULES.
3. SPORTS LIGHTING CONTROL CABINET.
4. LIGHTING CONTROL PANEL LCP-2 FOR TICKETS/SHACK BUILDING.
5. ROUTE BRANCH CIRCUIT(S) THROUGH LIGHTING CONTROLS, SEE LIGHTING CONTROL DIAGRAM ON SHEET E-3.1.



CHANGING ROOMS, STORAGE, OFFICE & PUMP EQUIPMENT BUILDING

SCALE: 1/8" = 1'-0"

ADDITIVE ALTERNATE #1



TICKET / SNACK KIOSK

SCALE: 1/8" = 1'-0"



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JACOB COOPER
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ARCHITECTS
JOE S. WILCOX



ENGINEERS
STAMP & SIGNATURE

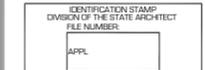


EXP. 06/30/17 REF. #15-0003
CONSULTANT INFORMATION



THOMA ELECTRIC, INC.
P.O. Box 1167 - 3562 Empino St.
San Luis Obispo, CA 93406
Phone: (805) 543-3850
Fax: (805) 543-3829
coo@thomoelec.com

DESIGNER & SIGNATURE



DATE: _____
DATE: _____
CPRC/CSA TRACKING NUMBER: _____

REVISION	DESCRIPTION	DATE	BY
DRAWN: LB			
CHECKED: RP			
DATE: 06/21/2015			
JOB NO: 14.067			

SHEET TITLE: LIGHTING FLOOR PLANS

SHEET

E-2.0



BUS RATING: 100A 120/208V 3PH 3W MAIN: 100A MAIN CIRCUIT BREAKER SPACES: 24 FULL SIZE BOLT-ON CB SPACES AIC RATINGS: 10 KACB PANEL										(N) PANEL LB										SURFACE MOUNT, NEMA 1 LOCATION: TICKET BOOTHS/STOCK SHA-CK WITH EQUIPMENT GND BUS									
CKT %WD	DIST (FT)	LOAD (FT)	NOTES	TYPE	CKT	DESCRIPTION	TRIP	POLES	COND SIZE	CONNECTED VA			COND SIZE	POLES	TRIP	DESCRIPTION	CKT	LOAD TYPE	NOTES	DIST (FT)	CKT %WD								
										PHASE A	PHASE B	PHASE C																	
0.25%	15	1	M	1	1	UNIT HEATER	20	1	12	800	50	25	12	1	20	RECEPTACLES	2	R		15	0.22%								
0.04%	15	1	L	3	3	EXTERIOR LIGHTS	20	1	12	100	12	1	20	1	20	RECEPTACLES	4	R		15	0.22%								
0.17%	25	1.3	L	5	5	INTERIOR LIGHTS	20	1	12	250	12	1	20	1	20	LCR-2	6	C		15	0.06%								
					7	SPARE	20	1		300	12	1	20	1	20	RECEPTACLES	8			50	0.50%								
					9	SPARE	20	1					1	20	1	20	SPARE	10											
					11								1	20	1	20	SPARE	12											
					13								1	20	1	20	SPARE	14											
					16								1	20	1	20	SPARE	16											
					17																								
					19																								
					21																								
					23																								

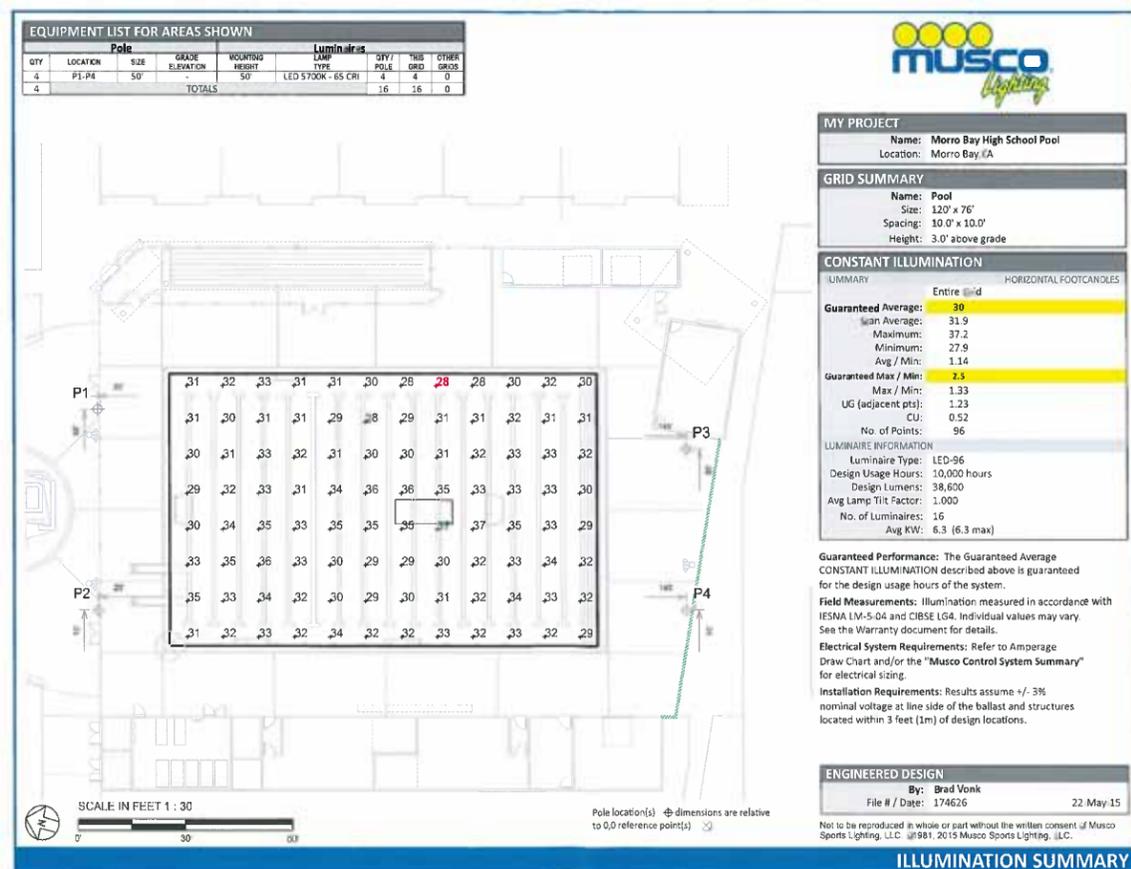
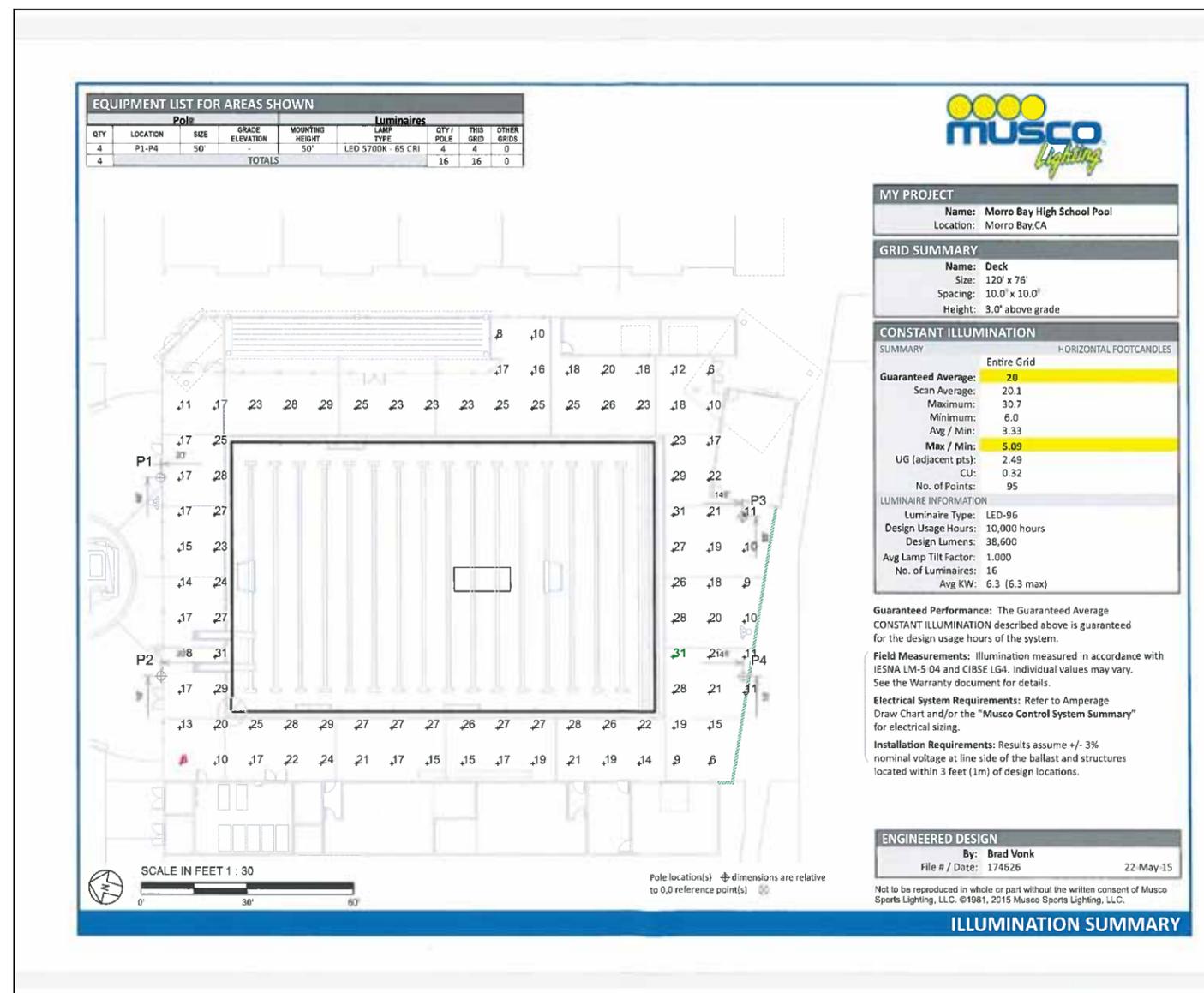
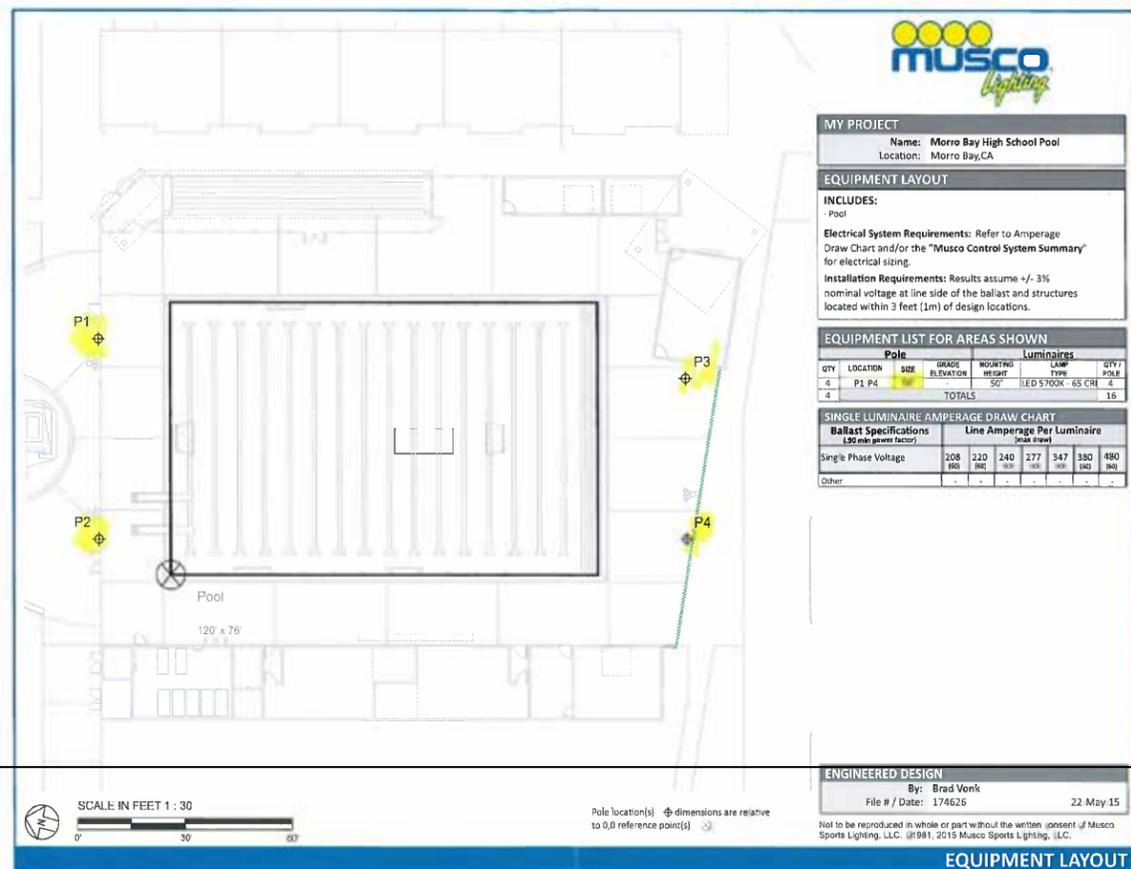
BUS RATING: 100A 120/208V 3PH 4W MAIN: 100A MAIN LUG ONLY SPACES: 30 FULL SIZE BOLT-ON CB SPACES AIC RATINGS: 22 KACB PANEL										(N) PANEL LP										SURFACE MOUNT, NEMA 1 LOCATION: ELECTRIC ROOM WITH EQUIPMENT GND BUS									
CKT %WD	DIST (FT)	LOAD (FT)	NOTES	TYPE	CKT	DESCRIPTION	TRIP	POLES	COND SIZE	CONNECTED VA			COND SIZE	POLES	TRIP	DESCRIPTION	CKT	LOAD TYPE	NOTES	DIST (FT)	CKT %WD								
										PHASE A	PHASE B	PHASE C																	
0.18%	40	1	L	1	1	INTERIOR LIGHTING	20	1	12	800	50	25	12	1	20	INTERIOR LIGHTING	2	L		80	0.33%								
0.06%	80	1.3	L	3	3	EXTERIOR LIGHTING	20	1	12	150	12	1	20	1	20	SITE LIGHTING	4	L	1.3	180	0.15%								
					5	SPARE	20	1		150	12	1	20	1	20	SITE LIGHTING	6	L	1.3	200	0.21%								
					7	SPARE	20	1		1000	12	3	20	3	20	SPORTS LIGHTING POLE P-3	8	L	1	100	0.26%								
					9	SPARE	20	1		1000	12	3	20	3	20	SPORTS LIGHTING POLE P-3	10	L	1	100	0.26%								
					11	SPARE	20	1		1000	12	3	20	3	20	SPORTS LIGHTING POLE P-3	12	L	1	100	0.26%								
0.19%	60	1	L	13	13	SPORTS LIGHTING POLE P-1	20	3	12	1000	12	3	20	3	20	SPORTS LIGHTING POLE P-4	14	L	1	140	0.36%								
0.15%	60	1	L	15	15	SPORTS LIGHTING POLE P-1	3	12	1000	12	3	20	3	20	SPORTS LIGHTING POLE P-4	16	L	1	140	0.36%									
0.16%	60	1	L	17	17	SPORTS LIGHTING POLE P-1	3	12	1000	12	3	20	3	20	SPORTS LIGHTING POLE P-4	18	L	1	140	0.36%									
0.26%	100	1	L	19	19	SPORTS LIGHTING POLE P-2	20	3	12	1000	1	20	1	20	SPARE	20													
0.26%	100	1	L	21	21	SPORTS LIGHTING POLE P-2	3	12	1000	1	20	1	20	SPARE	22														
0.26%	100	1	L	23	23	SPORTS LIGHTING POLE P-2	3	12	1000	1	20	1	20	SPARE	24														

PANEL SCHEDULE NOTES

- LONG CONTINUOUS LOAD (LCL). ADDITIONAL 25% ADDED AT BOTTOM OF PANEL. FEEDER CALCULATED AT 125% OF TOTAL CONNECTED LOAD.
- ROUTE BRANCH CIRCUIT THROUGH LIGHTING CONTROLS. SEE LIGHTING CONTROL DIAGRAM ON SHEET E-3.1.
- PROVIDE CIRCUIT BREAKER LOCKING DEVICE.

BUS RATING: 400A 277/480V 3PH 4W MAIN: 400A MAIN CIRCUIT BREAKER SPACES: 42 FULL SIZE BOLT-ON CB SPACES AIC RATINGS: 22 KACB PANEL										(N) PANEL HA										SURFACE MOUNT, NEMA 1 LOCATION: ELECTRIC ROOM WITH EQUIPMENT GND BUS									
CKT %WD	DIST (FT)	LOAD (FT)	NOTES	TYPE	CKT	DESCRIPTION	TRIP	POLES	COND SIZE	CONNECTED VA			COND SIZE	POLES	TRIP	DESCRIPTION	CKT	LOAD TYPE	NOTES	DIST (FT)	CKT %WD								
										PHASE A	PHASE B	PHASE C																	
0.04%	20	L	1	1	1	LIGHTING PANEL LP	100	3	2	7100	12	1	80	4	3	80	POOL CRG PUMP 30HP	2	M		100	0.44%							
0.03%	20	L	3	3	3	LIGHTING PANEL LP	3	2	11000	4	3	80	4	3	80	POOL CRG PUMP 30HP	4	M		100	0.44%								
0.03%	20	L	5	5	5	LIGHTING PANEL LP	3	2	11000	4	3	80	4	3	80	POOL CRG PUMP 30HP	6	M		100	0.44%								
					7					12123	1	3	125	1	3	125	TRANSFORMER TA - 75KVA	8	N		20	0.05%							
					9					11121	1	3		1	3		TRANSFORMER TA - 75KVA	10	N		20	0.04%							
					11					10076	1	3		1	3		TRANSFORMER TA - 75KVA	12	N		20	0.04%							
					13					18000	1/0	3	100	1/0	3	100	EXISTING LIBRARY PANEL 24H	14	N		450	1.29%							
					15					18000	1/0	3	100	1/0	3	100	EXISTING LIBRARY PANEL 24H	16	N		450	1.29%							
					17					18000	1/0	3	100	1/0	3	100	EXISTING LIBRARY PANEL 24H	18	N		450	1.29%							
					19																								
					21																								
					23																								
					25																								
					27																								
					29																								
					31																								
					33																								
					35																								
					37																								
					39																								
					41																								

BUS RATING: 225A 120/208V 3PH 4W MAIN: MLC MAIN LUGS ONLY - SPLIT BUS SPACES: 42 FULL SIZE BOLT-ON CB SPACES AIC RATINGS: 22 KACB PANEL										(N) PANEL LA										SURFACE MOUNT, NEMA 1 LOCATION: ELECTRIC ROOM WITH EQUIPMENT GND BUS									
CKT %WD	DIST (FT)	LOAD (FT)	NOTES	TYPE	CKT	DESCRIPTION	TRIP	POLES	COND SIZE	CONNECTED VA			COND SIZE	POLES	TRIP	DESCRIPTION	CKT	LOAD TYPE	NOTES	DIST (FT)	CKT %WD								
										PHASE A	PHASE B	PHASE C																	
2.84%	120	R	1	1	1	RECEPTACLES - CHEM RMS	20	1	12	900	12	1	20	1	20	RECEPTACLES - OFFICE	2	R		15	0.37%								
1.78%	120	R	3	3	3	RECEPTACLES - PUMP EGMT. RM	20	1	12	540	12	1	20	1	20	UNIT HEATER, MEN'S CHANGING	4	M		50	0.83%								
1.49%	60	R	6	6	6	RECEPTACLES - CHANGE RMS	20	1	12	900	12	1	20	1	20	UNIT HEATER, WOMEN'S OR	6	M		40	0.66%								
1.24%	50	R	7	7	7	RECEPTACLES - STORAGE RMS	20	1	12	900	1	20	1	20	SPARE	8													
2.20%	80				9	SCOREBOARD	20	1	12	1000	1	20	1	20	SPARE	10													
0.25%	90	3			11	FIRE SPKLR BELL	20	1	12	100	12	1	20	1	20	FIRE ALARM CONTROL PANEL	12	N	3	20	0.06%								
					13	SPARE	20	1		100	1	20	1	20	SPARE	14													
					15	SPARE	20	1		100	1	20	1	20	SPARE	16													
					17	SPARE	20	1		150	12	1	20	1	20	LCR-1	18			20	0.06%								
					19																								
					21																								
					23																								
					25																								
					27																								
					29																								
					31	SPARE	20	1	12	1000	12	1	20	1	20	STORAGE ROLL-UP DOOR	32	N		30	0.83%								
1.38%	50	N	33	33	33	STORAGE ROLL-UP DOOR	20	1	12	1000	12	1	20	1	20	STORAGE ROLL-UP DOOR	34	N		30	0.83%								
1.10%	40	N	35	35	35	STORAGE ROLL-UP DOOR	20	1	12	1000	12	1	20	1	20	STORAGE ROLL-UP DOOR	36	N		30	0.83%								
1.70%	230	M	37	37	37	PANEL SP - POOL EGMT.	100	3	1	8920	2	100	2	100	PANEL LB - TICKET BOOTHS BLDG	38	N		200										
1.71%	230	M	39	39	39	PANEL SP - POOL EGMT.	3	1	10075	6975	2	100	2	100	PANEL LB - TICKET BOOTHS BLDG	40	N		200										
1.79%	2																												



INTRODUCTION

Proposed Project Summary:

The proposed project consists of Master Plan Development and Modernization of various facilities on the existing 52 acre campus including construction of New Pool Area (Pool) and New Student Services Building (SSB). Refer to full Application #CPO-485 &UP0-427 for detailed project description and support information.

Visual Assessment Methodology:

Architectural Plans were evaluated to identify building features such as roof ridgeline and corners of buildings. (Exhibit 1.1, 2.1) The horizontal and vertical locations of these points were staked in the field utilizing marking points, or pylons.

Marking points and pylons indicate known elevations, in fixed locations that were viewed from selected locations. Photographs were taken from Street View to document the potential visibility of the project as shown in Existing Conditions Exhibits 1.3 and 2.2.

Known elevations of marking points and pylons were utilized to simulate the ridgelines and profiles of the proposed structures to best represent project visibility.

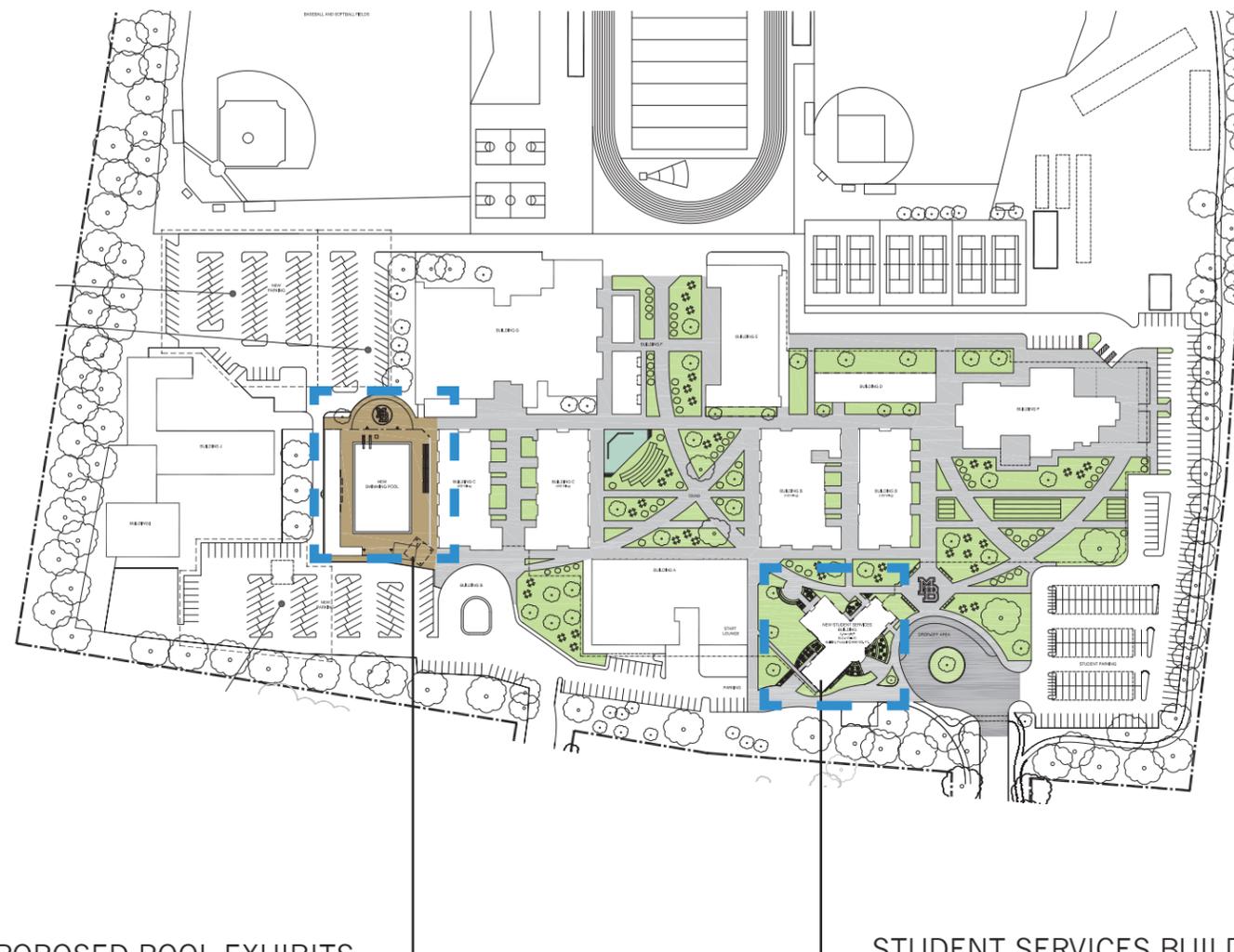
VISIBILITY

Student Services Building Visibility:

As shown in Proposed Conditions Exhibits 1.4, the simulation identifies segments of the structure that will be visible from Highway 101 on-ramp. The structure is screened primarily by existing Solar Panels in the school parking lot.

Pool Facility Visibility:

As shown in Proposed Conditions Exhibits 2.3, the simulation identifies segments of the Ancillary Building structure that will be visible from Atascadero Road. The primary Pool Facility structure with lockers and storage is screened primarily by existing tree canopy and vegetation.

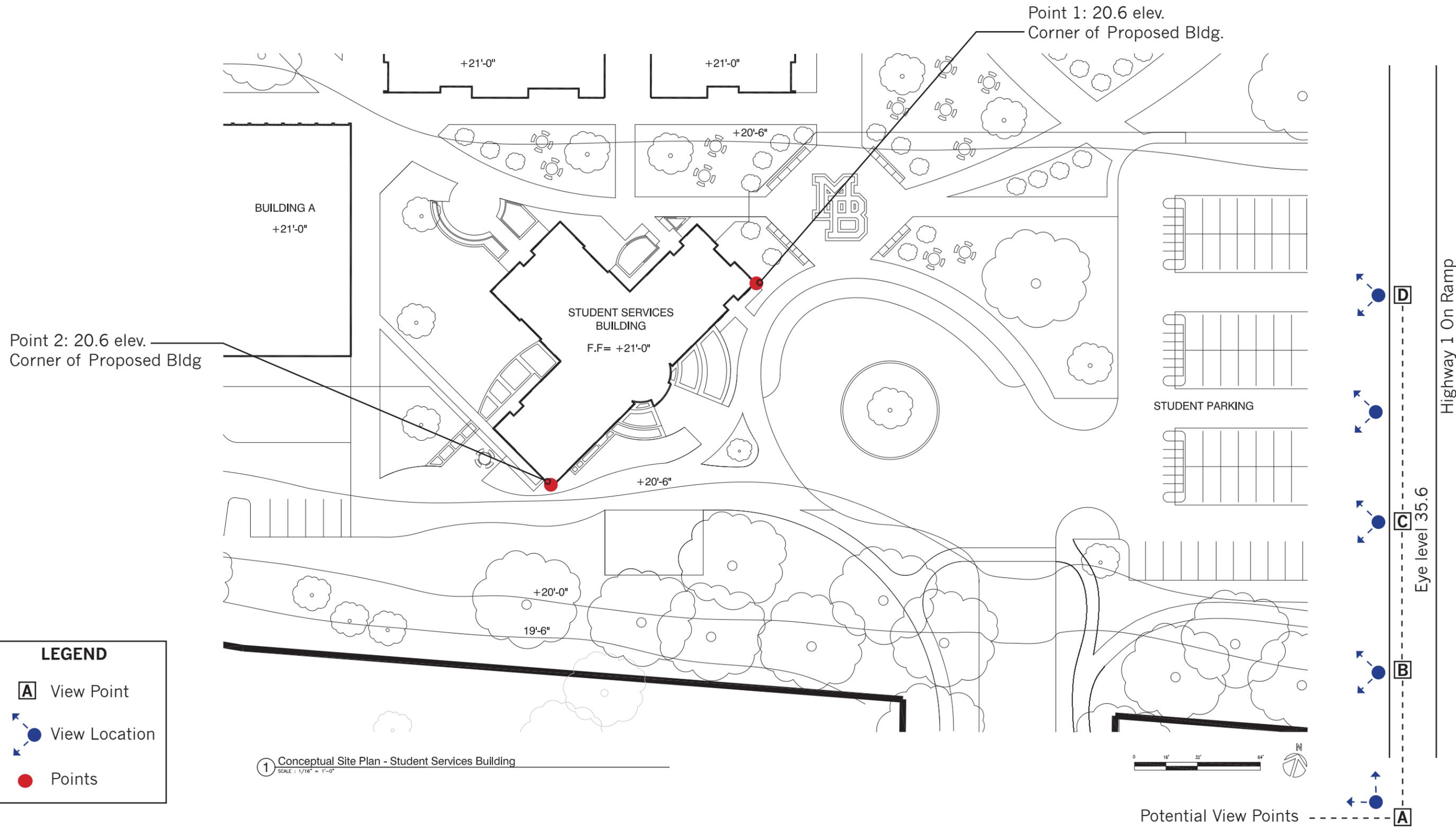


PROPOSED POOL EXHIBITS

- 2.1 PYLON AND VIEW LOCATION
- 2.2 EXSITING CONDITIONS
- 2.3 PROPOSED CONDITIONS

STUDENT SERVICES BUILDING EXHIBITS

- 1.1 POINTS AND VIEW LOCATION
- 1.2 POTENTIAL VIEW LOCATIONS
- 1.3 EXSITING CONDITIONS
- 1.4 PROPOSED CONDITIONS





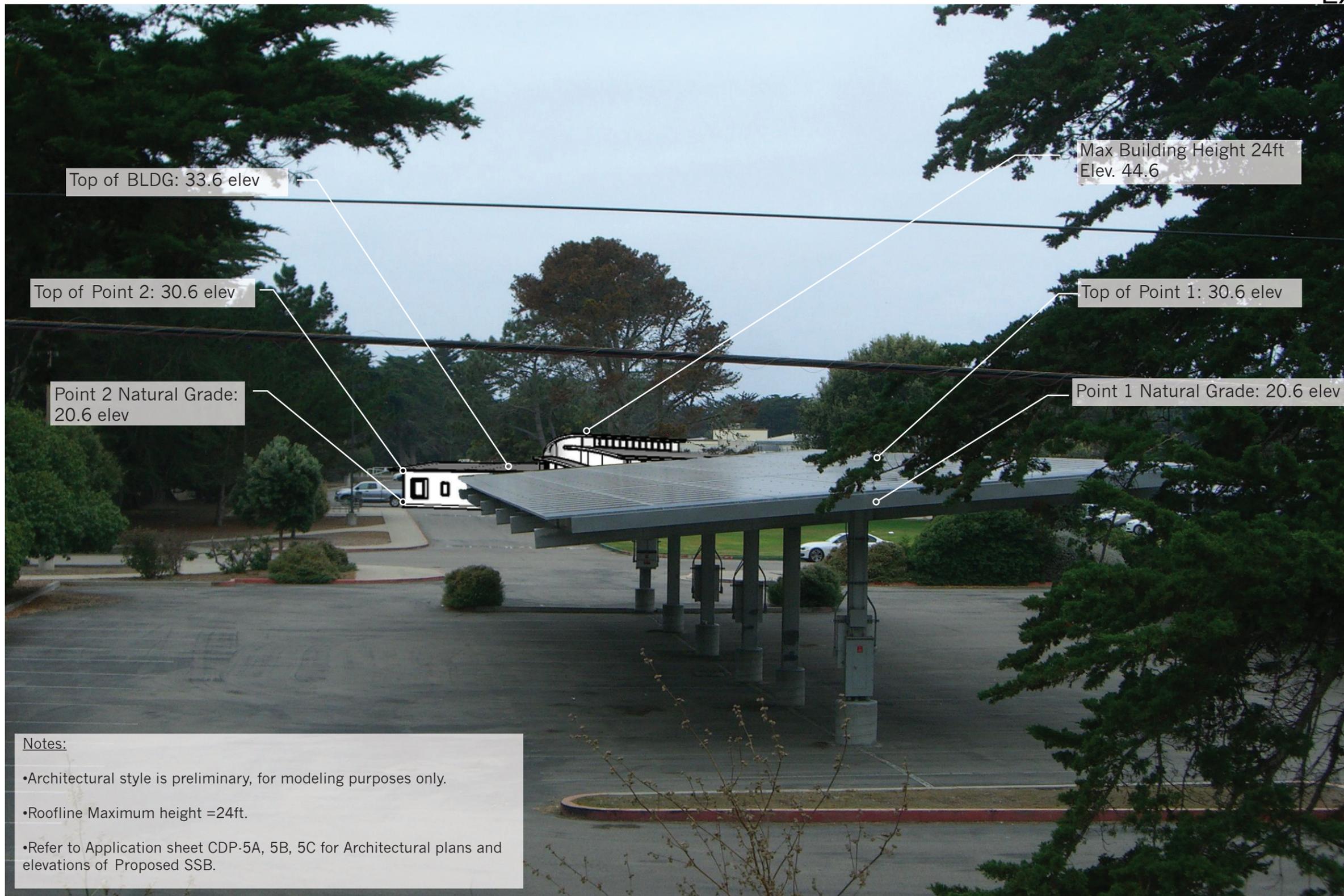
View Note:

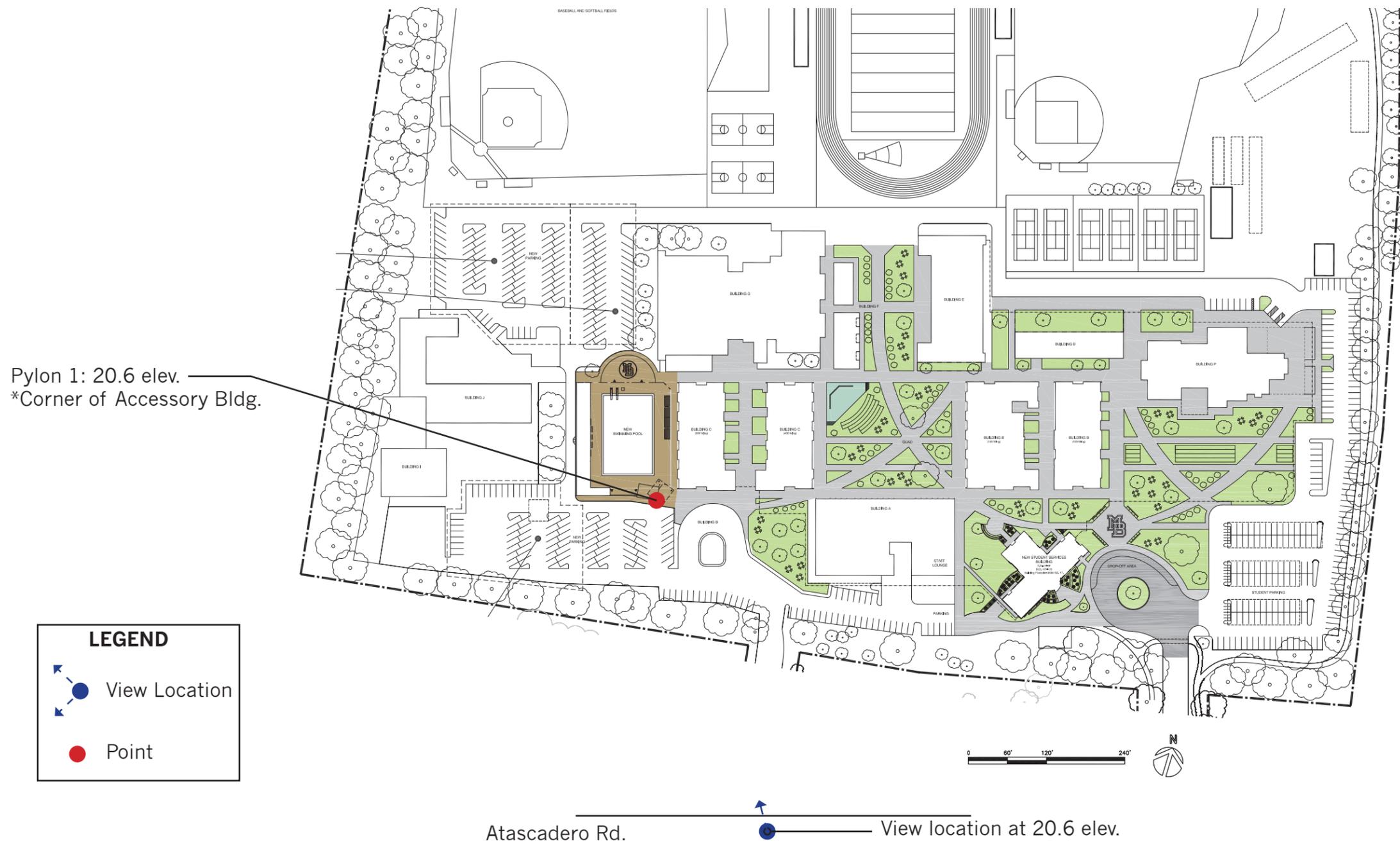
- Locations A,B,C and D were all selected as potential view points. Refer to exhibit 1.1 for view location.
- View C was selected because it demonstrates the most visibility of the proposed student services building from Highway 1.





* View Point C at Eye-level 35.6 elev. at Cal trans On-ramp (refer to 1.1 for location)







* View Location Eye level 20.0 elev. at West Entrance and Atascadero Rd (refer to 2.1 for location)



Notes:

- Architectural style is preliminary, for modeling purposes only.
- Roofline Maximum height =18ft.
- Refer to Application sheet CDP-4A, 4B, 4C for Architectural plans and elevations of Proposed Pool Facility.

2. Modify the WEU table to reflect current water use which has decreased 35-percent since the WEU tables were last modified in 1990. Recommendation: Adjust WEU table to reflect current water use.

Add a WEU category for docks for both live aboard and non-live aboard

3. Miscellaneous changes reflecting the current organization of the City. Recommendation: Make miscellaneous non-substantive changes.

On March 16, 2016 the Public Works advisory Board reviewed this item and were in agreement with the modifications. The PWAB provided comments regarding some clerical errors and inconsistencies in the language, which have been subsequently corrected. The Board that the WEU table be reviewed on an annual basis.

ATTACHMENTS

1. MBMC 13.30 – “Redlined”
2. Revised WEU Table

Chapter 13.20 - BUILDING LIMITATION*

Sections:

13.20.010 - Intent and findings.

- A. The intent of this chapter is to regulate the addition of new water users to the eityCity's water system, whether new construction, expansions or new occupancies, to ensure that demand for water shall not exceed available supply and that the pace of allocating the available water supply to new users is reasonable and orderly.
- B. The eityCity of Morro Bay presently has a limited amount of water resources; this fact is not only recognized by the eityCity but also by the state of California in various actions of the California Coastal Commission limiting new development within the eityCity limits. New water users must be regulated, accordingly, to ensure that demand does not exceed supply and that the pace of development using available water is orderly and reasonable.

The regulations established by this chapter may effectively limit the number of housing units which may be constructed on an annual basis, but such limitation is necessary to protect the public health, safety and welfare. If water use exceeded supply and adequate water were not available to users, there could result in increased fire hazard, adverse impacts on commerce, industry and recreation, and the public health, safety and welfare would generally be jeopardized.

By "development that occurs in an orderly fashion" is meant development which can be served by public utilities, including but not limited to water resources and delivery systems; which encourages infill in existing developed parts of the eityCity rather than in large undeveloped areas along the perimeter of the community; and, which helps to implement the policies and priorities articulated in the eityCity general plan and local coastal program.

Similarly, the public health, safety and welfare is promoted by regulating the pace of new development so that it occurs in an orderly fashion. Such development helps preserve the community's character, enhances the attractiveness of the eityCity, better implements adopted plans, policies and priorities for the physical growth of the eityCity, and tends toward a more efficient use of available resources including but not necessarily limited to water and water delivery systems.

(Ord. 265 (part), 1985)

13.20.020 - Definitions.

The following definitions shall be used for interpreting this chapter:

- A. "Project" means new construction, additions to existing facilities, changes or intensification of use or occupancies in an existing facility, or demolition and replacement of existing facilities.
- B. "Water equivalency program" means a program adopted each year that establishes the total number of water equivalency units to be allocated for the coming fiscal - year, and the method of dispersing and administering water equivalency units through the year.

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C. "Water equivalency table" means a table that indicates the average annual water use of different land uses that is used in calculating how many water equivalency units a proposed project needs.

"Water equivalency units" means a unit of measure for water use equal to the average amount of water used by a single-family residence over the period of one year.

Water equivalency units are established to assist the ~~city~~City in regulating the addition of new water users to the ~~city~~City's limited water system.

Since ~~1977~~2016, one water equivalency unit has been considered as equal to ~~ten-six~~ thousand ~~seven-three~~ hundred ~~eighty-forty-four~~ cubic feet of water per year (130 gal/day).

(Ord. 265 (part), 1985)

13.20.030 - Responsibilities of the ~~public services director~~Public Works Director.

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The ~~public services director~~Public Works Director is charged with:

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A. Submitting an annual water report to the ~~City Council~~ Public Works Advisory Board and ~~Planning Commission~~;

B. ~~Calculating~~ Reviewing and approving the water equivalency units required by individual projects;

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C. Monitoring the water equivalency program during each year;

D. Periodically updating the basis for a water equivalency unit and the water equivalency table and adjusting them based on significant changes of water consumption by land use type;

E. Developing operating procedures for the administration of the water equivalency program and allocating water equivalency units established for the year to projects, in accordance with the water equivalency program.

(Ord. 515 (part), 2006; Ord. 265 (part), 1985)

13.20.040 - Submission of annual report by the ~~public services director~~Public Works Director.

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A. ~~In-By January June~~, of each year, and subsequently in the following year based on a significant change in the water availability situation or recalculation of use by type of activity, the ~~public services director~~Public Works Director shall submit a report to the ~~city council~~City Council, Public Works Advisory Board and ~~planning commission~~Planning Commission outlining the number of uses receiving equivalencies the previous year, the number of equivalencies distributed, and the number of water equivalency units to be allocated for that year to projects.

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B. The Planning Commission and Public Works Advisory Board shall consider this report and forward it to the City Council with its recommendations. The City Council shall thereafter hold a public meeting and shall take action to adopt a water equivalency program for the year.

~~B.C.~~ The ~~city council~~City Council shall consider the annual report at a regularly scheduled ~~Council~~ meeting and make any changes to the annual water report and operating procedures for the administration of the water equivalency program, as it deems appropriate.

(Ord. 515 (part), 2006: Ord. 265 (part), 1985)

13.20.050 - Responsibilities of the ~~city council~~ City Council.

A. By ~~January-June~~ 15th of each year, the ~~city council~~ City Council shall adopt a water equivalency program for ~~that the next calendar~~ fiscal year by resolution.

B. The ~~city council~~ City Council shall also review the operating procedures for administration of the water equivalency program developed by the ~~planning~~ Public Works Director ~~director~~.

(Ord. 265 (part), 1985)

13.20.060 - ~~Submission of annual report by the planning director~~ Reserved.

~~A. In December of each year, and subsequently in the following year based on a significant change in the water availability situation or recalculation of use by type of activity, the planning director shall submit a report to the city council and planning commission outlining the number of uses receiving equivalencies that year and the number of equivalencies distributed.~~

~~B. The annual water equivalency program shall not conflict with the Authorized Water Recovery Allocation Model as approved by the California Coastal Commission, while said model remain in effect.~~

~~C. The planning commission shall consider this report and forward it to the city council with its recommendations. The city council shall thereafter hold a public hearing and shall take action to adopt a water equivalency program for the year.~~

~~(Ord. 265 (part), 1985)~~

13.20.070 - Water equivalency table.

The water equivalency table shown in Table 13.20.070 indicates the average annual water use of different land uses and building types relative to that of a single-family dwelling. The water equivalency table shall be followed when calculating the water equivalency units needed by individual projects or to be credited to existing or discontinued land uses as set forth in Section 13.20.080. The water equivalency table shall be periodically reviewed and modified to reflect changes in water use.

WATER EQUIVALENCY TABLE

Revised ~~October 1990~~ May 2016

Morro Bay ~~Community Development~~ Public Works Department

Revised Table Attached

	Average Water Use Rate		Unit Factor
	Cubic Feet Per Year Per Unit Factor	Usage Equated to Water Equivalency Per Unit Factor	Per 1000 Sq. Ft./ or Seat/ or Unit/* or Site**

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Attachment 1

	1,700	.16	seat
Fast Food (Take-Out)	41,700	3.80	sq. ft. or
	1,400	.13	seat
Pizza (Take-Out Only)	3,200	.30	sq. ft.
Food Stores			
Bakeries/Ice Cream	4,600	.43	sq. ft.
Supermarkets (over 10,000 sq. ft.)	2,200	.20	sq. ft.
Mini Markets	4,100	.38	sq. ft.
Liquor Stores	2,700	.25	sq. ft.
Health Services			
Medical Dr. Offices	6,100	.57	sq. ft.
Misc. Medical (Chiropractor, Optometrist)	2,800	.26	sq. ft.
Mixed Medical	4,900	.45	sq. ft.
Veterinarians	9,500	.88	sq. ft.
Hotels & Motels			

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Attachment 1

<u>With Manager's quarters</u>			
<u>on-site</u>	<u>5,400</u>	<u>.50</u>	<u>unit</u>
<u>Without Manager's quarters</u>			
<u>on-site</u>	<u>5,200</u>	<u>.48</u>	<u>unit</u>
<u>Industrial/Storage</u>			
<u>Industrial Laundry</u>	<u>85,400</u>	<u>7.92</u>	<u>sq. ft.</u>
<u>Light Industrial</u>	<u>1,000</u>	<u>.09</u>	<u>sq. ft.</u>
<u>Storage/Mini-storage</u>	<u>500</u>	<u>.05</u>	<u>sq. ft.</u>
<u>Upholstery Shops</u>	<u>3,000</u>	<u>.28</u>	<u>sq. ft.</u>
<u>Institutions & Organizations</u>			
<u>Churches</u>	<u>300</u>	<u>.03</u>	<u>site/sq. ft.</u>
<u>Fraternal Organizations</u>	<u>2,500</u>	<u>.23</u>	<u>sq. ft.</u>
<u>Yacht Club</u>	<u>11,500</u>	<u>1.05</u>	<u>sq. ft.</u>
<u>Marine Oriented</u>			
<u>Marine Service/Supply</u>	<u>4,100</u>	<u>.38</u>	<u>sq. ft.</u>
<u>Seafood Processors</u>			

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Attachment 1

w/saltwater use	33,600	3.13	sq. ft.
w/o saltwater use	47,800	4.43	sq. ft.
▲			
Offices (Non-Medical)	▲		
Offices—General	1,600	.15	sq. ft.
Offices—Complex	1,600	.15	sq. ft.
Real Estate Offices	1,600	.15	sq. ft.
▲			
Personal Services	▲		
Barber/Beautician	8,000	.74	sq. ft.
Car Washes (Self serve)	17,400	1.61	bay
Dry Cleaners (Off-site)	10,800	1.00	sq. ft.
Laundromats	102,800	9.54	sq. ft.
Mortuaries	10,000	.93	site
▲			
Residential (No Change)	▲		
Single-family Home	10,780	1.00	unit
Duplex Unit	8,400	.78	unit
Condominium Unit	6,900	.64	unit
Apartment Unit	5,800	.54	unit

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Attachment 1

Trailer/Mobile Home	6,500	-.46	unit
One bedroom and Studio	4,900	-.45	unit
Apartment Unit, 600 sq. ft. or less for elderly/handicapped only			
Retail			
Art Supply Store/Studio	1,600	-.15	sq. ft.
Auto Parts & Supplies	1,600	-.15	sq. ft.
Candle Shops	1,600	-.15	sq. ft.
Gifts & Clothing	1,600	-.15	sq. ft.
Florists	1,600	-.15	sq. ft.
Furniture/Antiques	1,600	-.15	sq. ft.
Hardware/Related	1,600	-.15	sq. ft.
Pharmacies	1,600	-.15	sq. ft.
Variety	1,600	-.15	sq. ft.
Misc. Similar Retail	1,600	-.15	sq. ft.
Farm & Feed Supply	800	-.07	sq. ft.
Pet Stores	4,100	-.38	sq. ft.

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Social Services			
Day-Care Facilities	15,500	1.44	sq. ft.
Misc. Uses			
Theater	100	.01	seat
Printer/Newspaper	2,400	.22	sq. ft.

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* UNIT FACTOR is defined as follows:
 Per 1,000 square feet: Generally, the square foot ratio refers to the gross building area, unless otherwise indicated.
 Per Seat: Seating refers to the number of actual seats, not the maximum capacity.
 Per Unit: Unit refers to each individual residential unit or motel room.
 Per Site: The site refers to the gross area to be occupied by the land use, including buildings, parking areas and landscaping.

** WATER EQUIVALENCY is defined as the average amount of water used by a single-family residence—currently 10,780 cubic feet, rounded to the nearest hundreds for cubic feet and hundredths for water equivalencies.

(Ord. 442, 1992; Ord. 406 § 1, 1991; Ord. 385 § 2, 1990; Ord. 265 (part), 1985)

13.20.080 - Allocation of water equivalency units to projects.

A. No project as defined in this chapter shall be permitted unless it is first reviewed by the ~~community development director~~ Public Works Director to ascertain whether it will increase likely water usage and thereby needs water equivalencies. The director shall use the "water equivalency table" contained in Section 13.20.070 for determining water equivalencies for various uses. If a particular use is not listed on the table, the director shall estimate equivalencies for that use. Generally, the water usage records of a sample of like uses already operating in the ~~city~~ City shall be used if available. The time frame for the sampling should be at least seven years of use if available. Any other relevant information may be used in making a reasonable estimate. The director's decisions regarding estimates of water usage may not be appealed ~~to the planning commission~~. If a proposed project, as defined in this chapter, is found to require water equivalencies, it shall not be approved for construction, or in cases of changes to, or the expansion or intensification of, existing uses, the occupancy shall not be

approved until and unless the required water equivalencies have been obtained in accordance with the annual water equivalency program, except as provided in this section.

- B. The following types of projects shall not be required to obtain equivalencies through the equivalency program:
1. Projects which involve the demolition of a building where the number of water equivalencies required by the new uses is less than or equal to those credited to the demolished building(s). Water equivalencies credited to demolished buildings shall be limited to the highest number of water equivalencies credited to legally permitted uses which have existed in the building since January 1, 1977, based upon the most current water equivalency table contained in Section 13.20.070 of this code. Any building demolished prior to January 1, 1977 shall not be credited with equivalencies. "Legally permitted" buildings, uses or occupancies shall mean: any building, use or occupancy for which any required use permit, building permit or business license had been secured and validated, or any legal nonconforming use.
 2. Projects which involve the replacement of a use or occupancy where the number of water equivalencies required by the new use or occupancy is less than or equal to those credited to the highest number of water equivalencies credited to legally permitted, non-temporary uses, which have existed in the building since January 1, 1977, based upon the most current water equivalency table contained in Section 13.20.070 of this code. Any use or occupancy discontinued prior to 1977 shall not be credited with equivalencies;
 3. A project which is an addition to an existing facility and includes the retrofit of existing fixtures in that existing facility such that the equivalencies saved by the retrofit is greater than or equal to the equivalencies required by the new use. The planning director shall estimate the equivalencies saved by a proposed retrofit; the director may request the project proponent to supply whatever information is deemed necessary to help estimate water savings;
 4. a. In order to allow business to more easily establish or relocate in Morro Bay, the existence of a maximum fifteen-hundredths ~~w.e.u.~~ WEU per thousand square feet above the amount listed on the most current water equivalency table set out in Section 13.20.070 is recognized to allow for an expansion in use or occupancy where no building expansion is proposed and the following is met:
 - i. Where an existing building, industrial or commercial (except motels, hotels, campgrounds and other commercial uses for which equivalencies are based on the number of units), is located within an industrial or commercial district, and
 - ii. The building is in compliance with ~~Ordinance No. 352 (low flow fixtures)~~ the current code requirements for low flow.
 - b. Said fifteen-hundredths shall be recognized by letter from the ~~community development~~ Public Works Department upon receipt of a formal request from the property owner and inspection of structure.
 - c. Said fifteenth-hundredths is exempt from water/sewer ~~availability-impact~~ fees./.

- d. Water savings achieved through compliance with Ordinance No. 352 may also be applied to the building or for building expansions in accordance with Section 13.20.080(B)(2).
 - e. This provision shall become void on January 1, 1996, unless extended by the ~~city council~~City Council.
5. Additions or expansions to residential uses, motels, hotels, campground or other uses for which equivalencies are based on number of units so long as such additions or expansion does not involve an increase in number of units.
 6. Family day care homes, as defined in Section 17.12.272 of this code.
- C. A project proponent may obtain equivalencies for the project by implementation of an approved off-site retrofit program of existing water fixtures or other water conservation measure, subject to the following provisions:
1. All proposals for off-site retrofit programs or other water conservation measures shall be submitted to the planning director who shall estimate the number of equivalencies such proposal would save. Additionally, if retrofit is proven to be infeasible, payment of an in-lieu fee in the amount approved by the City Council and listed in the master fee schedule will satisfy this requirement.
 2. Any such proposal ~~shall~~may be subject to review and approval by the ~~city council~~City Council and, if deemed necessary, by the California Coastal Commission; provided, however, that if a proposal complies with the guidelines prepared pursuant to this section and approved by the ~~city council~~City Council, it may be approved by the ~~planning commission~~Public Works Director.
 3. In order to allow a large margin of error in estimated savings and to help reduce overall demand on the ~~city~~City's already constrained water resources, no more than one-half of the water savings from a project resulting from a retrofit proposal may be credited to a new use or development project.
 4. This option shall not include replacement by private developers of leaky water mains.
 5. In order to better implement ~~city~~City objectives and policies to promote infill development, only projects defined as infill pursuant to the definition adopted in the operating procedures shall be eligible to obtain equivalencies pursuant to this section.
 6. The director shall prepare guidelines for the administration of retrofit program which shall be reviewed at least once a year by the ~~city council~~City Council and which shall be subject to ~~C~~eouncil's approval.
 7. Once a year, in ~~January~~May, the director shall submit a report to the ~~city council~~City Council summarizing the experience to date of all retrofit proposals. Prior to submission to the council, such reports shall be reviewed by the ~~water advisory board~~Public Works Advisory Board (PWAB), and all recommendations made by the PWAB shall be included among the materials submitted to the Ceouncil. Based on these reports and PWAB recommendations, the Ceouncil may modify the guidelines for the program as deemed appropriate.

8. In any program under which the ~~city~~City assists developers in locating structures to be retrofitted, priority shall be given to residences of low-income households.
- D. If a project needs to obtain water equivalencies pursuant to the equivalency program, the project proponent shall make application for the equivalency in the form of a completed application for a building permit and shall be submitted to the ~~community development department~~City, provided, however, that for projects which do not require a building permit, a letter requesting the required equivalencies shall be submitted to the department instead. The director shall determine the number of water equivalency units needed by the proposed project. The director shall periodically forward requests to the ~~planning commission~~Planning Commission for allocation of available water equivalency units, in accordance with the annual water equivalency program.
- E. The ~~planning commission~~Planning Commission shall allocate the required water equivalency units to the proposed project only if it can make the following findings:
1. The project is consistent with ~~city~~City planning regulations; all applicable local discretionary permits shall be approved prior to a project's being eligible to receive equivalencies;
 2. There are enough water equivalency units available to be allocated to the specific type of use for which application has been made;
 3. A water equivalency unit allocation to the proposed project is consistent with the water equivalency program adopted for the year;
- F. Applications for equivalencies will be reviewed by the planning department and considered for water equivalency allocations on the basis of time and the date of receipt of the completed application by the community development department.

(Ord. 443 (part), 1995; Ord. 435 § 2, 1994; Ord. 430 (part), 1993; Ord. 425 § 2, 1992; Ord. 423 § 2, 1992; Ord. 394 § 2, 1991; Ord. 305, 1987; Ord. 273, 1985; Ord. 265 (part), 1985)

13.20.083 - Priority for affordable housing developments.

- A. For the purpose of this section, moderate, low and very low income persons shall be defined as set forth in California Health and Safety Code Sections 50079.5 and 50105. "Affordable housing" means housing affordable to persons and families with moderate, low and very low incomes.
- B. In any given year at the time water allocations are authorized by the ~~city council~~City Council, priority on the residential building permit waiting list shall be given for developments which provide a minimum of fifty percent of housing which will be guaranteed to be affordable to persons and families with moderate, low and very low incomes; provided, however, that not more than fifty percent of the building permits allocated each year for single-family dwellings or multifamily dwellings by the ~~city council~~City Council pursuant to Ordinance No. 266 shall be so prioritized. Developments which provide a minimum of fifty percent of affordable housing including a minimum of twenty-five percent affordable to low and very low income families shall have a priority over projects for affordable housing which do not provide units for low and very low income families. Also, developments which provide one hundred percent

affordable housing shall have a priority over projects which provide fifty percent affordable housing.

The remaining permits shall be allocated in accordance with the existing waiting list.

- C. An applicant desiring low income housing priority shall submit to the community development department a written request for such priority, listing the applicant/owner, the address and legal description of the project property, and written deed restrictions and agreements as approved by the ~~city~~City attorney, restricting the sale and/or occupancy of the affordable units in the project to moderate, low or very low income persons for a period of thirty years after completion of the housing project. Upon receipt of this information and agreements, the applicant's property will be placed on a separate low-income housing waiting list for either single-family or multiple-family projects in the order in which the requests are received by the ~~city~~City to be eligible for priority in the following year's water allocation.
- D. If a project due to be awarded water fails to qualify and/or submit sufficient deed restrictions and agreements as required in this section prior to the award of water, or voluntarily withdraws, the project shall be removed from the priority list and shall be returned to its original position on the long-term building allocation waiting list.
- E. The ~~city~~City, at its option, may contract with a nonprofit housing agency to provide for administration of various aspects of deed restrictions, agreements and other procedures to ensure the effectiveness of this program to provide long-term low income housing. Costs for such services shall be borne by the applicant/developer.

(Ord. 408 § 2, 1991; Ord. 377 § 2 (part), 1990)

13.20.085 - Special building allocation.

- A. During any ~~calendar~~ fiscal year in which the ~~city council~~City Council determines not to award all of the water allocations permitted by Ordinance 266, the ~~city council~~City Council may by resolution, authorize building permits to be issued for new uses within the limits established in Ordinance 266 to those projects which because they have pre-existing water equivalencies on-site, have no necessity for new water allocation from the ~~city~~City.
- B. Proposals for residential projects which are being converted from former nonresidential uses or for residential redevelopment projects which increase the number of residential units on the property may be eligible to be considered for a special building allocation when those projects:
 - 1. Have sufficient pre-existing water equivalencies on-site due to prior water use on that property; and
 - 2. Are consistent with the annual building allocation established by the council as required by Ordinance 266;
 - 3. Will not require more water equivalencies than the amount set forth in the "water equivalency table" contained in Section 13.20.070 (Exhibit A) for the current use to be converted.
- C. Upon receipt of a redevelopment application, and verification by the planning director that the proposal conforms to the above requirements and all other requirements of this code, the application will be processed in the normal manner required for any necessary discretionary

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approvals. The planning director on a quarterly basis, shall provide the ~~city council~~City Council a list of all redevelopment projects having obtained all necessary discretionary approvals during that quarter. The council may authorize the chief building official to issue building permits to such projects in accordance with the limitations of the special building allocation for that calendar year. During each quarterly authorization, those projects highest on the long-term waiting list shall have priority over other applicants for access to the available special allocation permits, except as set forth in subsection D of this section.

- D. In accordance with and subject to the provisions of Section 13.20.090 of this code, and as subsequently amended, projects which qualify as "low and very low income housing" developments shall be given priority to special building allocation permits over other applications.
- E. Special building allocations will have no unit carryovers from one calendar year to the next; therefore, in the event that a project requires more units than the number of remaining units available through the allocation, the project proponent may reduce the number of units proposed, or the next project in line that can be satisfied shall receive the award.
- F. Applicants applying to participate in a special building allocation but who fail to meet the criteria above, fail to obtain any required approvals, or who meet the criteria but withdraw their request, shall be returned to their original relative position on the long-term building allocation list.

(Ord. 393 § 2, 1991)

13.20.100 - Nontransferability of water equivalency units. ▲

- A. A water equivalency unit shall be awarded only to a specific project in a specific location. Minor amendments to projects which do not change the type or intensity of use may be approved without loss of equivalencies so long as the project and site do not change.
- B. A water equivalency unit that has been allocated to a specific project cannot be transferred to another project or property.
- C. A project proponent must be the record owner of a property in order to be eligible to obtain water equivalencies.
- D. Equivalencies shall run with the project and the property. New owners of properties which have received water equivalency unit credits shall notify the ~~city~~City within forty-five days of close of escrow.
- E. The limitations outlined in this section shall be effective as of September 27, 1993.

(Ord. 433, 1993; Ord. 377 § 2 (part), 1990; Ord. 291 Exh. A, 1986; Ord. 265 (part), 1985)

13.20.110 - Time limit for using water equivalency units. ▲

- A. If water equivalency units have been awarded to a project by the ~~planning commission~~Planning Commission, that award shall remain in force for the period in which all applicable (related) discretionary and/or ministerial or administrative approvals are valid.
- B. Any extensions granted to such permits prior to their expiration shall automatically extend the water equivalency award to the new expiration date. Expiration of a project's conditional use

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permit or coastal development permit or other ministerial or administrative approval shall result in the expiration of water equivalency units awarded the project. Allocation of water equivalency units expiring in this manner cannot be reinstated. In such cases, new water allocations must be obtained for new or reactivated projects on a property.

- C. For existing commercial uses, industrial uses and other nonresidential uses, retrofit of on-site facilities may be credited on that property for potential further expansions or new nonresidential uses pursuant to the following standards:
1. The water equivalency units earned by the retrofit must be maintained on-site and cannot be transferred to another property; and
 2. The water equivalency units earned are all from on-site retrofit of that property pursuant to a retrofit program approved by the director consistent with these regulations and shall be valid for five years from the date of the retrofit; and
 3. This retrofit need not be tied to any specific current projects but may apply to any future nonresidential expansions and or more intensive nonresidential use on-site; and
 4. In the event of the contemplated sale of the subject property, the retrofit application and replacement work shall be initiated and completed prior to the time of sale; sale defined as last condition precedent to the sale being satisfied.
 5. The retrofit water equivalency units earned can be transferred to a new owner but must remain with the same property (see subsection (C)(1)).

(Ord. 430 (part), 1993; Ord. 377 § 2 (part), 1990; Ord. 375 § 2, 1990; Ord. 265 (part), 1985)

13.20.120 - Limitations on allocations of water. ▲

- A. The cityCity shall not allocate water to new use on the basis of:
1. Any project performed by the cityCity or on cityCity-managed property;
 2. Any water savings that was not derived from, or accomplished by, a specific cityCity-approved and cityCity-contracted project;
 3. Any project, or part thereof, that has previously earned water savings credit for allocation. Thus, a toilet facility, whose retrofit had earned allotment credit, shall not become a factor in a subsequent retrofit by another fixture replacement;
 4. Past, present or future replacement of the cityCity water pipes;
 5. An excess of fifty percent of that water saved from any project. No more than one half of the savings from a project shall be so allocated;
 6. An increase in the amount originally contracted for allocation from a project; or
 7. Mandated projects, measures or procedures, including compulsory retrofitting of private property and forced rationing of water use.
- B. The word "project," as used in this section, shall denote any measure, act, process or procedure by which the consumption of potable cityCity water may be assumed, or expected, to decrease and thereby legally permit the allocation of cityCity water to new use.

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- C. Any water allotment to nonprofit public facilities which are supported by public funds shall be exempt from subdivisions 1, 2 and 3 of subsection A of this section.

(Ord. 390 § 1, 1990)

Attachment 2

Land Use	Existing Typical Water Use Rate		Proposed Typical Water Use Rate		Unit Factor Per 1000 Sq. Ft./ or Seat/ or Unit/* or Site**	Changes	
	Cubic Feet Per Year Per Unit Factor	Usage in Water Equivalency (WEU) Per Unit Factor	Cubic Feet Per Year Per Unit Factor	Usage in Water Equivalency (WEU) Per Unit Factor		Unit Factor	WEU (- indicates increase)
Automotive Services							
Auto Garage (no gas)	1,800	0.17	1,620	0.19	sq. ft.	10%	-9%
Service Sta. w/mini mkt	9,900	0.92	8,910	1.02	sq. ft.	10%	-11%
Service Sta. w/o mkt	7,200	0.67	6,480	0.74	sq. ft.	10%	-11%
Banks & Financial Inst.							
Banks & Savings & Loan	4200	0.39	3,780	0.43	sq. ft.	10%	-11%
Bldg. Mat'ls & Lumber Yard							
Lumber Yard	16700	1.55	15,030	1.72	Site	10%	-11%
Plant Nurseries	2300	0.21	2,070	0.24	Sales Area/sq. ft.	10%	-13%
Eating & Drinking Places							
Bars	7400	0.69	6,660	0.76	sq. ft. or	10%	-11%
	400	0.04	360	0.04	seat	10%	-3%
Restaurants	22200	2.06	19,980	2.29	sq. ft. or	10%	-11%
	800	0.07	720	0.08	seat	10%	-18%
24 Hour Restaurant	39300	3.65	35,370	4.05	sq. ft. or	10%	-11%
	1700	0.16	1,530	0.18	seat	10%	-10%
Fast Food (Take-Out)	41700	3.8	37,530	4.30	sq. ft. or	10%	-13%
	1400	0.13	1,260	0.14	seat	10%	-11%
Pizza (Take-Out Only)	3200	0.3	2,880	0.33	sq. ft.	10%	-10%
Food Stores							
Bakeries/Ice Cream	4600	0.43	4,140	0.47	sq. ft.	10%	-10%
Supermarkets (over 10,000 sq.	2200	0.2	1,980	0.23	sq. ft.	10%	-13%
Mini-Markets	4100	0.38	3,690	0.42	sq. ft.	10%	-11%
Liquor Stores	2700	0.25	2,430	0.28	sq. ft.	10%	-11%

Attachment 2

Land Use	Existing Typical Water Use Rate		Proposed Typical Water Use Rate		Unit Factor Per 1000 Sq. Ft./ or Seat/ or Unit/* or Site**	Changes	
	Cubic Feet Per Year Per Unit Factor	Usage in Water Equivalency (WEU) Per Unit Factor	Cubic Feet Per Year Per Unit Factor	Usage in Water Equivalency (WEU) Per Unit Factor		Unit Factor	WEU (- indicates increase)
Health Services							
Medical Dr. Offices	6100	0.57	5,490	0.63	sq. ft.	10%	-10%
Misc. Medical (Chiropractor, Optometrist)	2800	0.26	2,520	0.29	sq. ft.	10%	-11%
Mixed Medical	4900	0.45	4,410	0.51	sq. ft.	10%	-12%
Veterinarians	9500	0.88	8,550	0.98	sq. ft.	10%	-11%
Hotels & Motels							
With Manager's quarters on- site	5400	0.5	4,860	0.56	unit	10%	-11%
Without Manager's quarters on-site	5200	0.48	4,680	0.54	unit	10%	-12%
Industrial/Storage							
Industrial Laundry	85400	7.92	76,860	8.80	sq. ft.	10%	-11%
Light Industrial	1000	0.09	900	0.10	sq. ft.	10%	-15%
Storage/Mini-storage	500	0.05	450	0.05	sq. ft.	10%	-3%
Upholstery Shops	3000	0.28	2,700	0.31	sq. ft.	10%	-10%
Institutions & Organizations							
Churches	300	0.03	270	0.03	site/sq. ft.	10%	-3%
Fraternal Organizations	2500	0.23	2,250	0.26	sq. ft.	10%	-12%
Yacht Club	11500	1.05	10,350	1.19	sq. ft.	10%	-13%
Marine Oriented							
Marine Service/Supply	4100	0.38	3,690	0.42	sq. ft.	10%	-11%
Dock with Live-Aboard	N/A	N/A	5,200	0.60	slip space	Based on data from Harbor Dept for Dunes St Slips	
Dock without Live-Aboard	N/A	N/A	350	0.05	slip space		

Attachment 2

Land Use	Existing Typical Water Use Rate		Proposed Typical Water Use Rate		Unit Factor Per 1000 Sq. Ft./ or Seat/ or Unit/* or Site**	Changes	
	Cubic Feet Per Year Per Unit Factor	Usage in Water Equivalency (WEU) Per Unit Factor	Cubic Feet Per Year Per Unit Factor	Usage in Water Equivalency (WEU) Per Unit Factor		Unit Factor	WEU (- indicates increase)
Seafood Processors							
w/saltwater use	33600	3.13	30,240	3.46	sq. ft.	10%	-11%
w/o saltwater use	47800	4.43	43,020	4.93	sq. ft.	10%	-11%
Offices (Non-Medical)							
Offices - General	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Offices - Complex	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Real Estate Offices	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Personal Services							
Barber/Beautician	8000	0.74	7,200	0.82	sq. ft.	10%	-11%
Car Washes (Self-serve)	17400	1.61	15,660	1.79	bay	10%	-11%
Dry Cleaners (Off-site)	10800	1	9,720	1.11	sq. ft.	10%	-11%
Laundromats	102800	9.54	92,520	10.60	sq. ft.	10%	-11%
Mortuaries	10000	0.93	9,000	1.03	site	10%	-11%
Residential							
Single-family Home	10780	1	8,732	1	unit	19%	
Duplex Unit	8400	0.78	6,804	0.8	unit	19%	
Condominium Unit	6900	0.64	5,589	0.65	unit	19%	
Apartment Unit	5800	0.54	4,698	0.55	unit	19%	
Trailer/Mobile Home	6500	0.45	5,265	0.55	unit	19%	
One-bedroom and Studio Apartment Unit, 500 sq. ft. or less	4900	0.45	3,969	0.5	unit	19%	
Retail							
Art Supply Store/Studio	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Auto Parts & Supplies	1600	0.15	1,440	0.16	sq. ft.	10%	-10%

Attachment 2

Land Use	Existing Typical Water Use Rate		Proposed Typical Water Use Rate		Unit Factor Per 1000 Sq. Ft./ or Seat/ or Unit/* or Site**	Changes	
	Cubic Feet Per Year Per Unit Factor	Usage in Water Equivalency (WEU) Per Unit Factor	Cubic Feet Per Year Per Unit Factor	Usage in Water Equivalency (WEU) Per Unit Factor		Unit Factor	WEU (- indicates increase)
Candle Shops	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Gifts & Clothing	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Florists	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Furniture/Antiques	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Hardware/Related	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Pharmacies	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Variety	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Misc. Similar Retail	1600	0.15	1,440	0.16	sq. ft.	10%	-10%
Farm & Feed Supply	800	0.07	720	0.08	sq. ft.	10%	-18%
Pet Stores	4100	0.38	3,690	0.42	sq. ft.	10%	-11%
Social Services							
Day Care Facilities	15500	1.44	13,950	1.60	sq. ft.	10%	-11%
Misc. Uses							
Theater	100	0.01	90	0.01	seat	10%	-3%
Printer/Newspaper	2400	0.22	2,160	0.25	sq. ft.	10%	-12%



AGENDA NO: C-2

MEETING DATE: April 19, 2016

Staff Report

TO: Planning Commissioners

DATE: April 14, 2016

FROM: Scot Graham, Community Development Manager

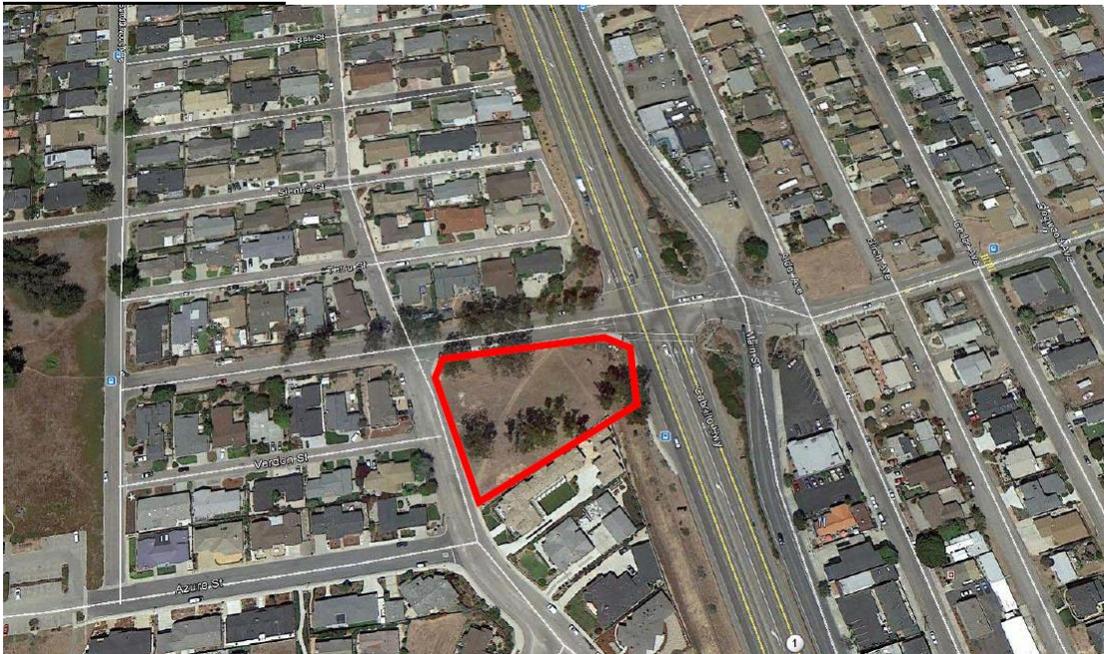
SUBJECT: Planning Commission review of General Plan conformity for disposition of vacant City owned property located on 2783 Coral Street, bounded to the West by Coral Avenue, North by San Jacinto and East by State Highway 1; APN: 065-386-015.

RECOMMENDATION:

Adopt Resolution 13-16 finding the disposition of the subject property consistent with the City of Morro Bay General Plan

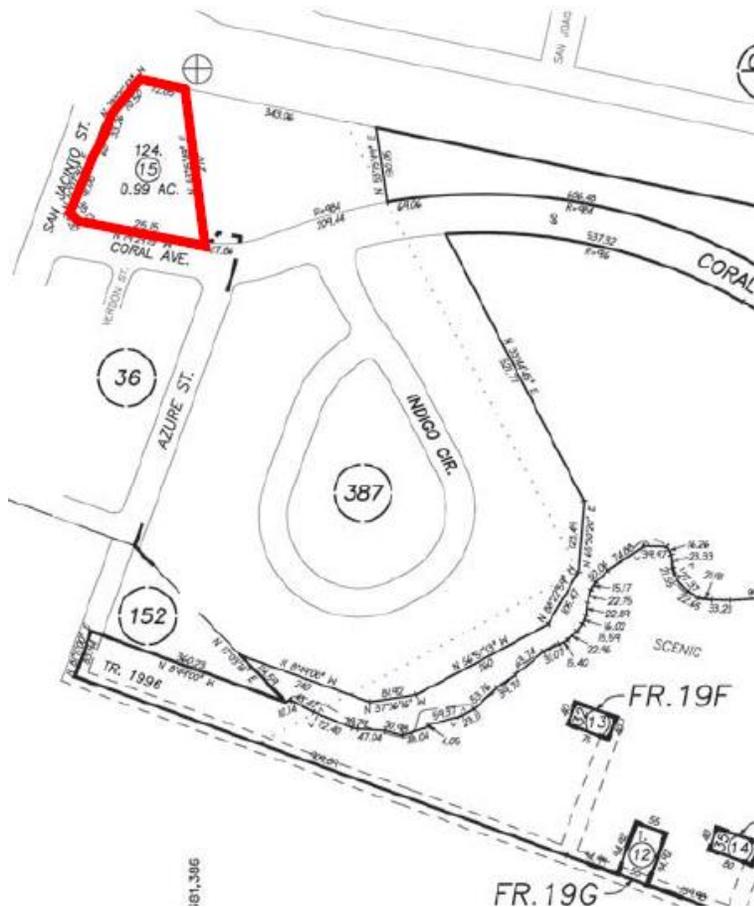
APPLICANT/AGENT: City of Morro Bay

LOCATION MAPS:



Prepared By: SG

Department Review: _____



DISCUSSION:

The City Council has directed sale of a vacant lot located on 2783 Coral Avenue. The property was previously dedicated to the City of Morro Bay for fire station purposes in association with the Cloisters residential subdivision. The City has subsequently determined that the site was not well suited for a fire station. Before the City can sell the property, California government Code Section 65402(a) requires review of the property by the Planning Commission for conformance with the City's General Plan. Basically, the Planning Commission is reviewing the property against General Plan policies outlining the land use and any other policies in the City's General Plan that might call out a specific use for the property.

Section 65402(a) of the California Government Code Reads as follows:

If a general plan or part thereof has been adopted, no real property shall be acquired by dedication or otherwise for street, square, park or other public purposes, **and no real property shall be disposed of**, no street shall be vacated or abandoned, and no public building or structure shall be constructed or authorized, if the adopted general plan or part thereof applies thereto, until the location, purpose and extent of such acquisition or disposition, such street vacation or abandonment, or such public building or structure have been submitted to and reported upon by the planning agency as to conformity with said adopted general plan or part thereof. The planning agency shall render its report as to conformity with said adopted general plan or part thereof within forty (40) days after the matter was submitted to it, or such longer period of time as may be designated by the legislative body.

The subject property is shown outlined in red on the aerial provided above and is zoned CRR/GC/PD (Coastal Resource Residential/Golf Course/Planned Development) with a General Plan land use designation of Medium Density Residential.

Because the property was dedicated to a public use, the City was also required to authorize sale of the property consistent with Government Code sections 37420-37430. Essentially, this section of California Government code requires sale authorization of publicly dedicated property through public notice and hearing. This process allows for protest of the proposed sale. The City followed this process back in 2005, authorizing the sale of the property through adoption of Resolution 30-05.

The next step in the process relates to conformance of the sale with the City's General Plan. Ultimately, the property has been identified in both the General Plan and Zoning Ordinance as having a residential designation. There are no other policies in the General Plan that suggest any other use for the property and as such the Planning Commission can make the requisite findings that the property is consistent with the General Plan.

ENVIRONMENTAL DETERMINATION

The disposition of City owned property is exempt from the California Environmental Quality Act consistent with Section 15312 of the guidelines (Class 12), which provides CEQA exemption for sale of surplus government owned property within the Coastal Zone if said property does not have significant values for wildlife habitat or other environmental purposes, per section 15312(a) and if the use of the property and adjacent property has not changed since the time of purchase by the public agency pursuant to Section 15312(b)(3).

RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 13-16 finding that the subject property and potential future disposition of said property is in conformance with the City of Morro Bay General Plan.

EXHIBITS:

Exhibit A – Planning Commission Resolution 13-16

EXHIBIT A

RESOLUTION NO. PC 13-16

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION DETERMINING THAT THE DISPOSITION OF A VACANT CITY OWNED LOT AT 2783 CORAL AVENUE IS CONSISTENT WITH THE MORRO BAY GENERAL PLAN

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted review, at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on April 19, 2016, of General Plan conformance for the disposition or sale of a vacant City owned lot At 2783 Coral Avenue; APN: 065-386-015; and

WHEREAS, pursuant to California Government Code Section 65402(a), the Planning Commission shall determine that the proposed disposition of publicly owned property is in conformance with the adopted General Plan; and,

WHEREAS, the Planning Commission has duly considered all evidence, including public testimony, testimony of interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Findings

1. The disposition of City owned property is exempt from the California Environmental Quality Act consistent with Section 15312 of the guidelines (Class 12), which provides CEQA exemption for sale of surplus government owned property within the Coastal Zone if said property does not have significant values for wildlife habitat or other environmental purposes, per section 15312(a) and if the use of the property and adjacent property has not changed since the time of purchase by the public agency pursuant to Section 15312(b)(3).
2. The exceptions to the categorical exemptions identified in Section 15300.2 of the guidelines do not apply.

Section 2. Action. The Planning Commission does hereby find that the disposition of City owned property located at 1326 Main Street is in conformance with the adopted City of Morro Bay General Plan.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 5th day of January, 2016 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 19th day of April, 2016.