



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, October 4, 2016
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Michael Lucas

Commissioner Richard Sadowski
Commissioner Joseph Ingrassia

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** CP0-500, UP0-440

Site Location: 3300 Panorama Drive, Morro Bay, CA

Project Description: The applicants propose to demolish and remove two large holding tanks (approximately 4,350,000 gallons each) once used by the United States Navy to store jet fuel, one approximately 131,600-gallon water tank, and associated pipelines, pumps and foundations. The project includes on-site staging areas for equipment, waiting trucks, and temporary debris storage. The project is anticipated to require some level of disturbance over approximately 8 acres and is expected to require approximately 2 months to complete. The project site is located in a Single Family Residential (R-1) zone with a Planned Development (PD) Overlay. The site contains areas of environmentally sensitive habitat and is partially located in the Coastal Commission appeals jurisdiction.

CEQA Determination: The Community Development Director determined the project qualifies for a Mitigated Negative Declaration of Environmental Impact (MND). Mitigation is recommended to reduce potential environmental impacts to a less than significant level. Copies of the MND are available for review at the Community Development Department, 955 Shasta Avenue in Morro Bay and on the City's website at the following link: <http://www.morro-bay.ca.us/842/Current-Planning-Projects>.

Staff Recommendation: Hear public testimony on the project and **continue the public hearing to December 6, 2016**, for full review on that date.

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

B-2 **Case No.:** #UP0-453

Site Location: 2657 Greenwood Avenue, Morro Bay, CA

Proposal: Conditional Use Permit approval for a 1,100 sq. ft. addition to an existing 1,100 sq. ft. nonconforming single-family residence with an existing 623 sq. ft. nonconforming garage in the R-1/S.2 Residential Zoning District. Specifically, the Applicant proposes to remodel the existing first floor and to construct a second story addition. The project is located outside of the Coastal Commission Appeals Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15301, Class 1

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner, (805) 772-6270

C. NEW BUSINESS – NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran's Memorial Building, 209 Surf Street, on October 18, 2016 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill's/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City's website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City's web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$263 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant's favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.
 Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date: October 4, 2016

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
4	Page	2657 Greenwood	8/25/16	UP0-453	Conditional Use Permit for an 1,100 sq. ft. second story addition to an existing 1,100 sq. ft. SFR	Under Initial Review. PC on 10/4/16		PN- Conditionally Approved per memo dated 9/22/16		jg
5	Brebes	1126 Scott	8/18/16	A00-039	Minor modification to an existing permit to change an existing commercial storage space to commercial general office use.	Under Initial Review. To be Noticed 8/29/16. Based on existing conditions of approval, the illegal shower in the existing commercial space must be removed prior to modification approval. Waiting on Applicant to take action				jg
6	Salamacha	190 Anchor	8/19/16	CP0-510 / UP0-451	Coastal Development and Conditional Use Permit for a 283 sq. ft. addition to an existing 955 sq. ft. nonconforming residence and the construction of a new 624 sq. ft. two-car garage.	Under Initial Review. Scheduled for PC on 10/18/16		PN-Conditionally approved per memo dated 9/2/16		jg
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
7	Seitz	1217 Embarcadero	9/27/16	A00-042	Amendment to UP0-058 for change in use from storage to retail fish market sales	Under initial review				cj
8	Lewis	290 Piney	9/27/16	A00-043	Modification to existing Coastal Development Permit to allow for different architectural style	Under initial review				jg
9	Stanley	570 Harbor St	9/12/16	CP0-517	Demo existing SFR/Chiropractic office. New construction of 2 new SFRs - 1507sf living with 480sf garage, and 891 sf living with 441 sf garage	Under initial review				wm

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10	Gonzales	2720 Dogwood	9/9/16	CP0-516	Garage & 2nd story addition to existing single story duplex (remove non-conforming wall and building new conforming wall. Addition to create a secondary dwelling unit which requires a CDP.	Under Initial Review				jg
11	Vo	648 Bernardo	9/8/16	UP0-457	Conditional Use Permit	Under initial review				rr
12	Bietz	857 Main Street	8/31/16	UP0-456	Minor Use Permit for outdoor garden patio	Under Initial review. Waiting on comments				jg
13	Eisemann	396 Hill St.	8/29/16	CP0-515 and UP0-455	CDP/CUP for new duplex. Unit A: 1745sf living, 540sf garage. Unit B: 1517sf living, 552sf garage	Under initial review. Requires preliminary title report				jg
14	Perry	429 Kings Ave	8/26/16	CP0-514	Administrative Coastal Development Permit for conversion of existing 887sf basement workshop to a one bedroom guest suite for an existing SFR.	Under initial review		PN- Conditionally Approved per memo dated 9/22/16		rr
15	Streeter	1128 & 1138 Market	8/24/16	CP0-513 / UP0-452	Two new SFRs. Front SFR includes 1,345 sq. ft. of living area, a 434 sq. ft. garage, and 80 sq. ft. of decking. Rear SFR includes 1,373 sq. ft. of living area, a 473 sq. ft. garage, and 131 sq. ft. of decking.	Under Initial Review.		PN- Conditionally Approved per memo dated 9/15/16		wm
16	Castro	190 Mindoro	8/22/16	CP0-511	Coastal Development Permit for a new 888 sq. ft. Single Family Residence with a 234 sq. ft. garage, 120 sq. ft. porch, and 138 sq. t. patio.	Under Initial Review. Correction letter sent 9/23		PN- Conditionally Approved per memo dated 9/6/16		jg
17	Hartsock	242 Surf	7/20/16	UP0-450 / CP0-509 / AD0-106 / AD0-107	Coastal Development and Conditional Use Permit for an addition and remodel to existing nonconforming single-family residence. Includes a request for a parking exception for tandem parking in the driveway and a variance for a reduced front setback	Under initial review. Correction letter sent 8/23. resubmittal rcv'd 9/16/16	TP-Cond App sprinklers required mod>50% 8/23/16	PN- Conditionally approved per memo dated 8/3/16		jg

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18	Baston	561 Embarcadero	7/11/16	UP0-448	Conditional use permit for Gray's Inn access improvements and piling repair	Incomplete letter sent 8-4-16.		PN- Conditionally approved per memo dated 8/3/16		cj
19	Revamp	220 Atascadero	7/6/16	UP0-447	Use Permit to allow for a CrossFit training center to locate within the C-VS zoning District/ PD overlay	Under Initial Review. Waiting on comments. Correction letter sent 7/28/16. Working with owner and leasee for parking lot configuration. Site plan resubmitted 8/9/216. Needs fire sprinkler plan		PN-Conditionally approved per memo dated 7/26/16		jg
20	Robson	110 Orcas	5/6/16	A00-034	Planning Permit modification of CP0-471 for installation of 4 ft culvert in drainage area, increase in deck from 84sf to 320sf, and realignment of garage door.	Project modification reviewed against prior Planning approvals and reviewed with Engineering staff. Site noticed for admin modification. Confirming lot lines and easement details. Director action delay on noticing due to research regarding rights of access to the easement. Amendment to remove proposed culvert - noticed 8/5/2016. Public Works has requested additional drainage flow information prior to issuance/approval of any permit modifications. Applicant resubmitted additional plan detail 9-2-16.		PN- Not approved per memo dated 9/14/16		cj
21	Van Buerden	945 Embarcadero	5/24/16	UP0-446	Conditional Use Permit for House of JuJu restaurant remodel, and City Park improvements	Incomplete letter sent 6-23-16 to Applicant and Applicant Representative. Cj.				cj
22	Bruce Elster	530 Morro	4/20/16	UP0-282 & CP0-323	New 2,978 sq. ft. SFR with 1,516 sq. ft. garage, 1,191 sq. ft. of decking, and a 560 s. ft. secondary dwelling unit.	Applicant has decided against the parcel map and development of three townhomes and now proposes to build one SFR and a secondary dwelling unit. Under initial review. Waiting on PW comments. Correction letter sent 5/18/16. Spoke with Applicant 8/4/2016 - resubmittal pending				jg
23	McNamara	2720 Dogwood	3/1/16	UP0-441	Garage and 2nd story addition to existing SFR	Under Initial Review. Waiting on comments. Project redesign to eliminate nonconformity. Waiting on resubmittal resubmittal rcv'd 9/9/16		PN- Conditionally approved per memo dated 3/31/16		jg
24	Borges / RPM Consulting	1998 Main Street	3/1/16	CP0-503	Coastal Dev. Permit for addition of 2nd story office/laundry room remodel to commercial building in Mobile Home Park	Waiting on full project submittal. (Applicant rcv'd HCD building permit and started construction before getting CDP). Rcv'd 3/17. Correction letter sent. Resubmittal rcv'd 6/6/16. Correction letter sent 6/27. Applicant and HCD argue that no CDP is required. Coastal Commission legal staff weighed in on 9/26/16 confirming that a CDP is req'd and MB has jurisdiction due to LCP		PN- Conditionally approved per memo dated 4/18/16		jg
25	Hair	1078 Monterey St	2/26/16	S00-126	Lot Line Adjustment/ Voluntary Lot Merger	Minor adjustment to reconcile historical lot line discrepancies. Received legal descriptions 5-10-16 and under review. Review complete and direction emailed to Applicant agent 8-1-16 for recordation steps of lot merger.				cj

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26	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review. Correction letter sent 2/18/16 with Public Works comments. Received revised info from Applicant 3-3-16. Correction sent and resubmitted 4-8-16. Met w/ Architect to discuss intent to include development of 4-plex apartments. Resubmittal rcv'd 5/10. Correction letter sent 6/14/16. Spoke with architect 8/9/2016. Resubmittal rcv'd 8/17/2016		PN- Diapproved per Memo dated 6/14/16		jg
27	Elliott/ Bernal	2620 Laurel Ave	9/30/15	CP0-489	Admin CDP for new 2,461sf Single family home w/ 710 sf garage and 1495sf of balcony	JG. Under Initial Review. Correction letter sent 10/27. Spoke with Applicant and letter rcv'd 2/16- indicated desire to keep project open, updated plans to be submitted. Spoke with applicant 7/19/16, expects to resubmit plans in September		PN- Conditionally approved per memo dated 10/23/15		jg
28	DeGarimore	1001 Front St.	7/14/15	A00-026 and UP0-442	Amendment to CUP to modify project description to remove proposed new awning.	Letter sent to applicant 9-9-15 regarding public access requirements. In process. Applicant wishes to include a kiosk for Virg's Landing with the awning amendment. Reviewed prelim site plan of kiosk and provided email comment corrections on 2/24/16. Met with Virg's Landing owner to discuss kiosk plan 2-29-16. TUP application submitted for kiosk proposal adjacent to parking lot on 4-19-16. Correction letter sent 5-12-16.				cj
29	Gambriel	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Incomplete letter sent 9/4/15.		PN-Plans Disapproved. Req. Stormwater determination form & plan update-8/24/15		wm
30	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		jg
31	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story 19 foot building (retail/restaurant use) & outdoor improvements	Under review. Deemed incomplete. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent . Resubmittal received. Not compliant with view corridors requirements. Resubmitta received 1-20-16. Email corrections provided to Applicant on 2/10. Reviewed revised plans received from architect via email on 3/7/16.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj
Planning Commission Continued projects:										
32	Rhine LP & Morro 94, LLC	3300 Panorama	2/24/16	CP0-500 & UP0-440	Coastal Development Permit & Conditional Use Permit for Demolition of 3 existing tanks, related pumps and concrete	Under review. Correction letter sent 5-10-16. Environmental review complete and to be routed 7-28-16 for required 30 day period. PC 9/6/16 hearing. Reviewed and PC continued hearing to 10/4/16.		PN- Conditionally approved per memo dated 7/26/16		wm

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33	Verizon / Knight	484 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review.		PN- Conditionally approved 6/14/16		jg
34	Sonic	1840 Main St.	8/14/13	UP0-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15. Resubmittal received 5/8/15. Reviewing initial study for pending route to State Clearinghouse. Stormwater Control Plan also being reviewed. Reviewing outstanding cultural resources concerns. Reviewed project with archaeologist 1-27-16. Archaeological consultation in progress. MND routed to State Clearinghouse. Comment letter received from APCD re MND. cj. Noticing error necessitates continuance from 5/3/16 to 5/17/16 PC hearing. Continued to date uncertain to allow submittal revisions. Still waiting for resubmittal as of 9-14-16.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13.9/9/14 FD App TP. 2/10/15 FD Not App TP.	PN- Sonic has submitted Preliminary Stormwater Requirements. RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17.		cj
35	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UP0-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj

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36	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		wm
37	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM.Was tentatively scheduled for 3-1-16 PC hearing. Awaiting additional info from applicant. Tentatively scheduled for 5-17-16 hearing. Applicant requested continuance. PC continued review with direction on June 21, 2016.				wm
Projects Appealed or Forwarded to City Council:										

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38	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report brought to PC on 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. -Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13 Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop held 5/19/14. Result of sign workshops discussed at 11-3-15 PC mtg.	No review performed.	N/R		sg
Environmental Review										
39	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15.	No review performed.	MND complete. Cut permit checks to RWQCB and CDFW on 2/27/15		cj
Final Map Under Review Projects:										
40	Tract 2818	2400 Main St / Morro Mist	6/13/16	Map	Final Map - Tract 2818 / 23 lot subdivision and 1 common lot	Initial submittal for final map processing received 6-13-16. Correction letter sent 7-6-16.				cj
41	Tract 2670	1899 -1911 Sunset	11/17/15	Map	Final Map. - Tract 2670 6 lot subdivision and 1 common lot	Under review. Correction letter sent on 12-17-15. Met with Applicant on 3-8-16 to review outstanding items. Received revised CC&R's 3-8-16 for review. CC&R documents reviewed and determined deficient - corrections sent 4-21-16. Met with Applicant to review final corrections 7-13-16. Revised grading/retaining wall plans to be resubmitted. Draft CC&Rs under review by City Attorney. Attorney's review forwarded to Applicant on 7/28/16. CC&Rs under review for consistency with Council conditions of approval.				cj

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42	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map. Unresolved Planning conditions. Sent correction letter to Engineering 4-14-16. Received request for extension of permit as allowed by code. One year extension of permits granted extending map to 7/19/2017.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.		sg/cj
Projects requiring coordination with another jurisdiction:										
43	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
44	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of		
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
45	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016.	No review performed.			wm
46	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues. Amendments withdrawn from Coastal Commission as they are no longer consistent with state law. Item has been included in the FY 16/17 goals and objectives.	No review performed.	N/A		sg
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
47	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		
Grants										
48	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		\$400,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract.	No review performed.	N/A		sg
49	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14. 2016 Program year applications due 10/23/15. Final 2016 funding recommendations reviewed by Council on 3-8-16. Additional reallocation of County CDBG funds for Morro Bay approved by Board of Supervisors at 7/12/16 hearing.	No review performed.	N/R		cj
50	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
1	Frank	2900 Alder	4/4/16	B-30941	New Duplex	Approved by jg. 5/31/16	Approved by cdl on 6-3-16.	PN- Approved 6/27/16		
2	Regan	3030 Beachcomber	8/25/16	B-31160	469sf addition of attached guesthouse with bathroom to existing SFR			PN- Not Approved per memo 9/1/16		
3	LaPlante	3093 Beachcomber	10/27/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit on hold until Planning process complete. CJ.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC per memo of		
4	Vo	648 Bernardo	8/2/16	B-31129	348sf Addition to existing SFR			PN- Disapproved per memo 8/24/16		
5	Williams	2930 Cedar	8/3/16	B-31130	327sf Addition to existing SFR			PN- Disapproved per memo 8/24/16		
6	Nisbet	1230 Clarabelle	1/11/16	B-30935	New SFR with 1,853sf living, 563sf garage & 198sf decking		Cond. Approval 4/15/16cdl Approved 4/28/16	PN- Approved 6/27/16		
7	Gonzales	2720 Dogwood	9/6/16	B-31177	Addition of 2nd story, garage and covered patio to existing SFR			PN- Not Approved per memo dated 9/7/16		
8	People's Self Help	456 Elena	8/16/16	B-31142	Addendum to B-30746			PN- Approved 8/24/16		
9	Scott	501 Embarcadero	9/2/16	B-31173	Repair pilings on wharf			PN- Conditionally Approved 9/22/16		
10	Held	905 Embarcadero	9/29/15	B-30826	Phase 2- Update tenant space and bathrooms			PN- Approved 9/1/16		
11	Leage	1205 Embarcadero	4/24/16	B-30651	686sf second story addition. Remains in Plan check status.	Correction letter sent. Not compliant w/ Planning conditions. CJ	Plans Denied 09-24-2015 cdk	PN- Approved 8/4/16		
12	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal. Remains in plan check status.	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process. Plans have been denied.	PN- Approved per memo dated 9/14/16		
13	Appleby	381 Fresno	7/31/14	B-30227	Carport & Storage Shed. Remians in plan check status.	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	Building approved 08-04-15 cdl	RPS - No PW comments if street access is not required for storage bldg		
14	Decker	430 Fresno	5/21/15	B-30491	Convert existing laundry room into bathroom. Remains in plan check status.	Approved. SG 6/15/15	Plans approved. 7/2/15 cdl	PN		
15	Ingraffia & May	636 Fresno	5/12/16	B-30993	826sf Addition of existing SFR & interior remodel	Approved. JG. 5-14-16	Denied 5/13/16 cdl	PN- Approved 8/11/16		
16	DeCock	1001 Front	6/2/16	B-31017	Installation of Temp Kiosk (Virg's)	Approved CJ. 6-14-16	Approved by cdl 6/7/16	PN- Approved 6/7/16		
17	Whitaker	1170 Front	3/10/16	B-30885	New 6 unit hotel		Denied by cdl on 6-17-16.	PN- Disapproved 6/30/16		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
18	Hurlless	2265 Hemlock	5/11/15	B-30477	SFR Garage converted to 492sf apartment with new bedroom and bathroom. Remains in plan check status.	Disapproved 8-28-15. JG	Denied by cdl on 5/15/15	PN- Disapproved needs sewer lateral video-		
19	Birdsong	2931 Ironwood	9/6/16	B-31175	Addition of concrete stairs and trash enclosure at existing SFR			PN- Approved per memo dated 9/22/16		
20	Gonzalez	481 Java	10/10/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking. Remains in plan check Status.	WM. Expecting Admin Use Permit application for minor revision to approved design.	Plans approved 9-18-15 cdl	PN-Disapproved, needs swr video & plan corrections. 9/24/15		
21	Mazzacane	270 Kern	6/29/16	B31058	Demo & reconstruct new SFR			PN- Not Approved per memo 8/3/16		
22	McClory	434 Kern	4/18/16	B30962	Demo & reconstruct new SFR with 2,607sf living, 956sf garage & 336sf decking	Approved. WM. 5-26-16.	Denied by cdl on 5/26/16 Approved by cdl on 6/6/16	PN- Approved 6/14/16		
23	Douglas	2587 Laurel	1/8/15	B-30352	Addendum to B-30074. Add 24 sq. ft., converting 1,020 sq. ft. to habitable space, add 120 sq. ft. porch, and 191 sq.ft. deck. Remains in plan check.	Under Review. JG. Denial	Plans Denied 10/16/15 cdl	PN 9/30/15 Approved as submitted. No memo		
24	PG&E	1245 Little Morro Creek	3/25/16	B-30925	Add 25K Generator to cell site/tower to satisfy Planning Commission conditions.	Approved. CJ. 4-5-16. Complies w/ PC approval.	Approved by cdl 3/30/16	PN- Approved 5/17/16		
25	Dyson	117 Main	8/15/14	B-30248	Covered Patio Remains in plan check Status.	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
26	Meyer	257 Main	8/8/16	B-31021	Remodel of kitchen, master bedroom, master bathroom, add bedroom and add wet bar			PN- Disapproved per memo dated 8/11/16		
27	Hough	289 Main	7/25/16	B-31115	New SFR with 3,340 (includes 503sf basement), 520sf garage, 350sf raised deck & 235sf.			PN- Disapproved per memo dated 8/24/16		
28	Morro Mist LLC	2402-2446 Main	7/5/16	B-31067 through B-31089	Building permit applications for 23 new townhomes in 6 detached building clusters to include 15 one-bedroom units and 8 three-bedroom units. 23 separate permit applications	Disapproved. Corrections sent 8-3-16. cj.				
29	Costa	219 Marina	12/28/16	B-30835	Addition to existing 2-story SFR. Relocate garage & add deck with roof	Approved. WM. 5-17-16	Approved by cdl on 3/30/16	PN- Disapproved 5/18/16		
30	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom. Remains in plan check Status.	Approved 9/25/14. CJ.	Plansw approved 9-30-2014 bc	RPS returned for corrections per memo		
31	Crafton	430 Olive	3/4/16	B30898	409sf 2ns story addition to existing SFR with bedroom & living room expansion & bathroom	Approved. JG. 3-7-16	Approved by cdl on 3/15/16	PN- Disapproved 4/28/16		
32	Moore	379 Orton	3/30/16	B30936	New Manufactured home with 1,496sf living & 469sf garage	Approved. WM. 4-26-16	Denied by cdl on 4/15/16 Approved by cdl on 5/16/16	PN- Disapproved per memo dated 5/19/16		
33	James	326 Panay	4/18/16	B30959	New SFR with 1,465sf living, 467sf garage & 176 sf deck.	Disapproved. WM. 4-26-16. Corrections requested.	Denied by cdl on 5/4/16 Approved by cdl on 6/20/16	PN- Disapproved per memo dated 6/28/16		
34	Bunker	491 Panay	12/8/15	B30777	203sf interior remodel to existing 1144sf two story SFR. Remains in plan check Status.	Approved. JG. 12-10-15.	Approved by cdl on 12/17/15	PN- Approved 12/16/15		
35	Dennis	290 Piney	2/13/15	B-30382	New SFR. Remains in plan check Status.	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG	Approved by cdl on 4/17/15	ME approved 4/16/2015		
36	Volk	800 Quintana	4/25/16	B-30811	Unmanned cell site including locating an antenna on and radios on roof, equipment at grade level.	Disapproved. CJ. 5-16-16. Does not meet conditions of approval. Requested resubmittal.	Approved by cdl on 5/11/16	PN- Approved 5/13/16		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
37	Frye	244 Shasta	5/2/13	B-29910	Garage to Second Unit conversion. Remains in plan check Status.	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
38	Dolezal	1885 Sunset	11/30/15	B-30758	Lot 6: New SFR with 1140sf and 480 garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
39	Dolezal	1889 Sunset	11/30/15	B-30757	Lot 5: New SFR with 1140sf with 480 garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
40	Dolezal	1893 Sunset	11/30/15	B-30756	Lot 4: New SFR with 1140sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
41	Dolezal	1897 Sunset	11/30/15	B-30753	Lot 1: New SFR with 1140sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
42	Dolezal	1901 Sunset	11/30/15	B-30754	Lot 2: New SFR with 1541sf living and 483sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
43	Dolezal	1905 Sunset	11/30/15	B-30755	Lot 3: New SFR with 1457sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
43	Skrah	335 Surf	4/29/16	B-30977	New freestanding Garage & workshop including 1/2 bath	Approved. WM. 6-1-16	Denied by cdl on 6/6/16	PN-Diapproved 6/14/16		
44		340 Tulare		B-31046	2nd floor 650sf Addition & 75sf garage addition			PN- Disapproved per memo dated 8/3/16		
Planning Projects & Permits with Final Action:										
1	Scoto	330 Sicily	7/13/16	CP0-508	Coastal Development Permit for new SFR; 1,743 sq. ft. with 473 sq. foot garage and 156 sq. ft. of decking	Under Initial Review. Correction letter sent 8/11/2016. Resubmittal rcv'd 8/22. Project noticed 9/14/16 for approval. Permit issued 9/26/16		PN- Conditionally approved per memo dated 8/3/16		rr
2	DeGarimore	1001 Front St.	8/29/16	UP0-454	Temporary Use Permit for Harbor Festival weekend consistent with previous year Festival events	Project reviewed and to be noticed for TUP 9/14/16. Permit issued 9/27/16				rr

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
3	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant CEQA information requested to complete MND. Project referred to env. consultant and Coastal. MND in process. Applicant revising bio report and snail study. Snail study complete and sent to CDFW for concurrence. Bluff determination & snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Received plans revisions and sent request for Coastal concurrence 9-2-15. Continued to a date uncertain to redraw ESH buffer setback. Discussed project's updated biological evaluation with Coastal staff on 5-11-16. Received revised site plan to meet ESH buffer on 7/9/16. PC hearing scheduled for 9/6/16. Continued to 9/20/16 PC hearing. Approved	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 11/20/12	Conditionally approved, per memo 9/22/15	cj



AGENDA NO: B-1
MEETING DATE: October 4, 2016

Staff Report

TO: Planning Commissioners **DATE:** September 27, 2016
FROM: Whitney McIlvaine, Contract Planner
SUBJECT: Request for Continuance for Coastal Development Permit (CP0-500), Conditional Use Permit (UP0-440), and Mitigated Negative Declaration for demolition of tanks, piping and pump equipment at 3300 Panorama. The project is located partially within the Coastal Commission Appeals Jurisdiction.

RECOMMENDATION:

Staff recommends the Planning Commission hear public testimony on the project and continue the public hearing to December 6, 2016, for full review on that date.

REASON FOR CONTINUANCE:

The Planning Commission reviewed this project on September 6, 2016 and continued the hearing until October 4, 2016. On September 15th, the applicants' agent, Chris Mathys, requested continuance to a November 15, 2016 meeting date in order to allow sufficient time for the applicants to send out notice and conduct a neighborhood meeting on the project site. The purpose of the neighborhood meeting will be to allow affected residents, applicant/owners, and project contractors to hold an open discussion regarding resident concerns and project details. The November 15th Planning Commission meeting was subsequently cancelled due to conflicts with election night scheduling, and the next available hearing date is December 6, 2016.

Prepared By: WM

Department Review: SG



AGENDA NO: B-2

MEETING DATE: October 4, 2016

Staff Report

TO: Planning Commissioners

DATE: October 4, 2016

FROM: Joan Gargiulo, Assistant Planner

SUBJECT: Conditional Use Permit (#UP0-453) Request to allow the development of a 1,100 sq. ft. addition to an existing 1,100 sq. ft. nonconforming residence located in the R-1/S.2 Residential Zoning District.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission Resolution 21-16 which includes the Findings and Conditions of Approval for the project depicted on site development plans dated stamp received August 25, 2016.

APPLICANTS:

Fay Page

DESIGNER:

Jed Joyce

LEGAL DESCRIPTION/APN:

068-249-027

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit approval for the construction of a 1,100 sq. ft. second story addition to an existing 1,100 sq. ft. single-family residence with an existing 623 sq. ft. nonconforming garage and a nonconforming side-yard setback on an 8,700 sq. ft. parcel in the R-1/S.2 residential zoning district and outside of the Coastal Commission Appeals Jurisdiction.



Vicinity Map

Prepared By: JG

Department Review: SG

PROJECT SETTING:

The project is located in the Del Mar neighborhood in North Morro Bay, designated as Planning Area 3 in the Local Coastal Plan. The parcel at 2657 Greenwood lies to the east of Highway 1, south of San Jacinto Road, and north of Avalon Street. The residence is located approximately 350 ft. east of Spencer’s Market.

Adjacent Zoning/Land Use			
North:	R-1/S.2	South:	R-1/S.2
East:	R-1/S.2	West:	R-2

Site Characteristics	
Site Area	8,709 sq. ft. square feet
Existing Use	Single-Family Residential
Terrain	Virtually Level and Developed
Vegetation/Wildlife	None
Archaeological Resources	N/A
Access	Greenwood Avenue

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Low-Medium Density Residential
Base Zone District	R-1
Zoning Overlay District	S.2
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located Outside of the Coastal Appeal Jurisdiction

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing nonconforming single-family residence was originally built in 1967 similar to other homes in the neighborhood. The residential use is consistent with the General Plan designation of Low-Medium Density Residential and with the Single-Family Residential (R-1) Zoning District.



Existing Site

Zoning Ordinance Standards			
	Standards	Existing	Proposed
Front Setback	15 feet	67'10"	67'10"
Interior Side Setback	5 feet	4'8"	4'8"
Rear Setback	5 feet	9'11"	9'11"
Height	25 feet	17 ft.	23'9"
Lot Coverage	Max. 45%	20%	26%
Parking	20' x 20'	19'8" x 21'8"	19'8" x 21'8"

Project Evaluation

Current requirements of the Morro Bay City Zoning Ordinance (the "Zoning Ordinance") pertaining to side-yard setbacks and garage dimensions render the existing structure nonconforming. However, additions to nonconforming structures may be permitted with

the approval of a Conditional Use Permit, subject to certain findings (Morro Bay Municipal Code Section (MBMC) 17.56.160). The existing south side-yard setback is 4'8" where 5 ft. is the minimum requirement (MBMC Section 17.40.050) and the existing interior garage dimensions are 19'8" by 21'8" where 20ft. by 20ft. is the minimum requirement (MBMC Section 17.44.020).

The proposed second story addition conforms to the development requirements set forth in the MBMC. The plans indicate a second story cantilevered deck with a 2'-11" setback to the rear property line, where three feet is required per Section 17.48.120 of the MBMC. The project has been conditioned to require the full three-foot rear setback (see Condition # 5 in Exhibit A).

Conditional Use Permit Requirement

The Zoning Ordinance, subsection 17.56.160A, requires approval of a conditional use permit for additions to any structure which is nonconforming with any provision of this title. The project proposes to add a 1,100 square-foot addition to a nonconforming structure. As noted above, the structure is nonconforming with regard to the side-yard setback and the interior garage dimensions. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed addition is consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes an addition to a single-family dwelling, which is an allowed use in the R-1/S.2 zone. The surrounding neighborhood is developed with one and two-story homes.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required side-yard setback and interior garage dimensions.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on Saturday, September 24, 2016, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3. The exemption applies to new construction of a single-family residence in a residential zone and the project will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Low/Medium Density land use designation and because the Zoning Ordinance allows additions to nonconforming structures upon approval of a conditional use permit (MBMC section 17.56.160).

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-453 for the proposed addition to a nonconforming structure for the project at 2657 Greenwood Avenue, as shown on plans date stamp received August 25, 2016, by adopting Planning Commission **Resolution 21-16** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 21-16
- Exhibit B – Graphics/Plan Reductions
- Exhibit C – Color and Materials Board
- Exhibit D – Photo Simulations

EXHIBIT A

RESOLUTION NO. PC 21-16

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT (UP0-453) TO ALLOW AN ADDITION TO A NONCONFORMING RESIDENTIAL STRUCTURE AT 2657 GREENWOOD AVENUE

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on October 4, 2016, for the purpose of considering Conditional Use Permit UPO-453 for a proposed addition to a nonconforming single-family residence at 2657 Greenwood Avenue.; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt pursuant to Class 1, CEQA Guidelines Section 15301(e) for additions to existing structures with no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a

- complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-1 zone and the surrounding neighborhood is developed with one and two-story homes.
 5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet the required side-yard setback.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit UPO-453 for property located at 2657 Greenwood Avenue subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated October 4, 2016, for the project at 2657 Greenwood Avenue depicted on plans date stamped August 25, 2016, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all

applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.

5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings: The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for

a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.

3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Rear Setback: Pursuant to Section 17.48.120 of the Morro Bay Municipal Code, the rear deck design shall be altered to provide the minimum 3 foot setback to the rear lot line for cantilevered decks.
6. Fence Height: Pursuant to Section 17.48.100 of the Morro bay Municipal Code, the portion of the fence located within the required 15 ft. front-yard setback shall be no higher than 3 feet if solid or 4 feet if 50% or more open to the passage of light and air.

BUILDING CONDITIONS

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morro-bay.ca.us/EZmanual. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit the "SFR Performance Requirement Determination Form".
2. Frontage Improvements: Greenwood Avenue is a major collector street. The installation of frontage improvements is required whenever the value of the proposed on-site improvements is greater than fifty percent of the value of the existing structure. If applicable, show the installation of a City standard driveway approach B-6, sidewalk, curb and street tree. If permeable pavers are to be used, a modified driveway approach with a 12" wide PCC grade beam should be constructed to stabilize the front edge of the pavers. An encroachment permit is required for any work within the Right of Way.

3. Encroachment Permits: A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.
4. Sewer Lateral: If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral. If a new lateral is being proposed and old lateral exists, include a note on the plans to cap and abandon existing sewer lateral.
5. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070). Indicate and label on plan.
6. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

FIRE CONDITIONS:

1. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903), California Residential Code (Section R313), and Morro Bay Municipal Code (Section 14.08.090(I)(4)(a)) is required.

Applicant shall submit plans for an automatic fire sprinkler system, in accordance with NFPA 13-D, to Morro Bay Community Development Department for review.

EXHIBIT A

Planning Commission Resolution No. 21-16

UPO-453 2657 Greenwood Avenue

Page 6

2. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

Applicant shall provide Carbon Monoxide detection in accordance with CRC R315.2.

3. Fire Safety During Construction and Demolition shall be in accordance with 2013 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations

Applicant shall include above language on Building Plan submittal.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 4th day of October, 2016 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 4th day of October, 2016.

PAGE RESIDENTIAL ADDITION

2657 GREENWOOD AVENUE, MORRO BAY, CA 93422

ABBREVIATIONS

ABV. ABOVE	LAM. LAMINATE
ACOUS. ACOUSTICAL	LAV. LAVATORY
ADJ. ADJACENT	LT. LIGHT
ALUM. ALUMINUM	
APPROX. APPROXIMATE	MAX. MAXIMUM
ARCH. ARCHITECTURAL	MECH. MECHANICAL
ASB. ASBESTOS	MFR. MANUFACTURER
ASPH. ASPHALT	MIN. MINIMUM
	MISC. MISCELLANEOUS
BD. BOARD	MUL. MULLION
BITUM. BITUMINOUS	MTL. METAL
BLDG. BUILDING	
BLKG. BLOCKING	N.I.C. NOT IN CONTACT
BM. BEAM	No. NUMBER
BOT. BOTTOM	NOM. NOMINAL
	N.T.S. NOT TO SCALE
CAB. CABINET	O.A. OVER ALL
C.B. CATCH BSIN	O/C ON CENTER
CEM. CEMENT	OPNG. OPENING
C.I. CAST IRON	OPP. OPPOSITE
C.J. CEILING JOIST	
CL. CENTER LINE	PL. PLATE
CLG. CEILING	P. LAM. PLASTIC LAMINATE
CLR. CLEAR	PLAS. PLASTER
COL. COLUMN	PLYWD. PLYWOOD
CONC. CONCRETE	P.L. PROPERTY LINE
CONN. CONNECTION	PR. PAIR
CONT. CONTINUOUS	PT. PAINT
CSMT. CASEMENT	
C.T. CERAMIC TILE	R. RISER
CTR. COUNTER	R.D. ROOF DRAIN
CTR. CENTER	REF. REFERENCE
	REF. REFRIGERATOR
DBL. DOUBLE	REINF. REINFORCING
D.F. DOUGLAS FIR	REQ'D. REQUIRED
DH. DOUBLE HUNG	RM. ROOM
DIA. DIAMETER	R.O. ROUGH OPENING
DN. DOWN	
D.S. DOWNSPOUT	S.C. SOLID CORE
DWG. DRAWING	S.D. SMOKE DETECTOR
	SECT. SECTION
(E) EXISTING	SF. SQUARE FOOT
EA. EACH	S.G.D. SLIDING GLASS DOOR
E.J. EXPANSION JOINT	SH. SINGLE HUNG
ELEV. ELEVATION	SHT. SHEET
ELEC. ELECTRICAL	SIM. SIMILAR
EMER. EMERGENCY	SL. SLIDER
EQ. EQUAL	SPEC. SPECIFICATION
EQUIP. EQUIPMENT	SO. SQUARE
EXT. EXTERIOR	STD. STANDARD
	STL. STEEL
F.A. FIRE ALARM	STOR. STORAGE
F.D. FLOOR DRAIN	STRUCT. STRUCTURAL
FDN. FOUNDATION	SYM. SYMMETRICAL
F.E. FIRE EXTINGUISHER	
F.G. FINISH GRADE	T. TREAD
F.J. FLOOR JOIST	TEL. TELEPHONE
FIN. FINISH	TEMP. TEMPORARY
F.L. FLOW LINE	T&G TONGUE & GROOVE
FLASH. FLASHING	THK. THICK
FLR. FLOOR	T.O.B. TOP OF BEAM
FLUOR. FLUORESCENT	T.O.C. TOP OF CURB/CONCRETE
F.O.C. FACE OF CONCRETE	T.O.P. TOP OF PLATE
F.O.F. FACE OF FINISH	T.O.W. TOP OF WALL
F.O.M. FACE OF MASONRY	TYP. TYPICAL
F.O.S. FACE OF STUD	
F.S. FINISH SURFACE	U.N.O. UNLESS NOTED OTHERWISE
FTG. FOOTING	VEN. VENEER
FURR. FURRING	VERT. VERTICAL
GA. GAUGE	W/ WITH
GALV. GALVANIZED	W.C. WATER CLOSET
GR. GRADE	WD. WOOD
GYP. BD. GYPSUM BOARD	W/O WITHOUT
	WP. WATERPROOF
H.B. HOSE BIB	WT. WEIGHT
H.C. HOLLOW CORE	
HDWE. HARDWARE	& AND
HOR. HORIZONTAL	@ AT
HR. HOUR	° DEGREE
HT. HEIGHT	∅ DIAMETER
	± PLUS OR MINUS
INSUL. INSULATION	
INT. INTERIOR	
JST. JOIST	
JT. JOINT	

SYMBOLS

	FLOOR LINE		GRID LINE
	REVISION CLOUD		SECTION REFERENCE SHEET NUMBER
	REVISION DELTA		DETAIL REFERENCE SHEET NUMBER
	PLOT ELEVATION		CALLOUT TAG
	DOOR TAG		
	WINDOW TAG		



VICINITY MAP
NO SCALE



PROJECT DIRECTORY

OWNER:
FAY PAGE
PO BOX 2744
ATASCADERO, CA 93423
(805) 952-553
fayrpage@gmail.com

DESIGNER:
JED JOYCE DESIGN & CONSTRUCTION
PO BOX 1164
TEMPLETON, CA 93465
(805) 835-9853
jed@jedjoyce.com

SURVEYOR:
MICHAEL B. STANTON
MBS SURVEYS
3563 SUELDO ST., UNIT Q
SAN LUIS OBISPO, CA 93401
(805) 594-1960
mike@mbslandsurveys.com

LANDSCAPER:
CP LANDSCAPES
CORY PAUL
PO BOX 446
MORRO BAY, CA 92443
(805) 459-0305
cpaul@cplandscapes.com

SHEET INDEX

SHEET	TITLE
T-1.0	TITLE SHEET, PROJECT DATA & VICINITY MAP
A-1.0	EXISTING SITE PLAN & SURVEY MAP
A-1.1	PROPOSED SITE PLAN
A-1.2	CONCEPTUAL LANDSCAPING PLAN
A-2.1	EXISTING FLOOR PLAN
A-2.2	PROPOSED LOWER FLOOR PLAN
A-2.3	PROPOSED UPPER FLOOR PLAN
A-3.1	PROPOSED EXTERIOR ELEVATIONS
A-3.2	PROPOSED EXTERIOR ELEVATION & STREET VIEW

PROJECT DATA

PROJECT FOR: FAY PAGE
PO BOX 2744
ATASCADERO, CA 93423
(805) 952-5553

PROJECT ADDRESS: 2657 GREENWOOD AVENUE
ATASCADERO, CA 93422

LEGAL DESCRIPTION: LOTS 8 & 9, MORRO DEL MAR
SUBDIVISION NO. 1, CITY OF MORRO
BAY, COUNTY OF SAN LUIS OBISPO,
STATE OF CALIFORNIA

A.P.N.: 068 - 249 - 027

LOT SIZE: 8,708.80 SF

BUILDING HEIGHT: 25'-0" ABOVE AVERAGE GRADE

ZONING: R-1 (SINGLE-FAMILY RESIDENTIAL
DISTRICT) WITH S-2 OVERLAY

OCCUPANCY: R-3

CONSTRUCTION TYPE: VB

DESCRIPTION: REMODEL EXISTING LOWER FLOOR
AND CONSTRUCT NEW UPPER FLOOR
ADDITION.

PROJECT STATISTICS

SQUARE FOOTAGES	
EXISTING RESIDENCE:	1,100 SF
EXISTING DECK:	200 SF
EXISTING GARAGE:	623 SF
PROPOSED LOWER FLOOR:	1,100 SF
PROPOSED UPPER FLOOR:	1,100 SF
TOTAL PROPOSED RESIDENCE:	2,200 SF
PROPOSED COVERED PORCH:	180 SF
PROPOSED DECK:	700 SF
PROPOSED GARAGE:	623 SF
LOT COVERAGE	
EXISTING LOT SIZE:	8,709 SF (100%)
EXISTING BUILDING FOOTPRINT:	1,723 SF (20%)
EXISTING DECK FOOTPRINT:	350 SF (4%)
EXISTING DRIVEWAY & FLATWORK:	1,584 SF (18%)
TOTAL EXISTING LOT COVERAGE:	3,657 SF (42%)
TOTAL OPEN SPACE:	5,052 SF (58%)
PROPOSED BUILDING FOOTPRINT:	1,723 SF (20%)
PROPOSED COV'D PORCH FOOTPRINT:	180 SF (2%)
PROPOSED DECK FOOTPRINT:	350 SF (4%)
PROPOSED DRIVEWAY & FLATWORK:	1,480 SF (17%)
TOTAL PROPOSED LOT COVERAGE:	3,733 SF (43%)
TOTAL PROPOSED OPEN SPACE:	4,976 SF (57%)
IMPERMEABLE SURFACE CALCULATIONS	
TOTAL PROJECT AREA:	8,709 SF
TOTAL EXISTING IMPERMEABLE SURFACE AREA:	3,776 SF
PROPOSED ROOFTOP:	180 SF
PROPOSED DRIVEWAY:	1,280 SF
PROPOSED WALKWAYS:	200 SF
TOTAL PROPOSED IMPERMEABLE SURFACE AREA:	1,660 SF
SETBACKS	
EXISTING FRONT YARD SETBACK:	64 FEET
EXISTING SIDE YARD SETBACKS:	5 FEET
EXISTING REAR YARD SETBACK:	5 FEET
PROPOSED FRONT YARD SETBACK:	64 FEET
PROPOSED SIDE YARD SETBACKS:	5 FEET
PROPOSED REAR YARD SETBACK:	5 FEET
BUILDING HEIGHT CALCULATION	
MAXIMUM BUILDING HEIGHT:	25 FEET
AVERAGE NATURAL GRADE = (HIGH POINT + LOW POINT) ÷ 2	
AVERAGE NATURAL GRADE = (66.13' + 64.08') ÷ 2 = 65.10'	
MAXIMUM BUILDING HEIGHT ABOVE AVERAGE NATURAL GRADE:	90.10' (65.10' + 25')

Jed Joyce
Design & Construction
Public Art
Designer/Build
Solar
#805-835-9853
CA License #954102
PO Box 1164
Templeton, CA 93465
General Contracting

DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR THE CLIENT'S USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED AND NOT FOR THE CONSTRUCTION OF ANY OTHER PROJECT.

PROJECT FOR
FAY PAGE
2657 GREENWOOD AVENUE
MORRO BAY, CA 93442

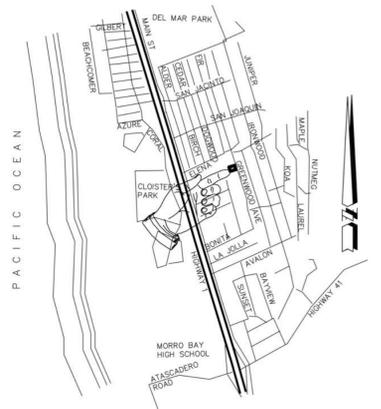
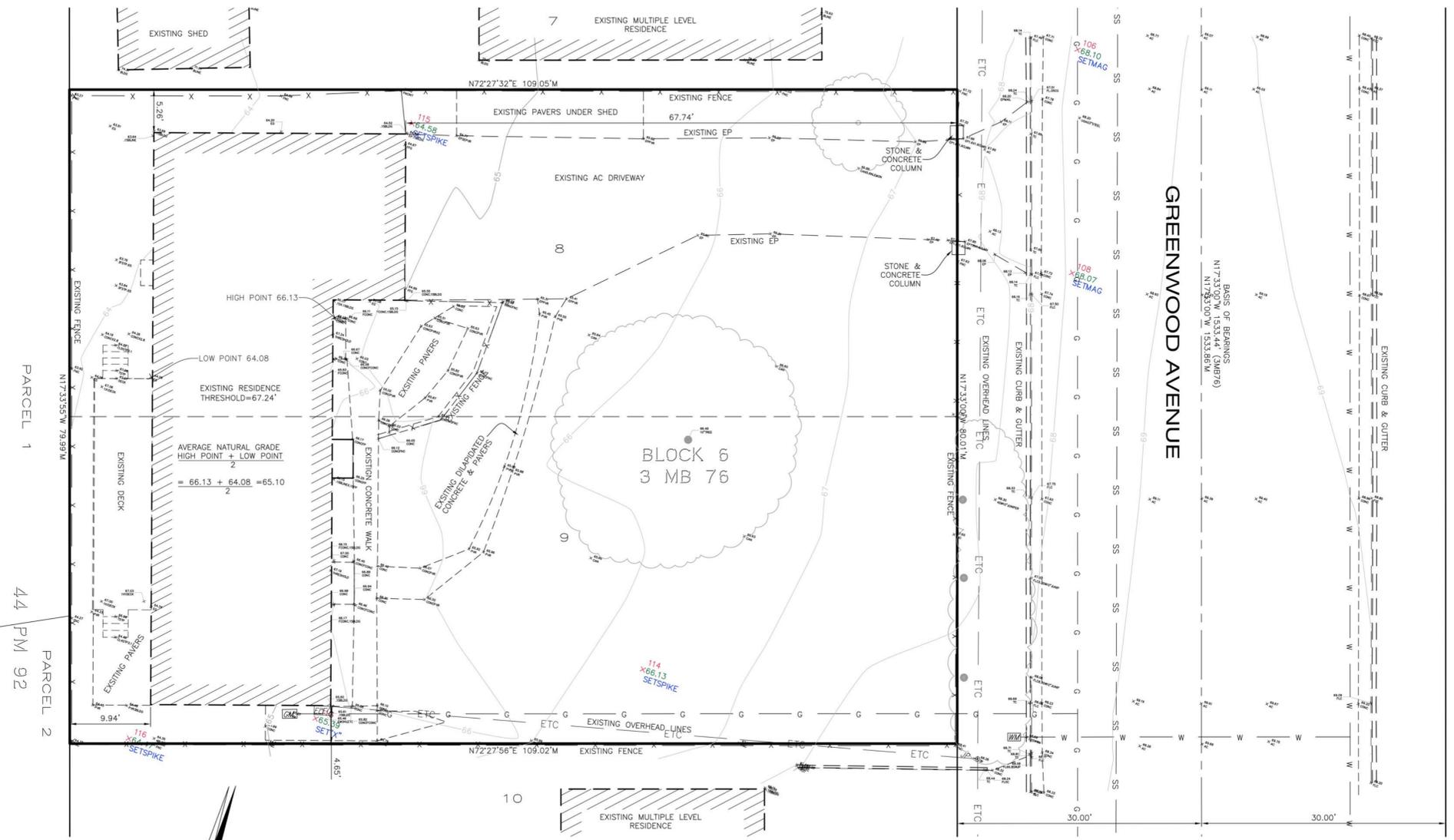
PROJECT
RESIDENTIAL ADDITION & REMODEL
DESCRIPTION
TITLE SHEET

PROJECT NO.
1614
REVISIONS

DRAWN BY
JED
DATE
8-24-16

T-1.0
OF 9 SHEETS

M:\16-199 2657 Greenwood Ave - Morro Bay\CS-2013\2657 Greenwood Avenue-Topo.dwg, 24x36, Aug 04, 2016 6:55am, JBlackwell

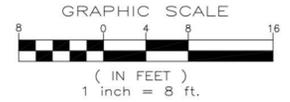


VICINITY MAP
NOT TO SCALE

SURVEYOR'S NOTES:

- NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
- ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
- THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
- THE PROPERTY LINES SHOWN HEREON REPRESENT THE ACTUAL BOUNDARY LINES BASED ON FOUND MONUMENTS IN THE FIELD. NO PERMANENT MONUMENTS WILL BE SET AT PROPERTY CORNERS PER CLIENTS REQUEST.

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE CENTERLINE OF GREENWOOD AVENUE BEARING N 17° 33' 00" W PER 3 MB 76.



SYMBOL LEGEND:

- x— FENCE LINE
- ss— SEWER MAIN
- w— WATER MAIN
- g— GAS MAIN
- etc— ELEC/TELEPHONE/CABLE
- ohe— OVERHEAD ELECTRIC
- x—x— RETAINING WALL
- PG&E PG&E BOX
- GM GAS METER
- TL TELEPHONE BOX
- SB SIGNAL BOX
- CA TV CABLE T.V. BOX
- ELEC ELECTRIC BOX
- TM TELEPHONE MANHOLE
- SL STREET LIGHT
- JP JOINT POLE
- PP POWER POLE
- GW GUY WIRE
- DI DROP INLET AT CURB
- DI DROP INLET
- SD STORM DRAIN MANHOLE
- FD FIRE HYDRANT
- WELL WATER WELL
- VALV WATER VALVE
- METER WATER METER
- MANHOLE SEWER MANHOLE
- CLEANOUT SEWER CLEANOUT
- MONITORING WELL

ABBREVIATIONS

- AC ASPHALT CONCRETE
- AP ANGLE POINT
- BM BENCH MARK
- BLDG BUILDING
- BOW BACK OF WALK
- CB CATCH BASIN
- CF CURB FACE
- CO CLEAN OUT
- COL COLUMN
- COR CORNER
- CONC CONCRETE
- CMP CORRUGATED METAL PIPE
- CMU CONCRETE MASONRY UNITS
- CRN CROWN OF STREET
- DI DROP INLET
- EG EXISTING GRADE
- EP EDGE OF PAVEMENT
- FD FOUND
- FL FLOW LINE
- FF FINISH FLOOR
- FOW FACE OF WALL
- HSE HOUSE COR
- GR GRASS
- GM GAS METER
- IP IRON PIPE
- IP IRON PIPE
- GB GRADE BREAK
- GM GAS METER
- HP HIGH POINT
- LT LIGHT
- MH MANHOLE
- PP POWER POLE
- PVC POLYVINYL PIPE
- REBAR REBAR
- RCP REINFORCED CONCRETE PIPE
- R10 RADIUS
- SD STORM DRAIN
- SL POINT ON SLOPE
- SS SEWER
- STP STEP
- STR STAIRS
- TOP TOP OF SLOPE
- TOE TOE OF SLOPE
- TW TOP OF WALL
- W WATER
- WL WALL
- WM WATER METER
- WV WATER VALVE
- DI-1.5FL TOP OF GRATE -1.5' FLOW LINE

SURVEYOR'S STATEMENT:

THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON JULY 28, 2016.

MICHAEL B. STANTON, PLS 5702 DATE _____



BENCH MARK:

THE BENCH MARK FOR THIS PROJECT IS A FOUND CITY OF MORRO BAY BENCH MARK A 112, BEING A BRASS CAP IN TOP OF CURB AT CATCH BASIN ON THE WESTERLY CURB OF MAIN STREET AT ELENA STREET.

ELEVATION=36.55'NGVD 29

SITE DATA:

ADDRESS: 2657 GREENWOOD AVENUE, MORRO BAY
ASSESSOR'S PARCEL NO. APN 068-249-027

TOPOGRAPHIC MAP

LOTS 8 & 9 OF BLOCK 6 OF MORRO DEL MAR SUBDIVISION NO. 1 AS SHOWN ON MAP FILED IN BOOK 3 AT PAGE 76, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, CALIFORNIA
AT THE REQUEST OF JED JOYCE DESIGN & CONSTRUCTION

MBS LAND SURVEYS
MICHAEL B. STANTON, PLS 5702
3563 SUELDO ST. UNIT 0
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805-594-1960
August 4, 2016 JOB #16-199

Jed Joyce
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PROJECT FOR
FAY PAGE
2657 GREENWOOD AVENUE
MORRO BAY, CA 93442

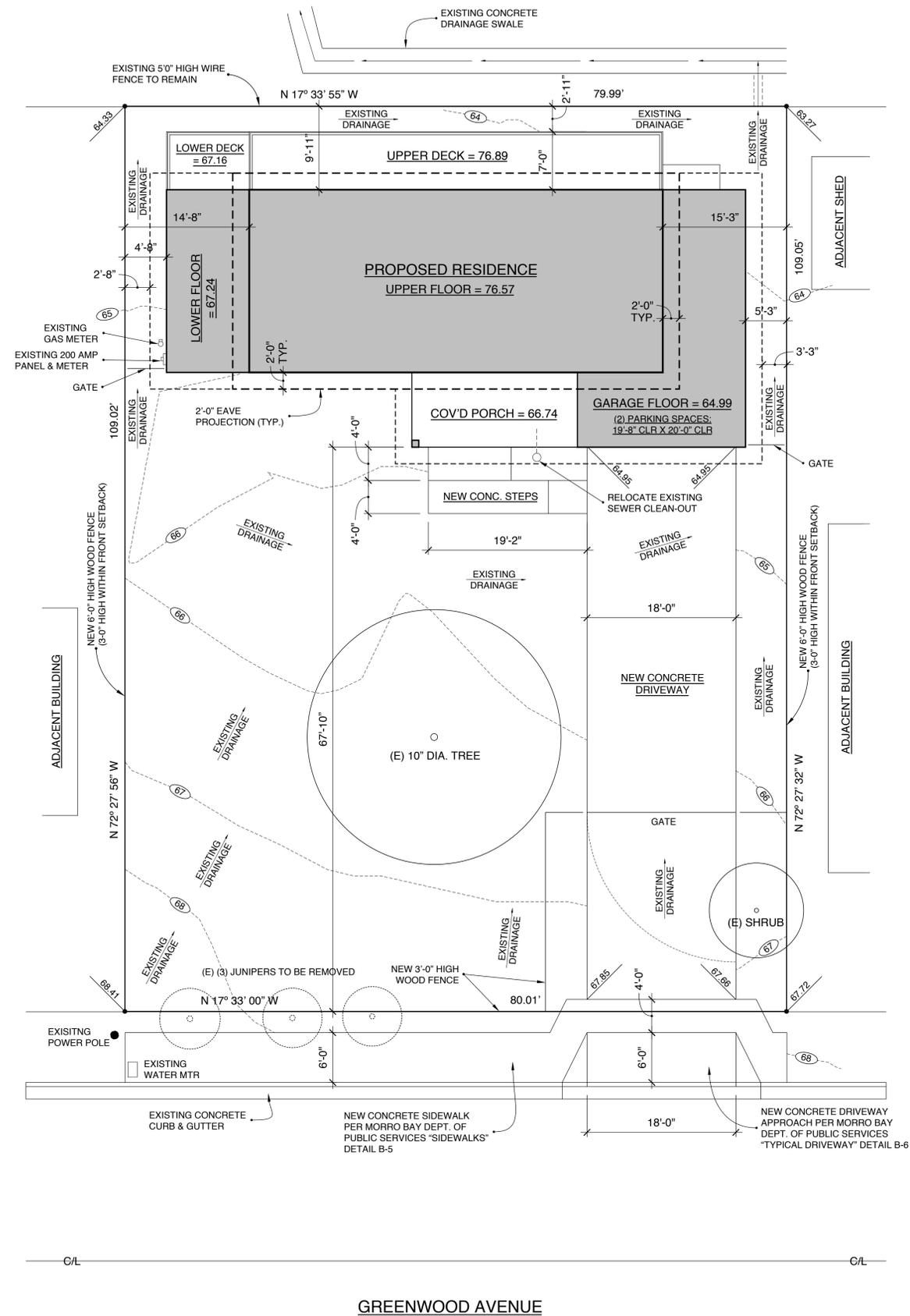
PROJECT
RESIDENTIAL ADDITION & REMODEL
DESCRIPTION
EXISTING SITE PLAN & SURVEY MAP

PROJECT NO.
1614
REVISIONS

DRAWN BY
JED
DATE
8-24-16

A-1.0
OF 9 SHEETS

EXHIBIT B



GREENWOOD AVENUE

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

SITE NOTES

- SLOPE GRADE AWAY FROM BUILDING A MINIMUM OF 4% FOR 5'-0" (TYP).
- ANY AND ALL SITE WORK AND GRADING SHALL BE IN ACCORDANCE WITH CBC CHAPTER 18 AND CGBC SECTION 4.1 AND ANY APPLICABLE LOCAL CODES AND ORDINANCES.

AVERAGE SLOPE OF SITE

$$\frac{\text{HIGH POINT} - \text{LOW POINT}}{\text{LENGTH}} = \frac{68.41' + 63.27'}{135.17'} = 3.8\%$$

AVERAGE NATURAL GRADE

$$\frac{\text{HIGH POINT} + \text{LOW POINT}}{2} = \frac{66.13' + 64.08'}{2} = 65.10'$$

$$\text{MAXIMUM BUILDING HEIGHT: } 65.10' + 25' = 90.10'$$

PROJECT STATISTICS

SQUARE FOOTAGES

EXISTING RESIDENCE:	1,100 SF
EXISTING DECK:	200 SF
EXISTING GARAGE:	623 SF
PROPOSED LOWER FLOOR:	1,100 SF
PROPOSED UPPER FLOOR:	1,100 SF
TOTAL PROPOSED RESIDENCE:	2,200 SF
PROPOSED COVERED PORCH:	180 SF
PROPOSED DECK:	700 SF
PROPOSED GARAGE:	623 SF

LOT COVERAGE

EXISTING LOT SIZE:	8,709 SF (100%)
EXISTING BUILDING FOOTPRINT:	1,723 SF (20%)
EXISTING DECK FOOTPRINT:	350 SF (4%)
EXISTING DRIVEWAY & FLATWORK:	1,584 SF (18%)
TOTAL EXISTING LOT COVERAGE:	3,657 SF (42%)
TOTAL OPEN SPACE:	5,052 SF (58%)
PROPOSED BUILDING FOOTPRINT:	1,723 SF (20%)
PROPOSED COV'D PORCH FOOTPRINT:	180 SF (2%)
PROPOSED DECK FOOTPRINT:	350 SF (4%)
PROPOSED DRIVEWAY & FLATWORK:	1,480 SF (17%)
TOTAL PROPOSED LOT COVERAGE:	3,733 SF (43%)
TOTAL PROPOSED OPEN SPACE:	4,976 SF (57%)

IMPERMEABLE SURFACE CALCULATIONS

TOTAL PROJECT AREA:	8,709 SF
TOTAL EXISTING IMPERMEABLE SURFACE AREA:	3,776 SF
PROPOSED ROOFTOP:	180 SF
PROPOSED DRIVEWAY:	1,280 SF
PROPOSED WALKWAYS:	200 SF
TOTAL PROPOSED IMPERMEABLE SURFACE AREA:	1,660 SF

SETBACKS

EXISTING FRONT YARD SETBACK:	64 FEET
EXISTING SIDE YARD SETBACKS:	5 FEET
EXISTING REAR YARD SETBACK:	5 FEET
PROPOSED FRONT YARD SETBACK:	64 FEET
PROPOSED SIDE YARD SETBACKS:	5 FEET
PROPOSED REAR YARD SETBACK:	5 FEET

BUILDING HEIGHT CALCULATION

MAXIMUM BUILDING HEIGHT:	25 FEET
AVERAGE NATURAL GRADE = (HIGH POINT + LOW POINT) ÷ 2	
AVERAGE NATURAL GRADE = (66.13' + 64.08') ÷ 2 = 65.10'	
MAXIMUM BUILDING HEIGHT ABOVE AVERAGE NATURAL GRADE:	90.10' (65.10' + 25')

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PROJECT FOR
FAY PAGE
2657 GREENWOOD AVENUE
MORRO BAY, CA 93442

PROJECT
RESIDENTIAL ADDITION & REMODEL

DESCRIPTION
PROPOSED SITE PLAN

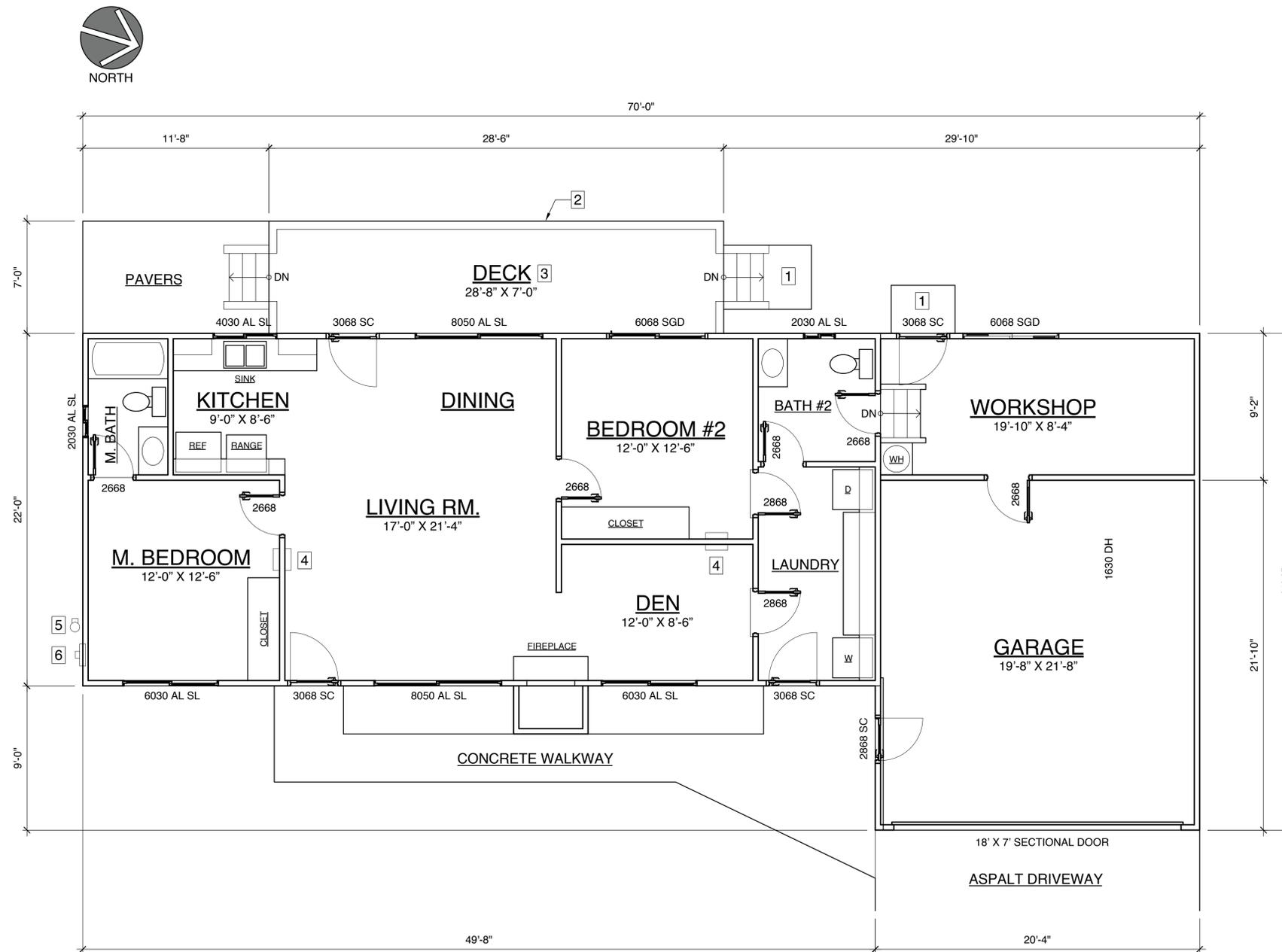
PROJECT NO.
1614

DRAWN BY
JED

DATE
8-24-16

A-1.1
OF 9 SHEETS

EXHIBIT B



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

(E) FLOOR PLAN CALLOUTS

1. CONCRETE LANDING (TYPICAL).
2. +36" REDWOOD GUARDRAIL.
3. 2 X 6 REDWOOD DECKING.
4. GAS WALL HEATER.
5. GAS METER.
6. 100 AMP MAIN PANEL & METER.

EXISTING FLOOR PLAN NOTES

1. ALL EXISTING EXTERIOR WALLS TO REMAIN.

WALL SCHEDULE

EXISTING 2 X 4 STUDS AT 16" ON CENTER FRAMED WALL

SQUARE FOOTAGES

EXISTING RESIDENCE: 1,100 SF
 EXISTING DECK: 200 SF
 EXISTING GARAGE: 623 SF

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PROJECT FOR
 FAY PAGE
 2657 GREENWOOD AVENUE
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PROJECT
 RESIDENTIAL ADDITION & REMODEL

PROJECT NO.
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DATE
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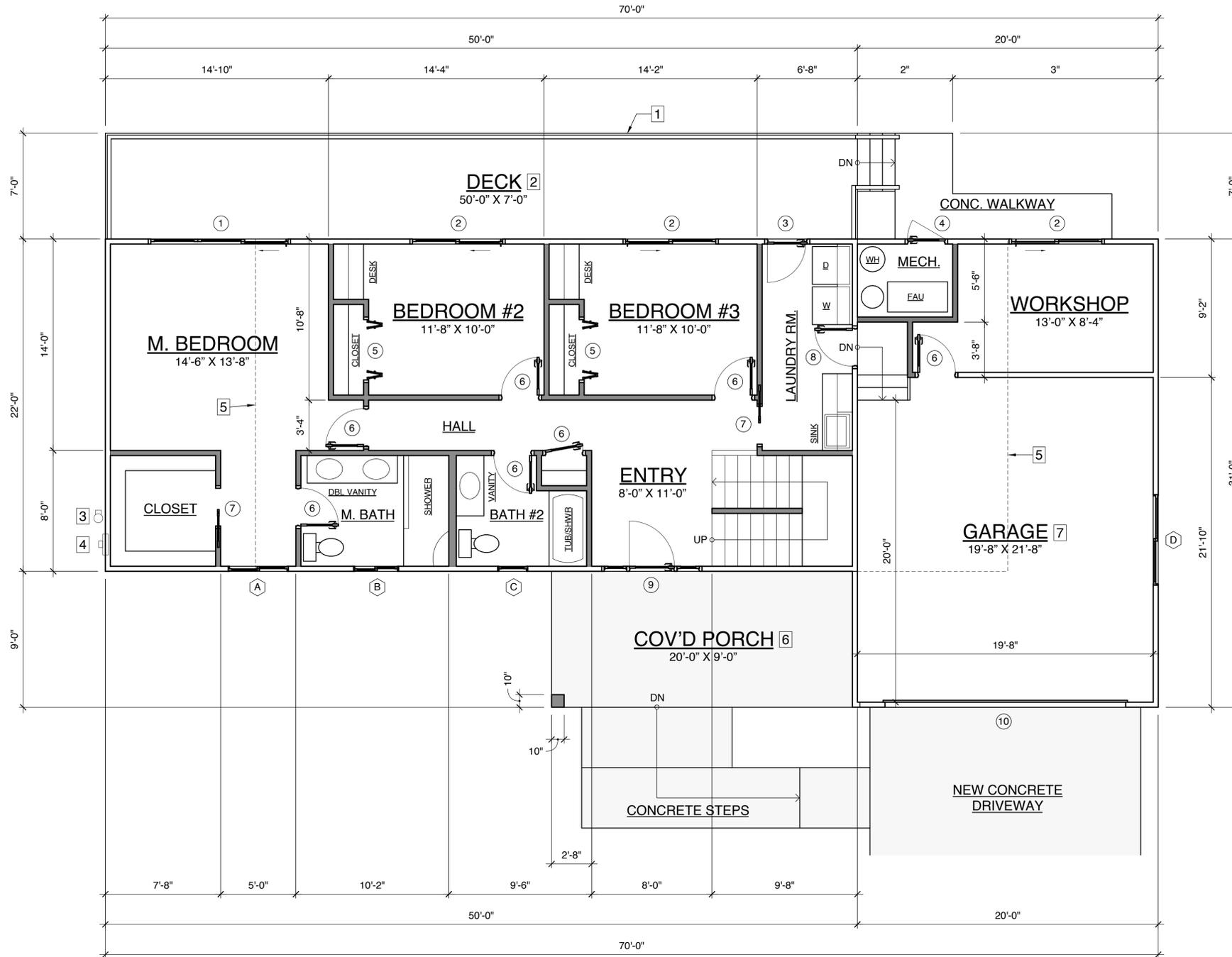
DESCRIPTION
 EXISTING FLOOR PLAN

REVISIONS

DATE
 8-24-16

A-2.1
 OF 9 SHEETS

EXHIBIT B



PROPOSED LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN CALLOUTS

1. NEW 442" ALUMINUM & GLASS RAILING.
2. NEW 1 X 6 COMPOSITE DECKING.
3. EXISTING GAS METER.
4. NEW 200 AMP MAIN PANEL & METER.
5. LINE OF UPPER FLOOR ABOVE.
6. NEW CONCRETE PORCH.
7. EXISTING GARAGE WITH 19'-8" X 20'-0" CLEAR PARKING AREA.

FLOOR PLAN NOTES

1. SEE SHEET A-2.3 FOR DOOR & WINDOW SCHEDULES.

WALL SCHEDULE

- NEW 2 X 4 STUDS AT 16" ON CENTER FRAMED WALL
- EXISTING 2 X 4 STUDS AT 16" ON CENTER FRAMED WALL

SQUARE FOOTAGES

EXISTING RESIDENCE:	1,100 SF
EXISTING DECK:	200 SF
EXISTING GARAGE:	623 SF
PROPOSED LOWER FLOOR:	1,100 SF
PROPOSED UPPER FLOOR:	1,100 SF
TOTAL PROPOSED RESIDENCE:	2,200 SF
PROPOSED COVERED PORCH:	180 SF
PROPOSED DECK:	700 SF
PROPOSED GARAGE:	623 SF

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PROJECT FOR
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 MORRO BAY, CA 93442

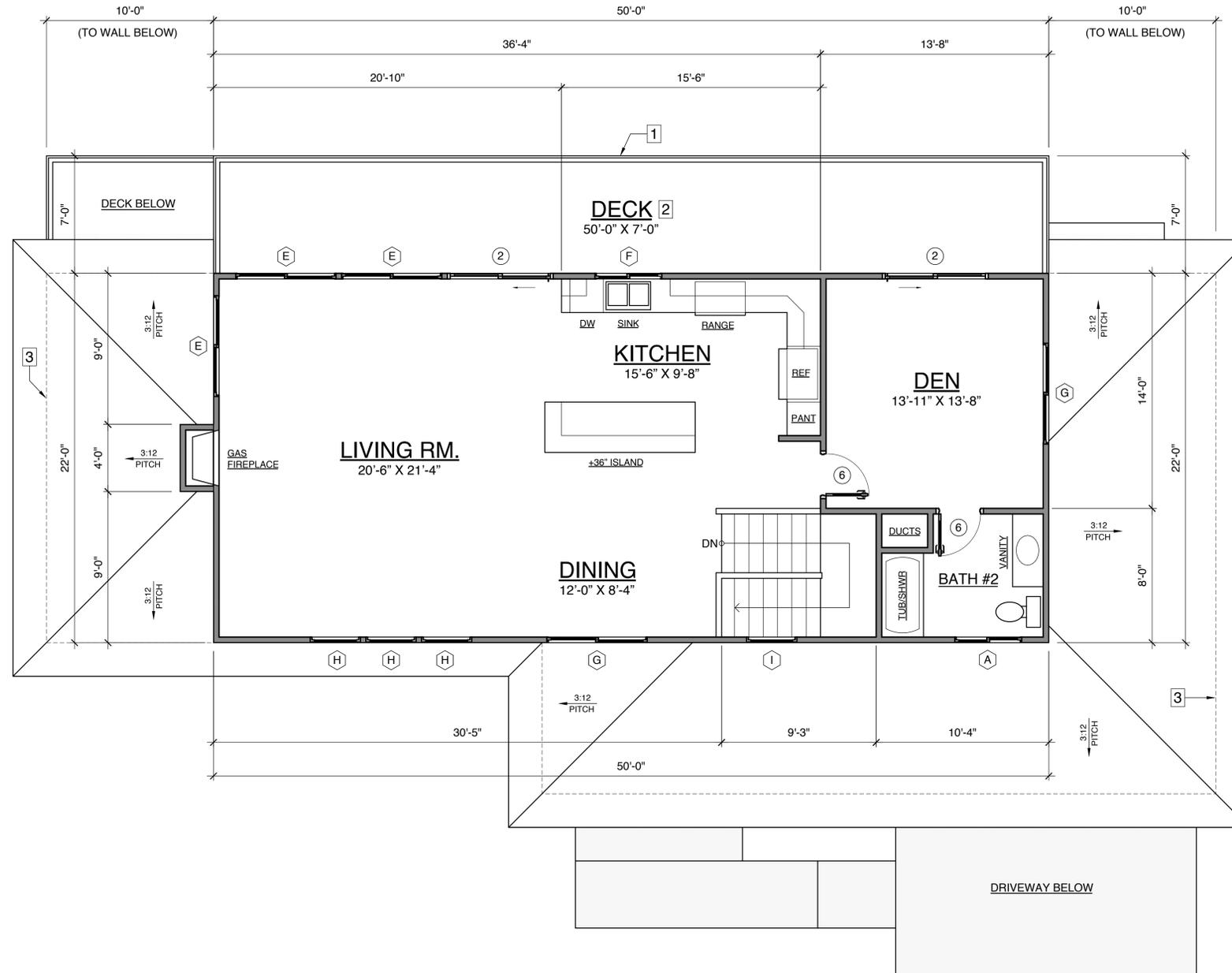
PROJECT
 RESIDENTIAL ADDITION & REMODEL
DESCRIPTION
 PROPOSED LOWER FLOOR PLAN

PROJECT NO.
 1614
REVISIONS

DRAWN BY
 JED
DATE
 8-24-16

A-2.2
 OF 9 SHEETS

EXHIBIT B



FLOOR PLAN CALLOUTS

1. NEW 442" ALUMINUM & GLASS RAILING.
2. NEW 1 X 6 COMPOSITE DECKING.
3. LINE OF LOWER FLOOR BELOW.

WALL SCHEDULE

- NEW 2 X 4 STUDS AT 16" ON CENTER FRAMED WALL
- EXISTING 2 X 4 STUDS AT 16" ON CENTER FRAMED WALL

PROPOSED UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

AMOUNT	DOOR NO.	DOOR WIDTH	DOOR HEIGHT	DOOR THK.	DOOR TYPE	DOOR MATERIAL	DOOR GLASS	FRAME TYPE	FRAME MATERIAL	JAMB SIZE	REMARKS
1	1	9'-0"	6'-8"		SGD	WD/FG				5-1/4"	
5	2	6'-0"	6'-8"		SGD	WD/FG				5-1/4"	
1	3	2'-8"	6'-8"	1-3/4"	FRENCH	WD/FG	1-LITE			5-1/4"	
1	4	2'-6"	6'-8"	1-3/4"		FG				5-1/4"	W/ (2) 12" X 12" VENTS TOP & BOT
2	5	4'-0"	6'-8"	1-1/8"	BI-FOLD	WD				4-9/16"	(2) LOUVERED PANELS
8	6	2'-6"	6'-8"	1-3/8"		WD				4-9/16"	SINGLE PANEL
2	7	2'-6"	6'-8"	1-3/8"	POCKET	WD				4-9/16"	SINGLE PANEL
1	8	2'-6"	6'-8"	1-3/4"	SC	WD				4-9/16"	20-MIN FIRE RATED
1	9	3'-0"	6'-8"	1-3/4"	FRENCH	WD	1-LITE			5-1/4"	W/ (2) 1668 SIDELITES
1	10	16'-0"	8'-0"		OVERHEAD	ALUM				5-1/4"	SECTIONAL GARAGE DOOR

WINDOW SCHEDULE

AMOUNT	WINDOW NO.	WINDOW WIDTH	WINDOW HEIGHT	WINDOW THK.	WINDOW TYPE	FRAME MATERIAL	FRAME TYPE	JAMB SIZE	HEAD SIZE	SILL SIZE	REMARKS
2	A	4'-0"	3'-0"		SLIDER	WD/FG					NO GRILLES
1	B	3'-0"	3'-0"		SLIDER	WD/FG					NO GRILLES
1	C	2'-0"	4'-0"		DBL HUNG	WD/FG					NO GRILLES
1	D	6'-0"	3'-0"		SLIDER	WD/FG					NO GRILLES
3	E	6'-0"	5'-0"		SLIDER	WD/FG					NO GRILLES
1	F	4'-0"	4'-0"		SLIDER	WD/FG					NO GRILLES
2	G	6'-0"	4'-0"		SLIDER	WD/FG					NO GRILLES
3	H	3'-0"	5'-0"		PICTURE	WD/FG					NO GRILLES
1	I	3'-0"	3'-0"		PICTURE	WD/FG					NO GRILLES

SQUARE FOOTAGES

EXISTING RESIDENCE:	1,100 SF
EXISTING DECK:	200 SF
EXISTING GARAGE:	623 SF
PROPOSED LOWER FLOOR:	1,100 SF
PROPOSED UPPER FLOOR:	1,100 SF
TOTAL PROPOSED RESIDENCE:	2,200 SF
PROPOSED COVERED PORCH:	180 SF
PROPOSED DECK:	700 SF
PROPOSED GARAGE:	623 SF

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PROJECT FOR
FAY PAGE
2657 GREENWOOD AVENUE
MORRO BAY, CA 93442

PROJECT
RESIDENTIAL ADDITION & REMODEL

DESCRIPTION
PROPOSED UPPER FLOOR PLAN

PROJECT NO.
1614

REVISIONS

DRAWN BY
JED

DATE
8-24-16

A-2.3
OF 9 SHEETS

EXHIBIT B

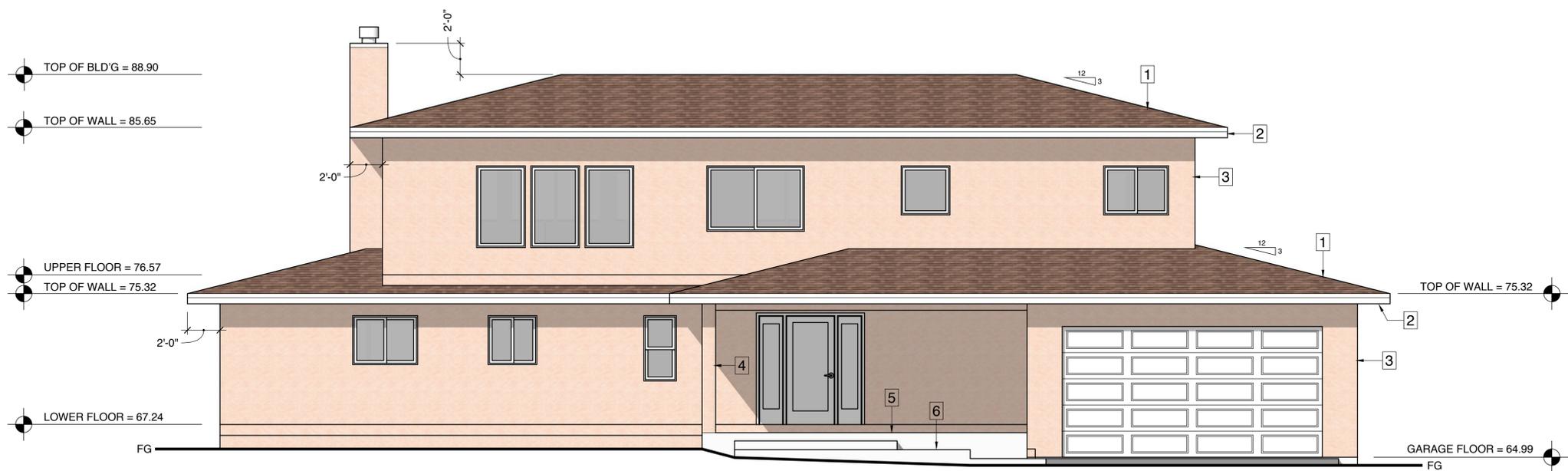
ELEVATION CALLOUTS

1. 30-YEAR ARCHITECTURAL COMPOSITION ROOFING OVER 15# MINIMUM ROOFING FELT.
2. 1 X 3 REDWOOD OVER 2 X 8 REDWOOD FASCIA.
3. 7/8" THICK, 3-COAT, FIBER-REINFORCED CEMENT PLASTER WITH ACRYLIC FINISH OVER APPROVED PAPER & WIRE LATH.
4. 10" SQUARE CEMENT PLASTE COLUMN.
5. CONCRETE SLAB AT COVERED PORCH.
6. CONCRETE ENTRY STEPS.
7. +42" POWDER COATED ALUMINUM & TEMPERED GLASS GUARDRAIL.
8. 1 X 12 COMPOSITE DECK BAND.

AVERAGE NATURAL GRADE

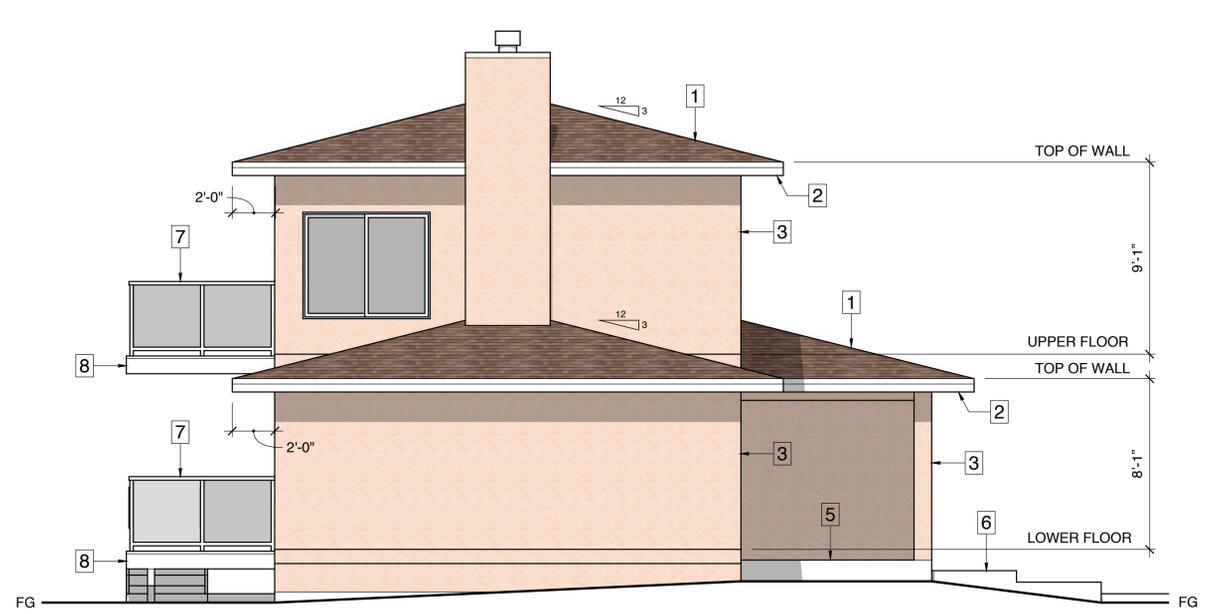
$$\frac{\text{HIGH POINT} + \text{LOW POINT}}{2} = \frac{66.13' + 64.08'}{2} = 65.10'$$

$$\text{MAXIMUM BUILDING HEIGHT: } 65.10' + 25' = 90.10'$$



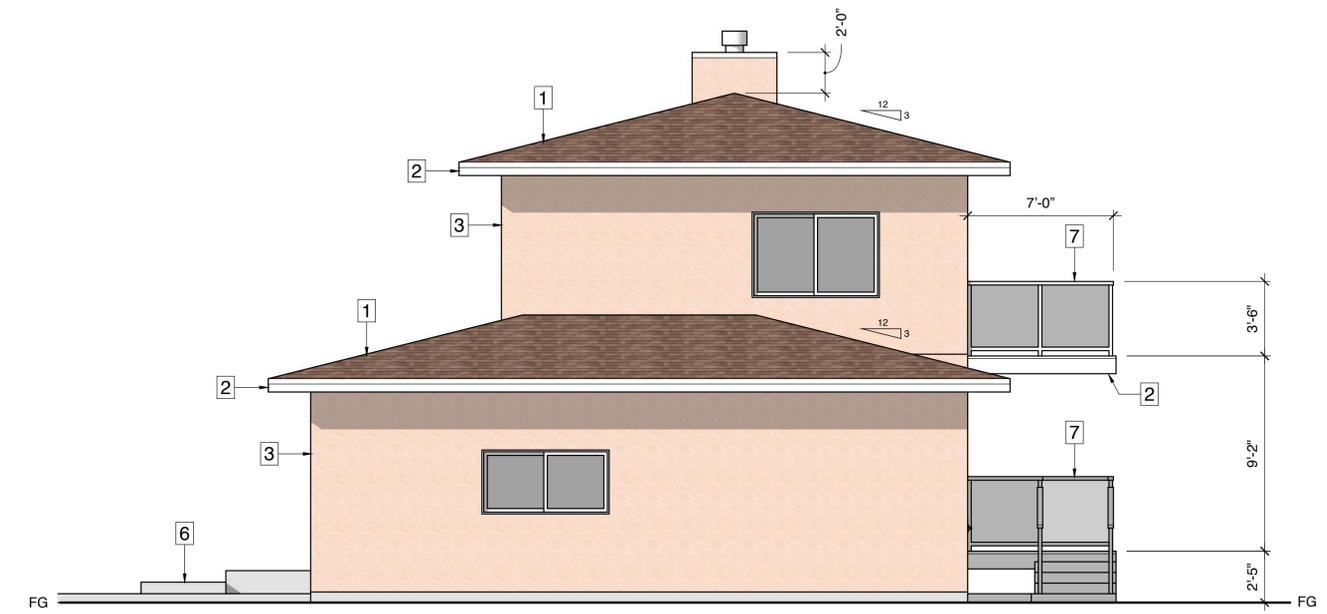
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT FOR
 FAY PAGE
 2657 GREENWOOD AVENUE
 MORRO BAY, CA 93442

PROJECT
 RESIDENTIAL ADDITION & REMODEL
DESCRIPTION
 PROPOSED EXTERIOR ELEVATIONS

PROJECT NO.
 1614
REVISIONS

DRAWN BY
 JED
DATE
 8-24-16

EXHIBIT B

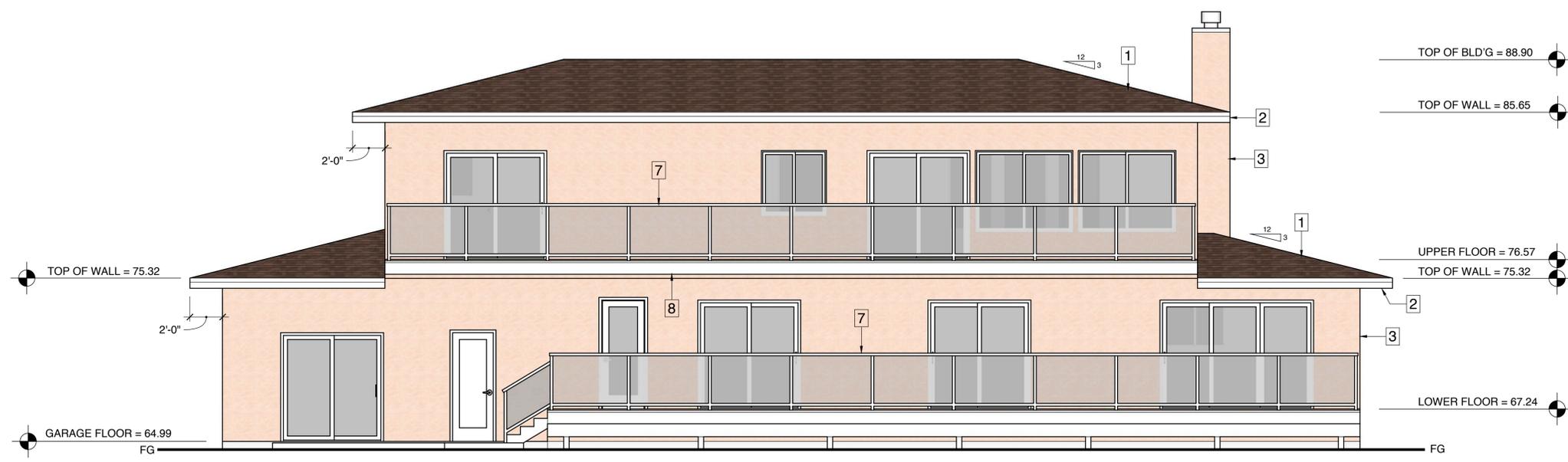
ELEVATION CALLOUTS

1. 30-YEAR ARCHITECTURAL COMPOSITION ROOFING OVER 15# MINIMUM ROOFING FELT.
2. 1 X 3 REDWOOD OVER 2 X 8 REDWOOD FASCIA.
3. 7/8" THICK, 3-COAT, FIBER-REINFORCED CEMENT PLASTER WITH ACRYLIC FINISH OVER APPROVED PAPER & WIRE LATH.
4. 10" SQUARE CEMENT PLASTE COLUMN.
5. CONCRETE SLAB AT COVERED PORCH.
6. CONCRETE ENTRY STEPS.
7. +42" POWDER COATED ALUMINUM & TEMPERED GLASS GUARDRAIL.
8. 1 X 12 COMPOSITE DECK BAND.

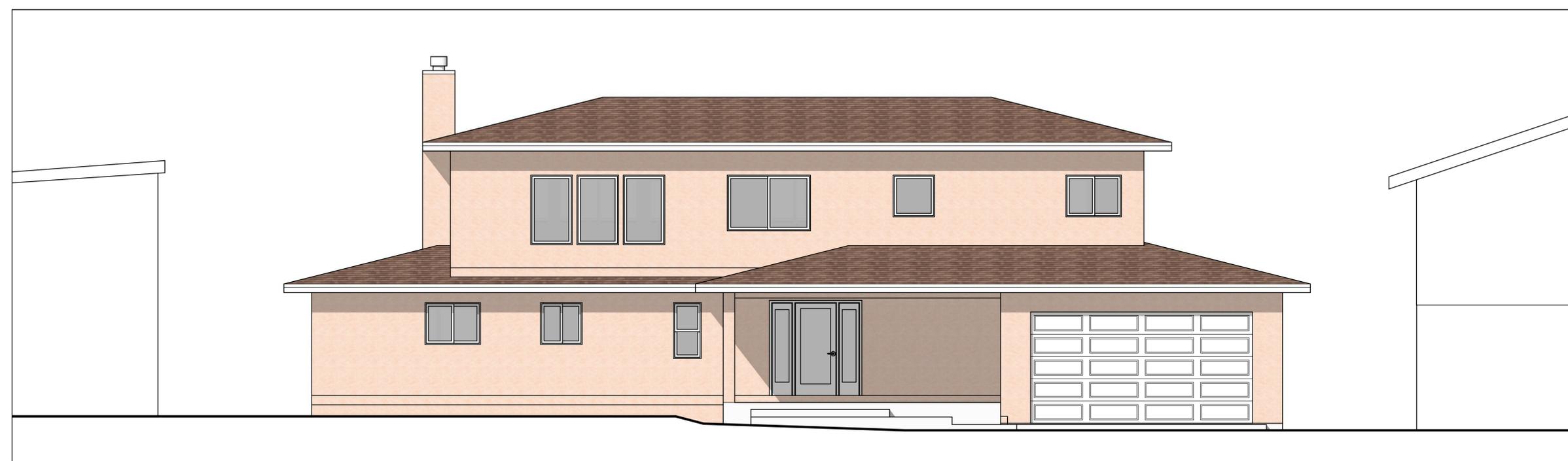
AVERAGE NATURAL GRADE

$$\frac{\text{HIGH POINT} + \text{LOW POINT}}{2} = \frac{66.13' + 64.08'}{2} = 65.10'$$

$$\text{MAXIMUM BUILDING HEIGHT: } 65.10' + 25' = 90.10'$$



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION STREET SCENE
SCALE: 1/4" = 1'-0"

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PROJECT FOR
FAY PAGE
2657 GREENWOOD AVENUE
MORRO BAY, CA 93442

PROJECT
RESIDENTIAL ADDITION & REMODEL

DESCRIPTION
PROPOSED EXTERIOR ELEVATION & STREET VIEW

PROJECT NO.
1614

REVISIONS

DRAWN BY
JED

DATE
8-24-16

A-3.2
OF 9 SHEETS

EXHIBIT C

LaHabra®

Color Collection



PAREXUSA

EXHIBIT C

At LaHabra, quality is part of everything we do. Since 1926, we have made it a cornerstone of our company. Our products come from the best raw materials available. Our manufacturing standards lead the industry. Our commitment to color quality and precision is unparalleled. But even more important, we know our most valuable asset is our customer. We stand proudly behind the legendary LaHabra service: our hallmark for over 80 years. For more Acrylic and Elastomeric standard colors, please refer to the Parex USA color chart.

COLOR CHART APPLIES TO STUCCO COLOR COAT, ACRYLIC AND ELASTOMERIC FINISHES, ALLEGRO II AND FOG COAT.

Specify product when placing order.

X = Stucco Color Coat

A = Acrylic and Elastomeric Finishes

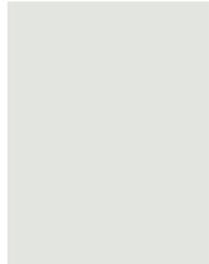
AL = Allegro II

DX = Fog Coat

STANDARD COLORS



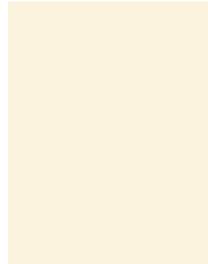
12 CHABLIS (74) BASE 100



16 SILVER GREY (57) BASE 200



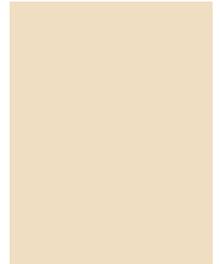
17 MISTY (48) BASE 200



23 ASPEN (60) BASE 200



24 SANTA FE (50) BASE 200



25 SADDLEBACK (52) BASE 200



28 MIRAGE (56) BASE 200



34 SAN SIMEON (61) BASE 200



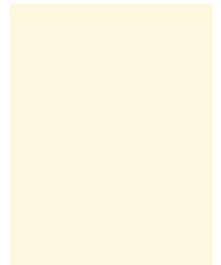
40 DOVE GREY (66) BASE 200



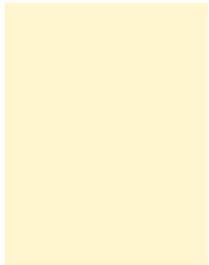
48 MEADOWBROOK (73) BASE 100



50 CRYSTAL WHITE (79) BASE 100



53 PURE IVORY (74) BASE 100



55 FRENCH VANILLA (71) BASE 100



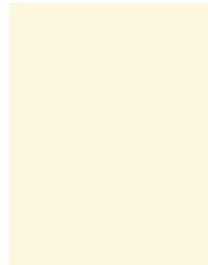
71 MIAMI PEACH (61) BASE 100



72 ADOBE (50) BASE 200



73 EGG SHELL (76) BASE 100



81 OATMEAL (68) BASE 200



82 HACIENDA (59) BASE 200



86 SANDSTONE (63) BASE 200



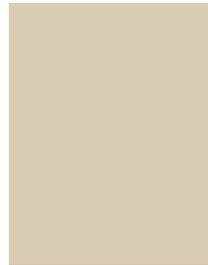
97 PACIFIC SAND (57) BASE 200



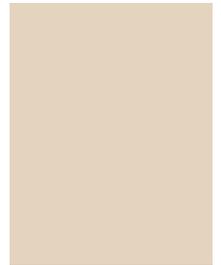
215 MESA VERDE (48) BASE 200



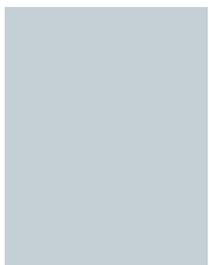
278 TRABUCO (42) BASE 200



434 FALLBROOK (42) BASE 200



475 VIEJO (47) BASE 200



504 BLUE GREY (47) BASE 200



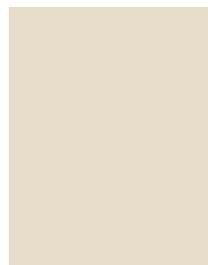
524 ALAMO (43) BASE 200



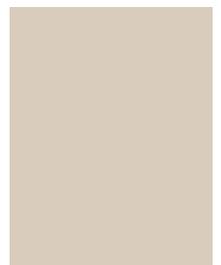
580 SIERRA TAN (44) BASE 200



696 SOUTHERN MOSS (42) BASE 200



820 SILVERADO (48) BASE 200



830 CLAY (40) BASE 200

EXHIBIT D

RESIDENTIAL ADDITION FOR:
FAY PAGE
2657 GREENWOOD AVENUE
MORRO BAY, CA 93442

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STREET VIEW RENDERING
NO SCALE 8/24/2016

EXHIBIT D

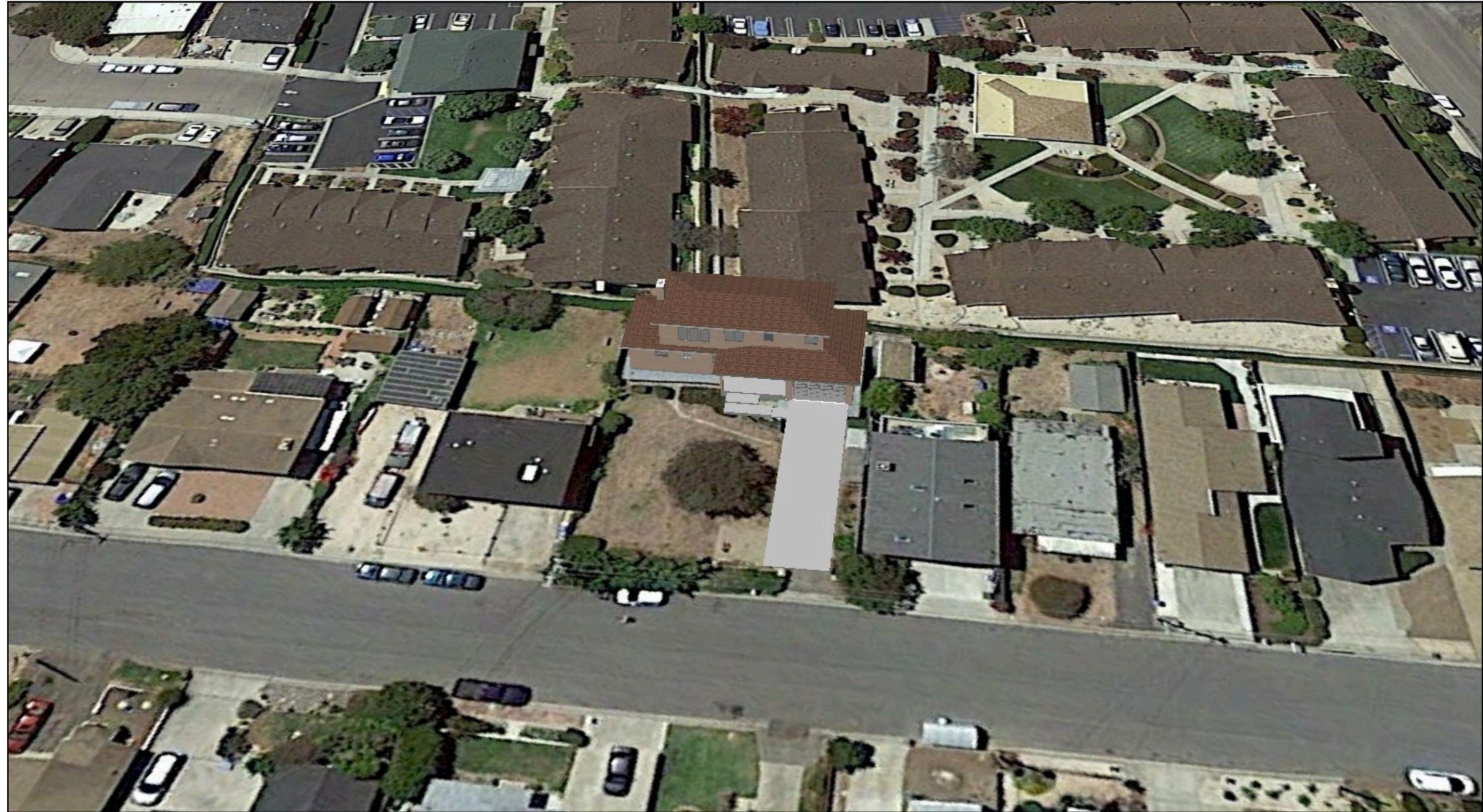
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FAY PAGE
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STREET VIEW RENDERING - OVERHEAD

NO SCALE

8/24/2016