



CITY OF MORRO BAY PLANNING COMMISSION AGENDA

*The City of Morro Bay is dedicated to the preservation and enhancement of the quality of life.
The City shall be committed to this purpose and will provide a level of municipal service and safety
consistent with and responsive to the needs of the public.*

**Regular Meeting - Tuesday, October 18, 2016
Veteran's Memorial Building – 6:00 P.M.
209 Surf Street, Morro Bay, CA**

Chairperson Robert Tefft

Commissioner Gerald Luhr
Commissioner Michael Lucas

Commissioner Richard Sadowski
Commissioner Joseph Ingrassia

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS

PUBLIC COMMENT PERIOD

Members of the audience wishing to address the Commission on matters not on the agenda may do so at this time. In a continual attempt to make the public process open to members of the public, the City also invites public comment before each agenda item. Commission hearings often involve highly emotional issues. It is important that all participants conduct themselves with courtesy, dignity and respect. All persons who wish to present comments must observe the following rules to increase the effectiveness of the Public Comment Period:

- When recognized by the Chair, please come forward to the podium and state your name and address for the record. Commission meetings are audio and video recorded and this information is voluntary and desired for the preparation of minutes.
- Comments are to be limited to three minutes so keep your comments brief and to the point.
- All remarks shall be addressed to the Commission, as a whole, and not to any individual member thereof. Conversation or debate between a speaker at the podium and a member of the audience is not permitted.
- The Commission respectfully requests that you refrain from making slanderous, profane or personal remarks against any elected official, commission and/or staff.
- Please refrain from public displays or outbursts such as unsolicited applause, comments or cheering.
- Any disruptive activities that substantially interfere with the ability of the Commission to carry out its meeting will not be permitted and offenders will be requested to leave the meeting.
- Your participation in Commission meetings is welcome and your courtesy will be appreciated.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development at (805) 772-6264. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. There are devices for the hearing impaired available upon request at the staff's table.

PRESENTATIONS

Informational presentations are made to the Commission by individuals, groups or organizations, which are of a civic nature and relate to public planning issues that warrant a longer time than Public Comment will provide. Based on the presentation received, any Planning Commissioner may declare the matter as a future agenda item in accordance with the General Rules and Procedures. Presentations should normally be limited to 15-20 minutes.

A. CONSENT CALENDAR

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

A-2 Approval of minutes from the Planning Commission meeting of September 6, 2016.
Staff Recommendation: Approve minutes as submitted.

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 **Case No.:** #UP0-451 and #CP0-510
Site Location: 190 Anchor Street, Morro Bay, CA
Proposal: Conditional Use and Coastal Development Permit approval for a 283 sq. ft. addition to an existing 955 sq. ft. nonconforming structure and the construction of a new 624 sq. ft. garage in the R-2/PD/S.4 Residential Zoning District. The project is located within the Coastal Commission Appeals Jurisdiction.
CEQA Determination: Categorically Exempt, Section 15301, Class 1
Staff Recommendation: Conditionally Approve
Staff Contact: Joan Gargiulo, Assistant Planner, (805) 772-6270

B-2 **Case No.:** #UP0-450 / #CP0-509 / #AD0-106 / #AD0-107
Site Location: 242 Surf Street, Morro Bay, CA
Proposal: Application for a Conditional Use Permit, Coastal Development Permit, Parking Exception, and Variance. Specifically, the Applicant proposes to add 376 sq. ft. to an existing 720 sq. ft. nonconforming residence. Parking exception request is to allow for two tandem spaces in the driveway. Variance request is to allow for a reduced front setback due to the irregular shape of the parcel. The project is located within the R-2 Residential Zoning District and outside of the Coastal Commission Appeals Jurisdiction.
CEQA Determination: Categorically Exempt, Section 15301, Class 1
Staff Recommendation: Conditionally Approve
Staff Contact: Joan Gargiulo, Assistant Planner, (805) 772-6270

C. NEW BUSINESS - NONE

D. UNFINISHED BUSINESS - NONE

E. PLANNING COMMISSIONER COMMENTS

F. COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

G. ADJOURNMENT

Adjourn to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on November 1, 2016 at 6:00 p.m.

PLANNING COMMISSION MEETING PROCEDURES

This Agenda is subject to amendment up to 72 hours prior to the date and time set for the meeting. Please refer to the Agenda posted at the Community Development Department, 955 Shasta Avenue, for any revisions, or call the department at 772-6264 for further information.

Written testimony is encouraged so it can be distributed in the Agenda packet to the Commission. Material submitted by the public for Commission review prior to a scheduled hearing should be received by the Planning Division at the Community Development Department, 955 Shasta Avenue, no later than 5:00 P.M. the Tuesday (eight days) prior to the scheduled public hearing. Written testimony provided after the Agenda packet is published will be distributed to the Commission but there may not be enough time to fully consider the information. Mail should be directed to the Community Development Department, Planning Division.

Materials related to an item on this Agenda are available for public inspection during normal business hours in the Community Development Department, at Mill’s/ASAP, 495 Morro Bay Boulevard, or the Morro Bay Library, 695 Harbor, Morro Bay, CA 93442. Materials related to an item on this Agenda submitted to the Planning Commission after publication of the Agenda packet are available for inspection at the Community Development Department during normal business hours or at the scheduled meeting.

This Agenda may be found on the Internet at: www.morro-bay.ca.us/planningcommission or you can subscribe to Notify Me for email notification when the Agenda is posted on the City’s website. To subscribe, go to www.morro-bay.ca.us/notifyme and follow the instructions.

The Brown Act forbids the Commission from taking action or discussing any item not appearing on the agenda, including those items raised at Public Comment. In response to Public Comment, the Commission is limited to:

1. Responding to statements made or questions posed by members of the public; or
2. Requesting staff to report back on a matter at a subsequent meeting; or
3. Directing staff to place the item on a future agenda. (Government Code Section 54954.2(a))

Commission meetings are conducted under the authority of the Chair who may modify the procedures outlined below. The Chair will announce each item. Thereafter, the hearing will be conducted as follows:

1. The Planning Division staff will present the staff report and recommendation on the proposal being heard and respond to questions from Commissioners.
2. The Chair will open the public hearing by first asking the project applicant/agent to present any points necessary for the Commission, as well as the public, to fully understand the proposal.
3. The Chair will then ask other interested persons to come to the podium to present testimony either in support of or in opposition to the proposal.
4. Finally, the Chair may invite the applicant/agent back to the podium to respond to the public testimony. Thereafter, the Chair will close the public testimony portion of the hearing and limit further discussion to the Commission and staff prior to the Commission taking action on a decision.

APPEALS

If you are dissatisfied with an approval or denial of a project, you have the right to appeal this decision to the City Council up to 10 calendar days after the date of action. Pursuant to Government Code §65009, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Commission, at, or prior to, the public hearing. The appeal form is available at the Community Development Department and on the City’s web site. If legitimate coastal resource issues related to our Local Coastal Program are raised in the appeal, there is no fee if the subject property is located within the Coastal Appeal Area. If the property is located outside the Coastal Appeal Area, the fee is \$263 flat fee. If a fee is required, the appeal will not be considered complete if the fee is not paid. If the City decides in the appellant’s favor then the fee will be refunded.

City Council decisions may also be appealed to the California Coastal Commission pursuant to the Coastal Act Section 30603 for those projects that are in their appeals jurisdiction. Exhaustion of appeals at the City is required prior to appealing the matter to the California Coastal Commission. The appeal to the City Council must be made to the City and the appeal to the California Coastal Commission must be made directly to the California Coastal Commission Office. These regulations provide the California Coastal Commission 10 working days following the

expiration of the City appeal period to appeal the decision. This means that no construction permit shall be issued until both the City and Coastal Commission appeal period have expired without an appeal being filed. The Coastal Commission's Santa Cruz Office at (831) 427-4863 may be contacted for further information on appeal procedures.



City of Morro Bay
 Community Development Department
 Current & Advanced Project Tracking Sheet

This tracking sheet shows the status of the work being processed by the Planning & Building Divisions
 New Planning items or items recently updated are highlighted in yellow. Building items highlighted in green are pending action from the applicant.
 Approved projects are deleted on next version of log.

Agenda No: A-1

Meeting Date: October 18, 2016

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
Hearing or Action Ready Projects:										
1	Hartsock	242 Surf	7/20/16	UP0-450 / CP0-509 / AD0-106 / AD0-107	Coastal Development and Conditional Use Permit for an addition and remodel to existing nonconforming single-family residence. Includes a request for a parking exception for tandem parking in the driveway and a variance for a reduced front setback	Under initial review. Correction letter sent 8/23. resubmittal rcv'd 9/16/16	TP-Cond App sprinklers required mod>50% 8/23/16	PN- Conditionally approved per memo dated 8/3/16		jg
2	Brebes	1126 Scott	8/18/16	A00-039 (CUP27-02 & CDP48-02)	Minor modification to an existing CUP & CDP permit to change an existing commercial storage space to commercial general office use.	Under Initial Review. To be Noticed 8/29/16. Based on existing conditions of approval, the illegal shower in the existing commercial space must be removed prior to modification approval. Waiting on Applicant to take action				jg
3	Salamacha	190 Anchor	8/19/16	CP0-510 / UP0-451	Coastal Development and Conditional Use Permit for a 283 sq. ft. addition to an existing 955 sq. ft. nonconforming residence and the construction of a new 624 sq. ft. two-car garage.	Under Initial Review. Scheduled for PC on 10/18/16		PN-Conditionally approved per memo dated 9/2/16		jg
4	Verizon / Knight	484 Main new location, Corner of Main and Cabrillo	11/19/14	UP0-394 and CP0-512	Coastal Development Permit and Conditional Use Permit for installation of new Wireless Facility/Verizon antennas on existing pole.	Under Review. JG. Incomplete. Waiting on response from Tricia Knight. Wants to keep project open and figure out the parking situation or move location. 1/26. JG. Applicant looking to move location to pole across the street. resubmittal rcv'd 5/26. Deemed Complete, waiting for Applicant to confirm PC meeting date. PC hearing held on 9/6/16 and continued for further review to 11-1-16 PC hearing		PN- Conditionally approved 6/14/16		jg
5	Perry	429 Kings Ave	8/26/16	CP0-514	Administrative Coastal Development Permit for conversion of existing 887sf basement workshop to a one bedroom guest suite for an existing SFR.	Project noticed 10/4/2016.		PN- Conditionally Approved per memo dated 9/22/16		rr

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6	Scoto	330 Sicily	7/13/16	CP0-508	Coastal Development Permit for new SFR; 1,743 sq. ft. with 473 sq. foot garage and 156 sq. ft. of decking	Under Initial Review. Correction letter sent 8/11/2016. Resubmittal rcv'd 8/22. Project noticed 9/14/16 and appeal period ended 10/7/16, waiting for a few red-lined changes prior to permit issuance.		PN- Conditionally approved per memo dated 8/3/16		rr
7	Seitz	1217 Embarcadero	9/27/16	A00-042 (UP0-058)	Amendment to UP0-058 for change in use from storage to retail fish market sales	Project reviewed for change in occupancy use. Requires modification to existing use permit. To be agenda'd for 11-1-16 PC hearing				cj
30 -Day Review, Incomplete or Additional Submittal Review Projects:										
8	Silver City Mobile Home Park	500 Atascadero	10/11/16	UP0-457	Conditional Use Permit to allow a change in use at Silver City mobile home park under the interim use overlay zone (MBMC 17.40.080)	Under initial review.				jg
9	Leage	1205 Embarcadero	9/28/16	A00-044 (UP0-058)	Minor amendment to UP0-058 to relocated approved floating dock location and construct new finger sections and lease line amendment	projec				cj
10	Lewis	290 Piney	9/27/16	A00-043 (CP0-440)	Modification to existing Coastal Development Permit CP0-440 to allow for different architectural style	Under initial review				jg
11	Stanley	570 Harbor St	9/12/16	CP0-517	Demo existing SFR/Chiropractic office. New construction of 2 new SFRs - 1507sf living with 480sf garage, and 891 sf living with 441 sf garage	Under initial review		Conditionally approved per memo dated 10/11/16		wm
12	Redican	725 Embarcadero	9/9/16	A00-041 (UP0-359)	Major amendment to Conditional Use Permit UP0-359. Replace existing upper floor restaurant to a 9 room second floor hotel.	Project under review. Met with applicant 10/10/16 to discuss.				cj

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13	Gonzales	2720 Dogwood	9/9/16	CP0-516	Garage & 2nd story addition to existing single story duplex (remove non-conforming wall and building new conforming wall. Addition to create a secondary dwelling unit which requires a CDP.	Under Initial Review				jg
14	Vo	648 Bernardo	9/8/16	UP0-457	Conditional Use Permit for non-conforming single family residence	Under initial review, waiting for Historical evaluation		PN- Conditionally approved per memo dated 10/3/16		rr
15	Bietz	857 Main Street	8/31/16	UP0-456	Minor Use Permit for outdoor garden patio	Under Initial review. Waiting on comments				jg
16	Eisemann	396 Hill St.	8/29/16	CP0-515 and UP0-455	CDP/CUP for new duplex. Unit A: 1745sf living, 540sf garage. Unit B: 1517sf living, 552sf garage	Under initial review. Requires preliminary title report				jg
17	Streeter	1128 & 1138 Market	8/24/16	CP0-513 / UP0-452	Two new SFRs. Front SFR includes 1,345 sq. ft. of living area, a 434 sq. ft. garage, and 80 sq. ft. of decking. Rear SFR includes 1,373 sq. ft. of living area, a 473 sq. ft. garage, and 131 sq. ft. of decking.	Under Initial Review.		PN- Conditionally Approved per memo dated 9/15/16		wm
18	Castro	190 Mindoro	8/22/16	CP0-511	Coastal Development Permit for a new 888 sq. ft. Single Family Residence with a 234 sq. ft. garage, 120 sq. ft. porch, and 138 sq. t. patio.	Under Initial Review. Correction letter sent 9/23		PN- Conditionally Approved per memo dated 9/6/16		jg
19	Baston	561 Embarcadero	7/11/16	UP0-448	Conditional use permit for Gray's Inn access improvements and piling repair	Incomplete letter sent 8-4-16. Received resubmittal 9/16/16		PN- Conditionally approved per memo dated 8/3/16		cj
20	Revamp	220 Atascadero	7/6/16	UP0-447	Use Permit to allow for a CrossFit training center to locate within the C-VS zoning District/ PD overlay	Under Initial Review. Waiting on comments. Correction letter sent 7/28/16. Working with owner and leasee for parking lot configuration. Site plan resubmitted 8/9/216. Needs fire sprinkler plan		PN-Conditionally approved per memo dated 7/26/16		jg

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21	Robson	110 Orcas	5/6/16	A00-034	Planning Permit modification of CP0-471 for installation of 4 ft culvert in drainage area, increase in deck from 84sf to 320sf, and realignment of garage door.	Project modification reviewed against prior Planning approvals and reviewed with Engineering staff. Site noticed for admin modification. Confirming lot lines and easement details. Director action delay on noticing due to research regarding rights of access to the easement. Amendment to remove proposed culvert - noticed 8/5/2016. Public Works has requested additional drainage flow information prior to issuance/approval of any permit modifications. Applicant resubmitted additional plan detail 9-2-16.		PN- Not approved per memo dated 9/14/16		cj
22	Van Buerden	945 Embarcadero	5/24/16	UP0-446	Conditional Use Permit for House of JuJu restaurant remodel, and City Park improvements	Incomplete letter sent 6-23-16 to Applicant and Applicant Representative. Cj.				cj
23	Elster	530 Morro	4/20/16	UP0-282 & CP0-323	New 2,978 sq. ft. SFR with 1,516 sq. ft. garage, 1,191 sq. ft. of decking, and a 560 s. ft. secondary dwelling unit.	Applicant has decided against the parcel map and development of three townhomes and now proposes to build one SFR and a secondary dwelling unit. Under initial review. Waiting on PW comments. Correction letter sent 5/18/16. Spoke with Applicant 8/4/2016 - resubmittal pending				jg
24	McNamara	2720 Dogwood	3/1/16	UP0-441	Garage and 2nd story addition to existing SFR	Under Initial Review. Waiting on comments. Project redesign to eliminate nonconformity. Waiting on resubmittal resubmittal rcv'd 9/9/16		PN- Conditionally approved per memo dated 3/31/16		jg
25	Borges / RPM Consulting	1998 Main Street	3/1/16	CP0-503	Coastal Dev. Permit for addition of 2nd story office/laundry room remodel to commercial building in Mobile Home Park	Waiting on full project submittal. (Applicant rcv'd HCD building permit and started construction before getting CDP). Rcv'd 3/17. Correction letter sent. Resubmittal rcv'd 6/6/16. Correction letter sent 6/27. Applicant and HCD argue that no CDP is required. Coastal Commission legal staff weighed in on 9/26/16 confirming that a CDP is req'd and MB has jurisdiction due to LCP		PN- Conditionally approved per memo dated 4/18/16		jg
26	Hair	1078 Monterey St	2/26/16	S00-126	Lot Line Adjustment/ Voluntary Lot Merger	Minor adjustment to reconcile historical lot line discrepancies. Received legal descriptions 5-10-16 and under review. Review complete and direction emailed to Applicant agent 8-1-16 for recordation steps of lot merger.				cj
27	Eisemann	535 Atascadero	10/12/15	CP0-490 & S00-125	Parcel map application & CDP to split 1 R-4 zoned lot in to two lots.	Incomplete letter sent 11-5-15. Received revised plans and communicated via email to applicant regarding plan corrections. Resubmittal under review. Correction letter sent 2/18/16 with Public Works comments. Received revised info from Applicant 3-3-16. Correction sent and resubmitted 4-8-16. Met w/ Architect to discuss intent to include development of 4-plex apartments. Resubmittal rcv'd 5/10. Correction letter sent 6/14/16. Spoke with architect 8/9/2016. Resubmittal rcv'd 8/17/2016		PN- Diapproved per Memo dated 6/14/16		jg
28	Elliott/ Bernal	2620 Laurel Ave	9/30/15	CP0-489	Admin CDP for new 2,461sf Single family home w/ 710 sf garage and 1495sf of balcony	JG. Under Initial Review. Correction letter sent 10/27. Spoke with Applicant and letter rcv'd 2/16- indicated desire to keep project open, updated plans to be submitted. Spoke with applicant 7/19/16, expects to resubmit plans in September		PN- Conditionally approved per memo dated 10/23/15		jg

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29	DeGarimore	1001 Front St.	7/14/15	A00-026 and UP0-442	Amendment to CUP to modify project description to remove proposed new awning.	Letter sent to applicant 9-9-15 regarding public access requirements. In process. Applicant wishes to include a kiosk for Virg's Landing with the awning amendment. Reviewed prelim site plan of kiosk and provided email comment corrections on 2/24/16. Met with Virg's Landing owner to discuss kiosk plan 2-29-16. TUP application submitted for kiosk proposal adjacent to parking lot on 4-19-16. Correction letter sent 5-12-16.				cj
30	Gambril	405 Atascadero Rd.	5/13/15	CP0-475 / UP0-417	New construction of 10,000sf commercial retail on vacant lot	WM. Under review. Will need Arch and Traffic reports. Incomplete letter sent 9/4/15.		PN-Plans Disapproved. Req. Stormwater determination form & plan update-8/24/15		wm
31	T-Mobile	1478 Quintana	1/30/15	UP0-403	Minor Use Permit to Modify existing wireless telecommunication site at church	JG - Under initial review. Correction letter sent 3/5/2015. JG. Partial resubmittal rcv'd via email 9/18		JW approved		jg
32	Leage	833 Embarcadero	9/15/14	UP0-389	Demolish existing building. Reconstruct new 1 story 19 foot building (retail/restaurant use) & outdoor improvements	Under review. Deemed incomplete. Letter sent 10-13-14. CJ Resubmittal received 2/17/15. Incomplete letter sent. Resubmittal received. Not compliant with view corridors requirements. Resubmitta received 1-20-16. Email corrections provided to Applicant on 2/10. Reviewed revised plans received from architect via email on 3/7/16.	BC- incomplete	RPS - Disapproved for plan corrections noted in memo of 10/14/14		cj
Planning Commission Continued projects:										
33	Rhine LP & Morro 94, LLC	3300 Panorama	2/24/16	CP0-500 & UP0-440	Coastal Development Permit & Conditional Use Permit for Demolition of 3 existing tanks, related pumps and concrete	Under review. Correction letter sent 5-10-16. Environmental review complete and to be routed 7-28-16 for required 30 day period. PC 9/6/16 hearing. Reviewed and PC continued hearing to 10/4/16.		PN- Conditionally approved per memo dated 7/26/16		wm

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34	Sonic	1840 Main St.	8/14/13	UPO-364 & CP0-404	Conditional Use Permit and Coastal Development Permit to develop Sonic restaurant.	Under initial review. Comment letter sent 9/10/13. CJ. Spoke w/ applicant 10/3 re: traffic study. CJ. Public Works & Fire comments received & forwarded 10/8/13 to applicant. Comments from Cal Trans received 10/31 and forwarded to Applicant. Applicant requested meeting w/ City staff & Cal Trans to review project requirements. Had project meeting-discussed traffic study requirements on 11-21-13. Requested fee estimate from environmental consultant for CEQA purposes. CJ. Resubmitted 5/27. Environmental Review in process. Correction letter based on environmental review sent 8-6-14. Resubmittal received 1-23-15 and correction sent 2-23-15. Resubmittal received 5/8/15. Reviewing initial study for pending route to State Clearinghouse. Stormwater Control Plan also being reviewed. Reviewing outstanding cultural resources concerns. Reviewed project with archaeologist 1-27-16. Archaeological consultation in progress. MND routed to State Clearinghouse. Comment letter received from APCD re MND. cj. Noticing error necessitates continuance from 5/3/16 to 5/17/16 PC hearing. Continued to date uncertain to allow submittal revisions. Still waiting for resubmittal as of 9-14-16.	Bldg -- Review complete, applicant to obtain building permit prior to construction.FD-Disapprove UPO 364/CPO 404 9/11/13.9/9/14 FD App TP. 2/10/15 FD Not App TP.	PN- Sonic has submitted Preliminary Stormwater Requirements. RPS: Initial conditions provide by memos of 9/10/13 and 10/14. Met with Caltrans on 10/17.			cj
35	Seashell Estates, LLC	361 Sea Shell Cove	1/26/15	CP0-459/ UPO-401	Coastal Development Permit/Conditional Use Permit for new SFR. Lot 4 of 1305 Teresa Subdivision	Reviewing CC&R Design Guidelines. Deemed complete 3-2-15. Anticipate 4/21 PC hearing. Project continued to a date uncertain. CJ.	2/23/15 FD Cond App TP	BCR has for review 2/3/15		cj	

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36	City of Morro Bay	End of Nutmeg	1/18/12	UP0-344	Environmental documents for Nutmeg Tanks. Permit number for tracking purposes only County issuing permit. Demo existing and replace with two larger reservoirs. City handling environmental review	KW--Environmental contracted out to SWCA estimated to be complete on 4/27/2012. SWCA submitted draft I.S. to City on May 1, 2012. MR-Reviewed MND and met with SWCA to make corrections. In contact with County Environmental Division for their review. MND received by SWCA on 10/7/12. MND out for public notice and 30 day review as of 11/19/12. 30 day review ends on 12/25/12. No comments received. Scheduled for 1/16/13 Planning Commission meeting and then to be referred back to SLO County. Planning Commission continued this item to address concerns regarding traffic generated from the removal of soil. In applicant's court, they are addressing issues brought up by neighbors during initial P.C. meeting. Project has been redesigned and will be going forward with concrete tanks. Modifications to the MND are in process. Neighborhood meeting conducted with Engineering on 9/27/2013. Revising project description and MND.	No review performed.	BCR- New design concept completed. Needs new MND for concrete tank, less truck trips. Neighborhood mtg held 9/27. Neighbors generally support new design that reduces truck trips by 80%. Concrete batch plant set up on site will further reduce impact. 5/5/14 - Cannon contract signed to finish permit phase. Construction will be delayed to FY15/16		wm
37	AT&T	590 Morro Street	4/10/15	UP0-411 & CP0-465	Conditional Use Permit & Coastal Development permit to modify 2006 Planning permit approval for unmanned cell site	WM.Was tentatively scheduled for 3-1-16 PC hearing. Awaiting additional info from applicant. Tentatively scheduled for 5-17-16 hearing. Applicant requested continuance. PC continued review with direction on June 21, 2016.				wm
Projects Appealed or Forwarded to City Council:										

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38	City of Morro Bay	Citywide	6/19/13	A00-015	Sign Ordinance Update. Text Amendment Modifying Section 17.68 "Signs"	Text Amendment Modifying Section 17.68 "Signs". Planning Commission placed the ordinance on hold pending additional work on definitions and temporary signs. 5/17/2010. PC made recommendations and forwarded to Council. Item heard at 5/24/11 City Council Meeting. Interim Urgency Ordinance approved to allow projecting signs. A report brought to PC on 2/7/2011. Workshops scheduled 9/29/11 & 10/6/11. Workshop results going to City Council 12/13/11. Continued to 1/10/12 CC meeting. Staff Report to PC. Project went to 5/2/2012. Update due to City Council in June 2013. Draft Sign Ordinance reviewed by PC on 6/19/13. Continued to 7/3/13 PC meeting for further review. PC has reviewed Downtown, Embarcadero, and Quintana Districts as well as the Tourist-Oriented Directional Sign Plan. 8/21/13. Final Draft of Sign Ordinance approved at 9/4/13 PC meeting with recommendation to forward to City Council. Council directed staff to do further research with local businesses. First workshop held 11/14 with approx. 12 Quintana area businesses. Downtown workshop held March 2014, North Main business workshop held 4/28/14 and Embarcadero business workshop held 5/19/14. Result of sign workshops discussed at 11-3-15 PC mtg.	No review performed.	N/R		sg
Environmental Review										
39	City of Morro Bay	N/A		UP0-423	MND for Chorro Creek Stream Gauges	Applicant requesting meeting for week of 9/9/13. SWCA performing the environmental review. Received completed MND from Water Systems Consulting (WSC) on 4/1/15. Routed to State Clearinghouse for required 30 day review period. Tentative hearing 8/4/15.	No review performed.	MND complete. Cut permit checks to RWOCB and CDFW on 2/27/15		cj
Final Map Under Review Projects:										
40	Tract 2818	2400 Main St / Morro Mist	6/13/16	Map	Final Map - Tract 2818 / 23 lot subdivision and 1 common lot	Initial submittal for final map processing received 6-13-16. Correction letter sent 7-6-16. Draft CC&Rs received.				cj
41	Tract 2670	1899 -1911 Sunset	11/17/15	Map	Final Map. - Tract 2670 6 lot subdivision and 1 common lot	Under review. Correction letter sent on 12-17-15. Met with Applicant on 3-8-16 to review outstanding items. Received revised CC&R's 3-8-16 for review. CC&R documents reviewed and determined deficient - corrections sent 4-21-16. Met with Applicant to review final corrections 7-13-16. Revised grading/retaining wall plans to be resubmitted. Draft CC&Rs under review by City Attorney. Attorney's review forwarded to Applicant on 7/28/16. CC&Rs under review for consistency with Council conditions of approval.				cj

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
42	Medina	3390 Main	10/7/11	Map	Final Map. Issues with ESH restoration. Applicant placed processing of final map on hold by proposing an amendment to the approved tentative map and coastal development permit. Applicant proposed administrative amendment. Elevated to PC, approved 1/4/12. Appealed, scheduled for 2/14/12 CC Meeting. Appeal upheld by City Council, and project with denied 2/14/12. map check returning for corrections on 3/9/12	SD--Meeting with applicant regarding ESH Area and Biological Study. MR- Received letters from biologist regarding revegetation on 9/2/12. Letter sent to biologist. Recent Submittal reviewed and memo sent to PW regarding deficiencies. Initial review shows resubmitted map does not meet the 50 foot ESH buffer setback requirement. Creek restoration required per Planning condition #4 prior to recordation of the final map. Unresolved Planning conditions. Sent correction letter to Engineering 4-14-16. Received request for extension of permit as allowed by code. One year extension of permits granted extending map to 7/19/2017.	No review performed.	DH - resubmitted map and Biological study on Dec 19th 2012. PW has completed their review. Received a letter from Medina's lawyer and preparing response. PW comments sent to RS to be included with his response letter. RS said to process map for CC. Letter being prepared to send to applicant to submit mylars for CC meeting.		sg/cj
Projects requiring coordination with another jurisdiction:										
43	City of Morro Bay	Outfall			Original jurisdiction CDP for the outfall and for the associated wells	Coastal staff is working with staff. Coastal letter received 4/29/2013. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	City provided response to CCC on 7/12/13. Per Qtrly Conference Call CCC will take 30days to respond		
44	City of Morro Bay Desal Plant	170 Atascadero			Project requires a Coastal Development Permit for upgrades at the Plant. Final action taken Sent to CCC but pursuant to their request the City has rescinded the action.	Waiting for outcome from the CDP application for the outfall. Discussed project with Coastal staff in meeting 11-18-14.	No review performed.	BCR- Phase 1 Maint and Repair project is underway. Desal plant start-up scheduled for 10/15/13. Phase 1 complete and finalized. Phase 2 on hold as of		
Projects going forward to Coastal Commission for review (Pending LCP Amendments) / State Department of Housing:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
45	City of Morro Bay	Citywide	10/16/13	A00-013. A00-029: Ordinance 601	Zoning Text Amendment - Second Unit	Secondary Unit Ordinance Amendment. Ordinance 576 passed by City Council in 2012. 6-11-13 City Council direction to staff to bring back to Planning Commission for review of ordinance. At 10-16-13 PC meeting, Commission recommended changes to maximum unit size and tandem parking design where units over 900 sf and/or tandem parking design of second unit triggers a CUP process. Council accepted PC recommendation at 2-11-14 meeting and directed staff to bring back revised ordinance for a first reading and introduction. Item continued to 4/22/14 Council meeting to allow time for Coastal staff comment regarding proposed changes. Council approved Into and First Reading on 4/22/14. Final Adoption of Ord. 585 at 5/13/14 Council meeting. Ordinance to be sent as an LCP Amendment for certification by Coastal Commission. New language for PC and Council review. Second reading going to council on April 12, 2016. PC reviewed change 5-3-16. CC second First Reading 6-28-16.. Application submitted to Coastal Commission August 2016.	No review performed.			
46	City of Morro Bay	Citywide	2/1/13	Ordinance 556	Wireless Amendment - LCP Amendment CHAPTER 17.27 Amendment for "Antennas and Wireless Telecommunications Facilities" AND MODIFYING CHAPTER 17.12 TO INCORPORATE NEW DEFINITIONS, 17.24 to MODIFY primary district matrices to incorporate the text changes , 17.30 to eliminate section 17.30.030.F "antennas", 17.48 modify to eliminate section 17.48.340 "Satellite dish antennas".	Application for Wireless Amendment submitted to Coastal Commission 9-11-13. Received comments back from CCC 11-27-13, working on addressing issues. Amendments withdrawn from Coastal Commission as they are no longer consistent with state law. Item has been included in the FY 16/17 goals and objectives.	No review performed.	N/A		wm
Projects Continued Indefinitely, No Response to Date on Incomplete Letter or inactive:										sg

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
47	Maritime Museum Association (Larry Newland)	Embarcadero	11/21/05	UP0-092 & CP0-139	Embarcadero-Maritime Museum (Larry Newland). Submitted 11/21/05. Resubmitted 10/5/06, tentative CC for landowner consent 1/22/07 Landowner consent granted. Resubmitted 5/25/07. Resubmitted additional material on 9/30/09. Applicant working with City Staff regarding lease for subject site. Applicants enter into agreement with City Council on project. Applicant to provide revised site plan. Staff processing a "Summary Vacation (abandonment)" for a portion of Surf Street. Staff waiting on applicant's resubmittal. Meeting held with applicant 2/23/2011. Staff met with applicant 1/27/11 and reviewed new drawings, left meeting with applicant indicating they would be resubmitting new plans based on our discussions.	KW--Incomplete 12/15/05. Incomplete 3/7/07. Incomplete Letter sent 6/27/07. Met to discuss status 10/4/07 Incomplete 2/4/08. Met with applicants on 3/3/09 regarding inc. later. Met with applicants on 2/19/2010. Environmental documents being prepared. Meeting held with city staff and applicants on 2/3/2011. Sent Intent to Deem Withdrawn letter 9-2-14. JG.	Please route project to Building upon resubmittal.	An abandonment of Front street necessary. To be scheduled for CC mtg.		
Grants										
48	California Coastal Commission, California Ocean Protection Council	City-wide	4/6/16		\$400,000 Grant Opportunity for funding for LCP update to address sea-level rise and climate change impacts.	Grant agreements for both the grants are in place and grant administration has been turned over to Michael Baker International, per terms of the GP/LCP update contract.	No review performed.	N/A		sg
49	City of Morro Bay	City-wide			Community Development Block Grant/HOME Program - Urban County Consortium	Staff has ongoing responsibilities for contract management. 2012 contracts in progress. 2013 contracts in progress. City Council approval 6/10/14 for City participation in Urban County consortium for Fiscal Years 2015-2017. Needs Assessment Workshop scheduled for 9/11/14 in tandem with Cities of Atascadero and Paso Robles at Atascadero City Hall 5pm. Draft 2015 CDBG funding recommendation approved by Council 12/9/14. 2016 Program year applications due 10/23/15. Final 2016 funding recommendations reviewed by Council on 3-8-16. Additional reallocation of County CDBG funds for Morro Bay approved by Board of Supervisors at 7/12/16 hearing.	No review performed.	N/R		cj
50	City of Morro Bay	City-wide			Climate Action Plan - Implementation	Staff has ongoing responsibilities for implementation of Climate Action Plan as adopted by City Council January 2014. Staff coordinating activities with other Cities and County of SLO via APCD.				cj
Projects in Building Plan Check:										

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
1	Frank	2900 Alder	4/4/16	B-30941	New Duplex	Approved by jg. 5/31/16	Approved by cdl on 6-3-16.	PN- Approved 6/27/16		
2	Regan	3030 Beachcomber	8/25/16	B-31160	469sf addition of attached guesthouse with bathroom to existing SFR			PN- Not Approved per memo 9/1/16		
3	Trenbeth	3074 Beachcomber	9/29/16	B-31203	Addendum to B-30896 reducing addition from 316sf to 182sf			PN- Approved 9/30/16		
4	LaPlante	3093 Beachcomber	10/27/11	B-29586	New SFR: 3,495sf w/ 500 sf garage on vacant land. No activity on this project. Remains in plan check.	SD--Incomplete Letter 12/12/11. Phase 1 Arch Report required and Environmental Document. Incomplete letter sent 2/2012. Building Permit on hold until Planning process complete. CJ.	BC- Application on hold during planning process	DH- Provide SW mgmt, drainage rpt, EC per memo of		
5	Vo	648 Bernardo	8/2/16	B-31129	348sf Addition to existing SFR			PN- Disapproved per memo 8/24/16		
6	Schmall	2752 & 2754 Birch	9/8/16	B-31166	Unknown sf repair of fire damage to existing duplex			PN- Disapproved per memo 9/30/16		
7	Williams	2930 Cedar	8/3/16	B-31130	327sf Addition to existing SFR			PN- Disapproved per memo 8/24/16		
8	Nisbet	1230 Clarabelle	1/11/16	B-30935	New SFR with 1,853sf living, 563sf garage & 198sf decking		Cond. Approval 4/15/16cdl Approved 4/28/16	PN- Approved 6/27/16		
9	Gonzales	2720 Dogwood	9/6/16	B-31177	Addition of 2nd story, garage and covered patio to existing SFR			PN- Not Approved per memo dated 9/7/16		
10	People's Self Help	456 Elena	8/16/16	B-31142	Addendum to B-30746			PN- Approved 8/24/16		
11	Scott	501 Embarcadero	9/2/16	B-31173	Repair pilings on wharf			PN- Conditionally Approved 9/22/16		
12	Held	905 Embarcadero	9/29/15	B-30826	Phase 2- Update tenant space and bathrooms			PN- Approved 9/1/16		
13	Leage	1205 Embarcadero	4/24/16	B-30651	686sf second story addition. Remains in Plan check status.	Correction letter sent. Not compliant w/ Planning conditions. CJ	Plans Denied 09-24-2015 cdk	PN- Approved 8/4/16		
14	PG&E	1290 Embarcadero	10/2/13	G-040	Soil Removal. Remains in plan check status.	CJ- Monitoring Well location partially in Coastal original jurisdiction. Coastal Commission processing consolidated permit. Waiver granted by Coastal 9-14-1491-W	BC- on hold pending planning process. Plans have been denied.	PN- Approved per memo dated 9/14/16		
15	Appleby	381 Fresno	7/31/14	B-30227	Carport & Storage Shed. Remians in plan check status.	Correction sent 8-7-14. WM. Will require a CUP prior to building. JG. Corrections sent 2/23 JG	Building approved 08-04-15 cdl	RPS - No PW comments if street access is not required for storage bldg		
16	Decker	430 Fresno	5/21/15	B-30491	Convert existing laundry room into bathroom. Remains in plan check status.	Approved. SG 6/15/15	Plans approved. 7/2/15 cdl	PN		
17	Ingraffia & May	636 Fresno	5/12/16	B-30993	826sf Addition of existing SFR & interior remodel	Approved. JG. 5-14-16	Denied 5/13/16 cdl	PN- Approved 8/11/16		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
18	DeCock	1001 Front	6/2/16	B-31017	Installation of Temp Kiosk (Virg's)	Approved CJ. 6-14-16	Approved by cdl 6/7/16	PN- Approved 6/7/16		
19	Whitaker	1170 Front	3/10/16	B-30885	New 6 unit hotel		Denied by cdl on 6-17-16.	PN- Disapproved 6/30/16		
20	Hurless	2265 Hemlock	5/11/15	B-30477	SFR Garage converted to 492sf apartment with new bedroom and bathroom. Remains in plan check status.	Disapproved 8-28-15. JG	Denied by cdl on 5/15/15	PN- Disapproved needs sewer lateral video-		
21	Birdsong	2931 Ironwood	9/6/16	B-31175	Addition of concrete stairs and trash enclosure at existing SFR			PN- Approved per memo dated 9/22/16		
22	Birdsong	2931 Ironwood	10/4/16	B-31207	300sf new deck at existing SFR			PN- Approved		
23	Gonzalez	481 Java	10/10/13	B-30029	SFR Addition/ Remodel: add 578 sf living and 112 sf decking. Remains in plan check Status.	WM. Expecting Admin Use Permit application for minor revision to approved design.	Plans approved 9-18-15 cdl	PN-Disapproved, needs swr video & plan corrections. 9/24/15		
24	Mazzacane	270 Kern	6/29/16	B31058	Demo & reconstruct new SFR			PN- Not Approved per memo 8/3/16		
25	McClory	434 Kern	4/18/16	B30962	Demo & reconstruct new SFR with 2,607sf living, 956sf garage & 336sf decking	Approved. WM. 5-26-16.	Denied by cdl on 5/26/16 Approved by cdl on 6/6/16	PN- Apprvoed 6/14/16		
26	Douglas	2587 Laurel	1/8/15	B-30352	Addendum to B-30074. Add 24 sq. ft., converting 1,020 sq. ft. to habitable space, add 120 sq. ft. porch, and 191 sq.ft. deck. Remains in plan check.	Under Review. JG. Denial	Plans Denied 10/16/15 cdl	PN 9/30/15 Approved as submitted. No memo		
27	PG&E	1245 Little Morro Creek	3/25/16	B-30925	Add 25K Generator to cell site/tower to satisfy Planning Commission conditions.	Approved. CJ. 4-5-16. Complies w/ PC approval.	Approved by cdl 3/30/16	PN- Approved 5/17/16		
28	Dyson	117 Main	8/15/14	B-30248	Covered Patio Remains in plan check Status.	Corrections. 9-5-14. WM.	BC-Returned for corrections 9/8/14.	NRR		
29	Meyer	257 Main	8/8/16	B-31021	Remodel of kitchen, master bedroom, master bathroom, add bedroom and add wet bar			PN- Disapproved per memo dated 8/11/16		
30		261 Main	10/4/16	B-31191	Repairing 10 wood piles with sleeves			PN- Approved		
31	Hough	289 Main	7/25/16	B-31115	New SFR with 3,340 (includes 503sf basement), 520sf garage, 350sf raised deck & 235sf.			PN- Disapproved per memo dated 8/24/16		
32	Morro Mist LLC	2402-2446 Main	7/5/16	B-31067 through B-31089	Building permit applications for 23 new townhomes in 6 detached building clusters to include 15 one-bedroom units and 8 three-bedroom units. 23 separate permit applications	Disapproved. Corrections sent 8-3-16. cj.				
33	Costa	219 Marina	12/28/16	B-30835	Addition to existing 2-story SFR. Relocate garage & add deck with roof	Approved. WM. 5-17-16	Approved by cdl on 3/30/16	PN- Disapproved 5/18/16		
34	Meisterlin	315 Morro Bay Blvd.	9/12/14	B30275	Commercial Alteration-Handicap restroom. Remains in plan check Status.	Approved 9/25/14. CJ.	Plansw approved 9-30-2014 bc	RPS returned for corrections per memo		
35	Crafton	430 Olive	3/4/16	B30898	409sf 2ns story addition to existitng SFR with bedroom & living room expansion & bathroom	Approved. JG. 3-7-16	Approved by cdl on 3/15/16	PN- Disapproved 4/28/16		

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
36	Moore	379 Orton	3/30/16	B30936	New Manufactured home with 1,496sf living & 469sf garage	Approved. WM. 4-26-16	Denied by cdl on 4/15/16 Approved by cdl on 5/16/16	PN- Disapproved per memo dated 5/19/16		
37	James	326 Panay	4/18/16	B30959	New SFR with 1,465sf living, 467sf garage & 176 sf deck.	Disapproved. WM. 4-26-16. Corrections requested.	Denied by cdl on 5/4/16 Approved by cdl on 6/20/16	PN- Disapproved per memo dated 6/28/16		
38	Bunker	491 Panay	12/8/15	B30777	203sf interior remodel to existing 1144sf two story SFR. Remains in plan check Status.	Approved. JG. 12-10-15.	Approved by cdl on 12/17/15	PN- Approved 12/16/15		
39	Dennis	290 Piney	2/13/15	B-30382	New SFR. Remains in plan check Status.	Under review 2/26 JG. Waiting for conditions of approval to be included in plan set. 3/5 JG Approved 3/17 JG	Approved by cdl on 4/17/15	ME approved 4/16/2015		
40	Volk	800 Quintana	4/25/16	B-30811	Unmanned cell site including locating an antenna on and radios on roof, equipment at grade level.	Disapproved. CJ. 5-16-16. Does not meet conditions of approval. Requested resubmittal.	Approved by cdl on 5/11/16	PN- Approved 5/13/16		
41	Frye	244 Shasta	5/2/13	B-29910	Garage to Second Unit conversion. Remains in plan check Status.	KM - Needs to comply with or amend existing CDP. 2006 Planning permit modified to allow non-conforming structure. No activity since 2014 on this building permit.	BC- on hold pending planning process.	BCR-approved 5/13/13		
42	Dolezal	1885 Sunset	11/30/15	B-30758	Lot 6: New SFR with 1140sf and 480 garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
43	Dolezal	1889 Sunset	11/30/15	B-30757	Lot 5: New SFR with 1140sf with 480 garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
44	Dolezal	1893 Sunset	11/30/15	B-30756	Lot 4: New SFR with 1140sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
45	Dolezal	1897 Sunset	11/30/15	B-30753	Lot 1: New SFR with 1140sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
46	Dolezal	1901 Sunset	11/30/15	B-30754	Lot 2: New SFR with 1541sf living and 483sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
47	Dolezal	1905 Sunset	11/30/15	B-30755	Lot 3: New SFR with 1457sf living and 480sf garage. Remains in plan check Status.	Disapproved 7-6-16. Plans not consistent with pending final map. Corrections needed. CJ.	Approved by cdl on 5/6/16	PN- Approved 7/14/16		
47	Skrah	335 Surf	4/29/16	B-30977	New freestanding Garage & workshop including 1/2 bath	Approved. WM. 6-1-16	Denied by cdl on 6/6/16	PN-Diapproved 6/14/16		
48		340 Tulare		B-31046	2nd floor 650sf Addition & 75sf garage addition			PN- Disapproved per memo dated 8/3/16		

Planning Projects & Permits with Final Action:

#	Applicant/ Property Owner	Project Address	Date	Permit Numbers	Project Description/Status	Planning Comments and Notations	Building/Fire Comments and Notations	Engineering Comments and Notations	Harbor/Admin Comments and Notations	Project Planner
7	LaPlante	3093 Beachcomber	11/3/11	CP0-365	Coastal Development Permit for New SFR in appeals jurisdiction. Proposed SFR of 3,495sf w/ 500 sf garage on vacant land.	SD-- Incomplete Letter 12/12/11. Letter sent 4/11/2012 requesting environmental study. MR-Met with Applicant CEQA information requested to complete MND. Project referred to env. consultant and Coastal. MND in process. Applicant revising bio report and snail study. Snail study complete and sent to CDFW for concurrence. Bluff determination & snowy plover report submitted 8-14-14. CJ. MND complete. Anticipate routing to State Clearinghouse on 9/18/14. Coastal Commission comment letter received 10-20-14. Applicant working to address comments. Discussed project with Coastal staff in meeting 11-18-14 and met with applicant 12/4/14 and 1/20/15. Received plans revisions and sent request for Coastal concurrence 9-2-15. Continued to a date uncertain to redraw ESH buffer setback. Discussed project's updated biological evaluation with Coastal staff on 5-11-16. Received revised site plan to meet ESH buffer on 7/9/16. PC hearing scheduled for 9/6/16. Continued to 9/20/16 PC hearing. Approved	Review complete, applicant to obtain building permit prior to construction.	No review since conditional approval of 11/20/12	Conditionally approved, per memo 9/22/15	cj
2	Page	2657 Greenwood	8/25/16	UP0-453	Conditional Use Permit for an 1,100 sq. ft. second story addition to an existing 1,100 sq. ft. SFR	Under Initial Review. PC on 10/4/16. Permit issued 10/4/2016		PN- Conditionally Approved per memo dated 9/22/16		jg

AGENDA ITEM: A-2

DATE: OCTOBER 18, 2016

ACTION: DRAFT

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING – SEPTEMBER 6, 2016
VETERANS MEMORIAL BUILDING – 6:00 PM

PRESENT:	Robert Tefft Michael Lucas Richard Sadowski Joe Ingrassia	Chairperson Commissioner Commissioner Commissioner
ABSENT:	Gerald Luhr	Vice-Chairperson
STAFF:	Scot Graham Cindy Jacinth Whitney McIlvaine	Community Development Director Associate Planner Contract Planner

ESTABLISH QUORUM AND CALL TO ORDER
MOMENT OF SILENCE / PLEDGE OF ALLEGIANCE
PLANNING COMMISSIONER ANNOUNCEMENTS
<https://youtu.be/jSmhRVLeE38?t=2m5s>

Commissioner Sadowski announced there will be a skate camp on September 17th at the Los Osos Skate Park.

PUBLIC COMMENT PERIOD - NONE

PRESENTATIONS – NONE

A. CONSENT CALENDAR
<https://youtu.be/jSmhRVLeE38?t=3m16s>

A-1 Current and Advanced Planning Processing List
Staff Recommendation: Receive and file.

Commissioner Lucas had a question for staff regarding item 19 on the Current and Advanced Planning Processing List.

Staff responded to Commissioner Lucas' question.

A-2 Approval of minutes from the Planning Commission meeting of August 2, 2016.
Staff Recommendation: Approve minutes as submitted.

MOTION: Commissioner Lucas moved to approve the Consent Calendar. Commissioner Sadowski seconded and the motion passed unanimously (4-0).
<https://youtu.be/jSmhRVLeE38?t=4m39s>

B. PUBLIC HEARINGS

Public testimony given for Public Hearing items will adhere to the rules noted above under the Public Comment Period. In addition, speak about the proposal and not about individuals, focusing testimony on the important parts of the proposal; not repeating points made by others.

B-1 Case No.: #CP0-365 (*Request for Continuance to the 9/20/16 meeting*)

Site Location: 3093 Beachcomber, Morro Bay, CA

Project Description: Request for Coastal Development Permit approval and Mitigated Negative Declaration (MND) for new construction of a single-story 3,038 single family home with 482 square foot 2-car garage, 38sf deck along with a 52sf entry patio and 54sf casita patio on a vacant lot in the R-1/S.2A residential zoning district that sits adjacent to environmentally sensitive habitat (ESH). The project is located within the Coastal Commission Appeals Jurisdiction.

CEQA Determination: Mitigated Negative Declaration, (SCH#2014091051)

Staff Recommendation: Continue hearing to the 9/20/16 meeting.

Staff Contact: Cindy Jacinth, Associate Planner, (805) 772-6577

<https://youtu.be/jSmhRVLeE38?t=5m7s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Graham requested the item be continued to the September 20th Planning Commission meeting.

Chairperson Tefft opened the Public Comment period, and seeing none closed the Public Comment period.

<https://youtu.be/jSmhRVLeE38?t=6m11s>

MOTION: Commissioner Ingraffia moved to continue item CP0-365 to the September 20th Planning Commission meeting. Commissioner Sadowski seconded and the motion passed unanimously (4-0).

<https://youtu.be/jSmhRVLeE38?t=6m47s>

B-2 Case No.: CP0-500, UP0-440

Site Location: 3300 Panorama Drive, Morro Bay, CA

Project Description: The applicant proposes to demolish and remove two large holding tanks (approximately 4,350,000 gallons each) once used by the United States Navy to store jet fuel, one approximately 131,600-gallon water tank, all piping attached to the tanks, pumps and both exposed and underground piping. The applicant proposes two staging areas on site for equipment, waiting trucks, and temporary debris storage. The project is anticipated to require some level of disturbance over approximately 8 acres and is expected to require 1.5 to 2 months to complete. The project site is located in a Single Family Residential (R-1) zone with a Planned Development (PD) Overlay. The site contains areas of environmentally

sensitive habitat and is partially located in the Coastal Commission appeals jurisdiction.

CEQA Determination: The Community Development Director determined the project qualifies for a Mitigated Negative Declaration of Environmental Impact (MND). Mitigation is recommended to reduce potential environmental impacts to a less than significant level. Copies of the MND are available for review at the Community Development Department, 955 Shasta Avenue in Morro Bay and on the City's website at the following link:

<http://www.morrobay-ca.us/DocumentCenter/View/9845>.

Staff Recommendation: Adopt the Mitigated Negative Declaration and approve the demolition project subject to compliance with recommended conditions and mitigation measures.

Staff Contact: Whitney McIlvaine, Contract Planner, (805) 772-6211

<https://youtu.be/jSmhRVLeE38?t=7m26s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS – NONE

McIlvaine presented the staff report.

Discussion between Commissioners and staff.

Chairperson Tefft opened the Public Comment period for the applicant.

<https://youtu.be/jSmhRVLeE38?t=32m4s>

Chris Mathys, applicant's agent thanked staff for helping with the process. Mathys presented his report and stated he was there to answer any questions.

Commissioner Sadowski asked Mathys if the tanks have lead based paint on them.

Mathys responded there would be minimal torching of tanks and there would be an onsite monitor.

Oliver Riese Bedford Enterprise, stated a lead based plan will be submitted to the Health Department. Riese doesn't anticipate there would be a lot of torch cutting, the paint will be removed before torching.

Rob Solley managing member of the CVI group to remove the jet fuel tanks. Solley, stated he went door to door and spoke to the families to get their thoughts about the fuel tanks being removed. Solley received many support from the neighbors and would like the support from the Commissioners. Solley stated he would like to provide a petition from the neighbors for the support of the project.

Chairperson Tefft closed the Public Comment period for the applicant and opened the Public Comment period for the public.

<https://youtu.be/jSmhRVLeE38?t=44m20s>

Betty Winholtz, Morro Bay resident, stated trucks are supposed to idle for only 5 minutes. Winholtz asked if the trucks would be idling simultaneously or one after another.

Winholtz stated questions to the Commission:

- Who will repair the roads that the trucks are going to destroy?
- Could there be a maximum trucks per day?
- If there are any damages to homes from the vibration of the trucks, how will this be handled?
- Could the water tank be preserved for any future projects on the site? And is there a working well attached.
- Why is there lighting proposed? Could the lighting be projected away from the homes?
- How often will City staff make trips to the site to see if the mitigated measures are being followed? Or will City staff depend on the neighbors to notify them.
- Would like clarification if there will be a third party who will develop the site or will the owner develop the site.
- Would like to know if the goats were allowed in the ESHA.

Winholtz stated items of concerns:

- The language for drainage should be referred to as a stream or creek.
- Neighbors along the truck route should be notified of the start and the estimated end date of the project.
- The project should not be started in the nesting season.
- Would like for the whole stream to be buffered and not just the southern end.
- If the San Jacinto intersection is used, the trucks should avoid traffic times for the middle school.

Terry Wahler, 465 Sicily St noticed the on-site staging area for equipment and employee parking was not yet well defined in the project description and was not comfortable postponing this information per recommended mitigation. He wanted to know why they are waiting until later to figure this out.

Wahler asked if the vegetation plan has been prepared or already completed. Wahler asked if any of the soil was anticipated to be contaminated and would it be taken off site or would it remain on site.

Wahler would also like to condition the project so there would be alternative use of Tahiti, Vashon, Sicily and Trinidad for vehicle traffic.

Robert Walker, 523 Whidbey St., stated he received the Notice of Hearing last week, but feels this is not enough time. Walker also noted it was difficult to find the project on the City's website.

Waller stated given the need for water conservation, he is concerned about water which will be used for dust control. Walker feels good about the amount of things being considered but as a resident, he feels he has been left out of the process. Walker wanted to know if things are not going right, who would be the person to contact.

McIlvaine notified the Commissioners that Mr. Walker's letter was submitted as Exhibit D in the staff report.

Judy Thompson, 496 Tahiti St., stated it was also very difficult for her to find the project on the City's website. Thompson is concerned because she lives across the street and has a one year old child. Thompson is concerned about the chemicals which are going to be used and has heard there was asbestos on site.

Thompson thanked the City for sending out the notice.

Steven Torada (sp?), 3339 Panorama, thanked the owners for being available. Torada noticed the goats were causing damage to the creek and said they were a nuisance to the neighborhood. Torada suggested the goat herd be removed.

Richard Barnes, 511 Whidbey St., stated he would like to see video timelines of the project and would like for it to be accessible on the City's website.

Carol Walker, 523 Whidbey St., stated she noticed the tanks were free of hazardous materials since 1994. Walker would like to know who determines these findings and if any research was done to determine there are none on site. Walker would also like to know who would be the contact if there are any hazardous material found.

Walker commented she and her neighbors were never approached by the representative regarding the petition or asked what their concerns were.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/jSmhRVLeE38?t=1h28m56s>

Discussion between Commissioners and staff.

McIlvaine answered technical questions from the Public.

Commissioner Lucas requested Riese to answer questions regarding lead paint mitigation.
<https://youtu.be/jSmhRVLeE38?t=1h16m12s>

Riese covered the process of removal of lead base paint and how it would be contained. Riese also addressed the traffic and weight of the trucks. Riese commented the vibration of the trucks shouldn't be an issue because the trucks would be traveling at a speed of 15-20 mph.

Riese also responded there was no asbestos found on the site. Riese noted if any hazardous material was found on the site, work would cease and the material would be contained.

McIlvaine addressed the issue with the goats and noted project demolition is subject to monitoring.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/jSmhRVLeE38?t=1h28m49s>

Chairperson Tefft opened the Public Comment period to answer Commissioner Sadowski's question regarding disposal of site materials.

<https://youtu.be/jSmhRVLeE38?t=1h45m38s>

Riese, stated the metal will be recycled at Bedford's facility in Santa Maria, and hazardous materials would be transported by Pacific Petroleum to a large waste facility in Kettleman City or another facility.

Mathys suggested the Commission could add a condition stating any work be placed on hold until any type of lawsuit or claims be settled.

Dana Morgan, 490 Whidbey St., wanted to know about the metal shavings becoming airborne when the metal is cut. Morgan is also concerned about the gas line connection being broken and wanted to know if there would be an emergency fund for emergencies.

McIlvaine responded to the concerns regarding utilities. McIlvaine stated the Fire Department is aware of any potential utility issues. McIlvaine noted there is a condition stating all utility lines be stubbed off prior to demolition.

Anna Pavorsky, 515 Yerba Buena St., asked why an Environmental Impact Report was not done.

McIlvaine explained the California Environmental Quality Act requires an initial study which addresses a number of areas of potential concern; all of those were addressed in the Mitigated Negative Declaration and it was determined any potential concerns could be mitigated to a less than significant level. McIlvaine noted all mitigation measures are now part of this project description and was agreed to by the applicant.

Leslie Zidroy (sp?), 497 Trinidad St., asked if the applicant will be taking away the tanks to rebuild more homes. Zidroy noted the Central Coast already has no water and said the homes would impact the quiet neighborhood.

Richard Miller 591 Zanzibar St., feels because there are so many entities involved with the project, he's worried if there's an issue it would be passed around and not handled properly.

Thompson also stated her concern regarding the vibration from trucks damaging her home. She doesn't feel they should compare the trucks on the project to the garbage trucks because the garbage trucks come only once a week. Thompson understands there would be at least six trucks daily.

Thompson was also concerned if the project was halted, would this lengthen the project time and leave the neighbors to deal with what's left of the project.

Terry Waller, 465 Sicily St., suggested to have a civil engineer do an assessment of the streets.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/jSmhRVLeE38?t=1h56m29s>

Discussion and comments between Commissioners and staff.

The Commissioners were in agreement to have the ESHA area fenced off.

McIlvaine noted the project could be conditioned to limit access for big trucks to the Yerba Buena intersection only.

McIlvaine suggested a possible change to Mitigation Measure BR-7, Replacement Trees; prior to final inspection, the applicant would plant five, fifteen gallon replacement trees on city properties in locations and in the manner specified by the City Engineer. Species shall be subject of approval of the City Engineer consistent with the City's Urban Management Plan.

McIlvaine noted if the Commission was taking action tonight, Mitigation Measure N1 regarding noise should be corrected to read 8 a.m. to 4 p.m.

Commission Sadowski suggested putting a package together of what was presented tonight. He feels it would be more comprehensive.

Chairperson Tefft opened the Public Comment period.
<https://youtu.be/jSmhRVLeE38?t=2h49m12s>

Riese spoke to the neighbors and stated he appreciated the concerns they had and stated he would be available for them.

Christen Headland, 498 Yerba Buena St., stated her concerns to the Commission.

- Would like an enclosure around the tanks; concerned airborne particles will harm her family or others in the area.
- Trucks should be covered to keep debris contained.
- Tree replacement should be on site and not on the south end of Morro Bay.

- Would like the neighborhood to be notified if there will be a housing development built in the area.
- The sewer should be viewed for any issues.
- Suggested a website be generated to post updates of the project.
- If there are any changes in the project plans, the neighborhood should be informed of the changes.
- Suggested the project proceed when it's not nesting season.

Graham notified Commission in order to gather information for all of the questions asked, he would like to continue on to the first meeting in October.

Chairperson Tefft closed the Public Comment period.

<https://youtu.be/jSmhRVLeE38?t=2h55m6s>

MOTION: Commissioner Lucas moved to continue CP0-500 to the first meeting in October. Commissioner Sadowski seconded and the motion passed unanimously (4-0).

<https://youtu.be/jSmhRVLeE38?t=2h56m22s>

B-3 Case No.: #UP0-394 and #CP0-512

Site Location: Corner of Main and Cabrillo Place, Morro Bay, CA

Project Description: Request for Coastal Development Permit and Conditional Use Permit approval for installation of an unmanned telecommunication wireless facility which consists of a cylindrical antenna on top of an existing 33.5 ft. utility pole and the installation of an equipment cabinet on the ground adjacent to the utility pole within the public right-of-way. The project is located outside of the Coastal Commission Appeal Jurisdiction.

CEQA Determination: Categorically Exempt, Section 15303, Class 3

Staff Recommendation: Conditionally Approve

Staff Contact: Joan Gargiulo, Assistant Planner, (805) 772-6270

<https://youtu.be/jSmhRVLeE38?t=2h58m20s>

COMMISSIONERS DISCLOSURE OF EX PARTE COMMUNICATIONS –
NONE

Gargiulo presented staff report.

Chairperson Tefft opened the Public Comment period.

<https://youtu.be/jSmhRVLeE38?t=3h4m59s>

Tricia Knight, representative for the applicant, stated the project is due to the low coverage in the area and should help out with emergency response. Knight also stated she would be available for any questions.

Joe Antonello, 790 Cabrillo Place, stated he was concerned about the safety on the street if the equipment is placed on the corner of Cabrillo and Main. Antonello noted there would be no visibility to the oncoming traffic. He would like the location to be changed to a less hazardous area.

Knight stated how the plans for the fencing was made, but noted a change could be made in order for it to work. Knight read the Planning condition of approval regarding having a 72 hour backup power and explained in order to have enough power for the 72 hour backup, there would have to be a bigger generator.

Knight requested the Commission consider a receptacle for the backup generator. Knight explained there's not enough space for a generator in the area so if backup is needed, one could be brought in and plugged into the receptacle.

The Commissioner presented their questions to Knight.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/jSmhRVLeE38?t=3h19m21s>

Discussion between the Commissioners, staff and Knight.

Chairperson Tefft opened the Public Comment period.
<https://youtu.be/jSmhRVLeE38?t=4h>

Antonello commented he lives two doors down from the project site and still has coverage in his home.

Knight stated a letter was received by the City's Fire Department which explains why coverage is needed in this area.

Chairperson Tefft closed the Public Comment period.
<https://youtu.be/jSmhRVLeE38?t=4h1m58s>

MOTION: Chairperson Tefft moved to continue item UP0-394 and CP0-512 to the November 1st meeting. Commissioner Lucas seconded and the motion passed unanimously (4-0).

<https://youtu.be/jSmhRVLeE38?t=4h3m36s>

- C. NEW BUSINESS- NONE
- D. UNFINISHED BUSINESS - NONE
- E. PLANNING COMMISSIONER COMMENTS - NONE
- F. COMMUNITY DEVELOPMENT DIRECTORDIRECTOR COMMENTS
<https://youtu.be/jSmhRVLeE38?t=4h4m54s>

ACTION MINUTES – MORRO BAY PLANNING COMMISSION
REGULAR MEETING –SEPTEMBER 6, 2016

Graham announced SLO County Citizens Planning Academy will be hosting an eight week class for anyone interested in the various facets of urban planning. Classes will start September 29th, 6 p.m. – 9 p.m.

G. ADJOURNMENT

The meeting adjourned at 10:09 p.m. to the regular Planning Commission meeting at the Veteran’s Memorial Building, 209 Surf Street, on September 20, 2016, at 6:00 p.m.

Robert Tefft, Chairperson

ATTEST:

Scot Graham, Secretary



AGENDA NO: B-1

MEETING DATE: October 18, 2016

Staff Report

TO: Planning Commissioners

DATE: October 18, 2016

FROM: Joan Gargiulo, Assistant Planner

SUBJECT: Conditional Use Permit (#UP0-451), Coastal Development Permit (#CP0-510), and Parking Exception (#AD0-108) Request to allow the development of an addition to an existing nonconforming residence and the construction of a garage in the R-2/PD/S.4 Residential Zoning District and within the Coastal Commission Appeals Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 22-16** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated August 17, 2016.

APPLICANTS:

Robert and Judy Salamacha

DESIGNER:

John Cloninger

LEGAL DESCRIPTION/APN:

066-132-018

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit, Coastal Development Permit, and Parking Exception approval for a 283 sq. ft. addition to an existing 955 sq. ft. nonconforming residence and the construction of a new

624 sq. ft. garage in the R-2/PD/S.4 Residential Zoning District. The site contains two standalone residential structures and a standalone single car garage. The Parking Exception request is to allow for three total covered and enclosed parking spaces where four covered and enclosed spaces is the requirement. The project is located within the Coastal Commission Appeals Jurisdiction.



Vicinity Map

Prepared By: JG

Department Review: _____

PROJECT SETTING:

The project is located in the Bayfront neighborhood in the City of Morro Bay, designated as Planning Area 6 in the Local Coastal Plan. The parcel at 190 Anchor is located on the corner of Morro Avenue, to the west of Main Street, north of Cerrito Peak, and south of Driftwood Street. The residence is located approximately 230 ft. east of the Embarcadero, on top of the bluff.

Adjacent Zoning/Land Use			
North:	R-2/PD/S.4	South:	R-2/PD/S.4
East:	R-2/PD/S.4	West:	R-2/PD/S.4

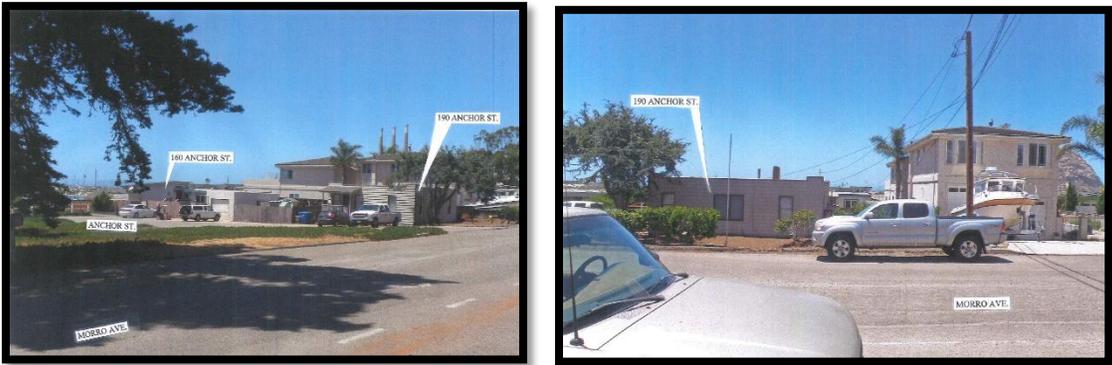
Site Characteristics	
Site Area	9,031 sq. ft.
Existing Use	Multi-Family Residential
Terrain	Virtually Level and Developed
Vegetation/Wildlife	None
Archaeological Resources	N/A
Access	Anchor Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Medium Density Residential
Base Zone District	R-2
Zoning Overlay District	PD
Special Treatment Area	S.4
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located Within the Coastal Appeal Jurisdiction

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing nonconforming single-family residence was originally built in 1938 and is located in a neighborhood consisting of both single and multi-family residential development with different architectural styles and sizes. This parcel includes two dwelling units as is consistent with the General Plan designation of Medium Density Residential and with the Duplex Residential (R-2) Zoning District. The project site is located within the Coastal Commission Appeal Jurisdiction.



Existing Site

Zoning Ordinance Standards			
	Standards	Existing	Proposed
Front Setback	20 feet	10'1"	10'1"
Front Setback of Addition	20 feet	n/a	20 feet
Interior Side Setback	5 feet	5 feet	5 feet
Building Separation	6 feet	32 feet	6 feet
Height	25 feet	12'7"	12'7"
Lot Coverage	Max. 50%	32%	42%
Parking	4 Car Garage	One-Car Garage	3 Car Garage

Project Evaluation

Current requirements of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”) pertaining to the front-yard setback and parking requirements render the existing structure nonconforming. However, additions to nonconforming structures may be permitted with

the approval of a Conditional Use Permit, subject to certain findings (Morro Bay Municipal Code Section (MBMC) 17.56.160).

Setbacks

The existing residence does not conform to the 20 ft. front-yard setback requirement (MBMC Section 17.24.050.) The existing front setback of 10'1" is therefore nonconforming. The proposed addition is in conformance with all setback and other development requirements of the MBMC.

Parking

As per Section 17.44.020 of the Zoning Ordinance, multi-family residential development requires a total of four covered and enclosed parking spaces. The applicant proposes to construct a new 624 sq. ft. two-car garage in association with the residential unit proposed for expansion. The addition of the two car garage brings the parking arrangement on site more into compliance with the parking requirements set forth in the above mentioned Section of the MBMC. The Applicant is applying for a Parking Exception to allow for the forth required parking space to be located within the adjacent unimproved public right-of-way (MBMC section 17.44.050). Exceptions to parking standards require the following findings to be made:

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use.

Multi-family dwelling units with one-or more bedrooms are required to provide two covered and enclosed parking spaces. Many dwellings within the City have one-car garages. There is adequate space within the adjacent unimproved public right-of-way to accommodate the parking impact generated by the use.

2. The exception will not adversely affect the health, safety, or general welfare of persons working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of the parking standard.

The parking exception will not result in traffic safety problems at this location due to the length of the dead-end portion of Anchor Avenue where the project proposal is located; sight distance is adequate for vehicles maneuvering into and out of the site.

3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.

The Applicant's parking proposal is reasonable given similar parking arrangements in the project vicinity and given the footprint and construction of the existing buildings on site.

Conditional Use Permit Requirement

The Zoning Ordinance, subsection 17.56.160A, requires approval of a conditional use permit for additions to any structure which is nonconforming with any provision of this title. The project proposes to add a 283 square-foot addition to a nonconforming structure. As noted above, the structure is nonconforming with regard to the front-yard setback and parking. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed addition is consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes an addition to single-family dwelling unit, which is an allowed use in the R-2/PD/S.4 zone. The surrounding neighborhood is developed with one and two-story single-family and multi-family development.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required front-yard setback.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on Saturday, October 8, 2016, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15303 Class 3. The exemption applies to new construction of a single-family residence in a residential

The exemption applies to new construction of a single-family residence in a residential zone and the project will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Medium Density land use designation and because the Zoning Ordinance allows exceptions to the parking standards (MBMC Section 17.44.050), and additions to nonconforming structures upon approval of a conditional use permit (MBMC section 17.56.160).

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-451 Coastal Development Permit #CP0-510 and Parking Exception ADO-108 for the proposed addition to a nonconforming structure for the project at 190 Anchor Street, as shown on plans dated August 17, 2016, by adopting Planning Commission **Resolution 22-16** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

- Exhibit A – Planning Commission Resolution 22-16
- Exhibit B – Plan Reductions
- Exhibit C – Existing Site Photographs

EXHIBIT A

RESOLUTION NO. PC 22-16

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING, COASTAL DEVELOPMENT PERMIT (CP0-510), CONDITIONAL USE PERMIT (UP0-451), AND PARKING EXCEPTION (AD0-108) TO ALLOW AN ADDITION TO A NONCONFORMING RESIDENTIAL STRUCTURE AND TANDEM PARKING AT 190 ANCHOR STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on October 18, 2016, for the purpose of considering Coastal Development Permit CP0-510, Conditional Use Permit UPO-451, and Parking Exception AD0-108 for a proposed addition to a nonconforming single-family residence and tandem parking at 190 Anchor Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt pursuant to Class 1, CEQA Guidelines Section 15301(e) for additions to existing structures with no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height, setbacks, and lot coverage.
3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a

- complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-2/PD/S.4 zone and the surrounding neighborhood is developed with one and two-story single-family and multi-family residences.
 5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet the required side-yard setback.

Parking Exception Findings

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative design to the parking design standards of this chapter will be adequate to accommodate all parking needs generated by the use.
2. The exception to allow tandem parking will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of the parking standard because the parking area will not conflict with existing traffic patterns in the right-of-way and driveway construction will be subject to Building Code requirements and the City's Engineering standards.
3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property, given the footprint and construction of the existing building on the residential lot.

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-510, Conditional Use Permit UPO-451, and Parking Exception AD0-108 for property located at 190 Anchor Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated October 18, 2016, for the project at 190 Anchor Street depicted on plans dated August 17, 2016, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval

- will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
 4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
 5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
 6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
 7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings: The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.
5. Fence Height: Pursuant to Section 17.48.100 of the Morro bay Municipal Code, the portion of the fence located along the southern property line within the required side-yard setback shall be no higher than 3 feet if solid or 4 feet if 50% or more open to the passage of light and air.
6. Parking Exception: The associated fee required for the parking exception application shall be paid in full before Building Permit issuance.

BUILDING CONDITION

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PUBLIC WORKS CONDITIONS

1. **Stormwater Management:** The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morrobay.ca.us/EZmanual. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit the "SFR Performance Requirement Determination Form".
2. **Frontage Improvements:** The installation of frontage improvements is required whenever the value of the proposed on-site improvements is greater than fifty percent of the value of the existing structure. (MBMC 14.44.030) If applicable, show the installation of a driveway approach (B-7 or B-8) and street tree. If permeable pavers are to be used, a modified driveway approach with a 12" wide PCC grade beam should be constructed to stabilize the front edge of the pavers. An encroachment permit is required for any work within the Right of Way.
3. **Encroachment Permits:** A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for the installation of the sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.
4. **Sewer Lateral:** If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral. If a new lateral is being proposed and old lateral exists, include a note on the plans to cap and abandon existing sewer lateral.
5. **Sewer Backwater Valve:** A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070). Indicate and label on plan.
6. **Erosion and Sediment Control Plan:** For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
7. **Water Meter:** Per Resolution No. 06-16, all new water allocations requested for 2016 shall be offset on a two-to-one basis (or 440 gallons per day) by providing retrofits to existing uses or providing non-required water savings features for

development that would benefit from water allocation. Submit a list of items and supporting documents (such as manufacturer's specifications, manufacturer's water calculations, WELO Water calculations, etc.) proving water savings amount. See attached "Water Allocation Form" and "Off-site Water Allocation Form". The Public Works Director is responsible for the review and approval of the proposed retrofits to ensure they offset the water supply requested by new development. Retrofits may include, but are not limited to, any of the following water savings best management practices:

- Irrigation retrofits
- Waterless urinals
- Waterless toilets
- Ultra-Low flow toilets
- Lawn/Landscape replacement
- Grey water system installation in new construction
- Installation of rainwater recovery system
- Other water savings best management practices as approved by the Public Works Director
- If retrofit is deemed to be infeasible by Public Works Director (whose decision is not appealable), then payment of an "In-Lieu" fee program of two times \$3,016 (\$6,032) per required Water Equivalency Units (WEU). Applicant must submit proof that retrofit is infeasible.

8. Special Encroachment Permit: Site plan (Sheet A-1.1) shows planter wall/concrete curb within the City Right-of-way. Any vertical concrete structure requires a Special Encroachment Permit. Please see attached Special Encroachment Permit instructions.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

FIRE CONDITIONS:

1. Fire Sprinklers. We highly recommend installation of an automatic fire sprinkler system, in accordance with California Fire Code (Section 903) and Nation Fire Protection Association (Standard 13-D).
2. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer’s instructions. (CRC R315.2)

Applicant shall provide Carbon Monoxide detection in accordance with CRC R315.2.

3. Fire Safety During Construction and Demolition shall be in accordance with 2013 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations

Applicant shall include above language on Building Plan submittal.

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 18th day of October, 2016 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 18th day of October, 2016.

EXHIBIT B

PROPOSED DETACHED GARAGE AND
ADDITION TO EXISTING RESIDENCE

AT:

190 ANCHOR ST.
MORRO BAY, CA.

REVISION	BY

**Drafting
Services
Limited**

1883 8th St.
Los Osos, Ca. 93402
(805) 528-6506

RESIDENTIAL • COMMERCIAL

PROJECT ADDRESS
190 ANCHOR ST.
MORRO BAY, CA.

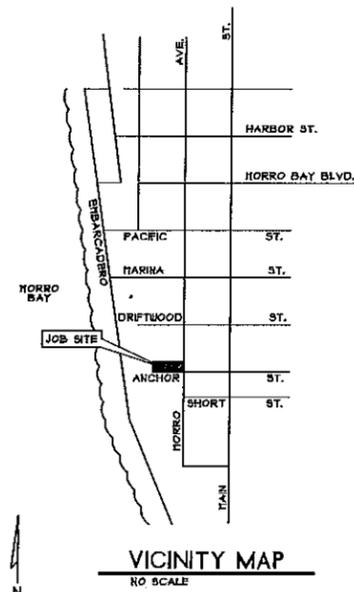
PROPOSED ADDITION AND GARAGE FOR:
ROBERT AND JUDY SALAMACHA
160 ANCHOR ST.
MORRO BAY, CA.
(805) 801-6419

SHEET INDEX	
SHT. No.	DESCRIPTION
A-1	COVER SHEET
A-1.1	SITE AND DRAINAGE PLAN
A-2	DEMO PLAN
A-3	ADDITION AND GARAGE FLOOR PLANS
A-4	ANCHOR STREET ELEVATION
A-5	MORRO AVE. ELEVATION
A-6	ADDITION AND GARAGE ELEVATIONS
A-7	GARAGE SIDE ELEVATIONS

PROJECT INFORMATION	
OWNER:	ROBERT AND JUDY SALAMACHA 160 ANCHOR ST. MORRO BAY, CA. (805) 801-6419
LEGAL DESCRIPTION:	PARCEL 'B' OF PARCEL MAP 58-82, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.
APN:	044-152-018
ZONE:	RESIDENTIAL R-3/PD/S4
OCCUPANCY:	RS/U
BUILDING TYPE:	V
SPRINKLERED:	NO
NO. OF STORIES:	1
NO. OF PARKING SPACES:	1 (EXIST.) + 2 (PROPOSED) = 3
BUILDING HEIGHT DATA: ADDITION TO 160 ANCHOR ST. RESIDENCE	
LOW:	485.00 HIGH: 485.00
A.V.G.:	$\frac{481.00 + 481.50}{2} = 481.25$
MAX. HEIGHT ALLOWED:	$481.25 + 25 = 76.75$
PROPOSED HEIGHT:	$488.50 + 10.63 = 499.13$
BUILDING HEIGHT DATA: DETACHED GARAGE ADDITION	
LOW:	484.66 HIGH: 485.00
A.V.G.:	$\frac{484.66 + 485.00}{2} = 484.83$
MAX. HEIGHT ALLOWED:	$484.83 + 14 = 498.83$
PROPOSED HEIGHT:	$485.33 + 12.41 = 497.74$
NEW DRIVEWAY SLOPE DATA:	
FIN. FIN. EL. AT GARAGE DOOR OPENING:	485.71
LOW POINT AT STREET:	484.75
SLOPE:	$\frac{485.71 - 484.75}{37 \text{ (LENGTH OF DRIVEWAY)}} = .026\%$
SITE AREA: 4031 SQ.FT.	
160 ANCHOR ST.:	
LIVING AREA:	285 SQ.FT.
EXIST.:	285 SQ.FT.
NEW ADDITION:	285 SQ.FT.
TOTAL:	570 SQ.FT.
NEW COVERED PORCH AREA:	33 SQ.FT.
NEW EAVE OVERHANG AREA BEYOND 30" FROM HOUSE WALL:	8 SQ.FT.
NEW CONC. PLATEWORK AREA:	305 SQ.FT.
EXIST. COVERED PORCH AREA TO REMAIN:	50 SQ.FT. (1 OF WHICH 1 SQ.FT. IS IN THE RIGHT-OF-WAY)
EXIST. COVERED PORCH (1) + OPEN STAIR (1) TO BE REMOVED:	(32 SQ.FT.)
NEW GARAGE AREA:	424 SQ.FT.
160 ANCHOR ST.:	
LIVING AREA:	516 SQ.FT.
EXIST. (1) CAR GARAGE AREA:	311 SQ.FT.
EXIST. LOT COVERAGE: $\frac{465+311+145+18+312+1031}{4031} \text{ SQ.FT.} = 31.71\%$	
PROPOSED LOT COVERAGE: $\frac{1238+33+8+311+424+18+312+1031}{4031} \text{ SQ.FT.} = 42.01\%$	
SITE LANDSCAPING AREA:	2741 SQ.FT./4031 = 68.11%
NEW ON-SITE PERVIOUS PAVING AREA:	1418 SQ.FT./4031 = 35.19%
EXIST. IMPERVIOUS SURFACE AREA INCLUDES RESIDENCES (15546) EAVE OVERHANGS (NOT OVER PAVING) (148) GARAGE (324) ASPHALT PAVING (148) CONC. PLATEWORK (1830) COVERED PORCHES (131) AND WATER HEATER SHED (5): 1560 SQ.FT.	
EXIST. IMPERVIOUS SURFACE AREAS TO BE REMOVED INCLUDE CONCRETE PLATEWORK (203) ASPHALT PAVING (182) COVERED PORCH (11) EAVE OVERHANGS (1) AND WATER HEATER SHED (5): (83) SQ.FT.	
NEW IMPERVIOUS SURFACE AREAS INCLUDE ADDITION (1231) EAVE OVERHANGS (NOT OVER PAVING) (148) GARAGE (424) COVERED PORCH (33) CONC. PATIO AND LANDINGS (305): 1418 SQ.FT.	
TOTAL IMPERVIOUS SURFACE AREA ON SITE:	5221 SQ.FT./4031 = 57.81%
NET GAIN OF IMPERVIOUS SURFACE AREA ON SITE:	1410-83 = 1327 SQ.FT.

NOTES:

- PROJECT SHALL COMPLY WITH TITLE 24 AND THE 2013 CALIFORNIA RESIDENTIAL CODE (C.R.C.), CALIFORNIA MECHANICAL CODE (C.M.C.), CALIFORNIA PLUMBING CODE (C.P.C.), CALIFORNIA ELECTRICAL CODE (C.E.C.), THE CALIFORNIA ENERGY CODE (C.E.C.), AND LOCAL CODES OR ORDINANCES IN EFFECT.
- PROVIDE MIN. 5% DRAINAGE AWAY FROM STRUCTURE FOR MIN. 10' DISTANCE OR AS PER THE EXCEPTION TO CRC R4013 ALLOWING A 2% SLOPE.
- FIELD SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND LOCATION OF UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- PLANS MEET E.C.R. OF TITLE 24, PART 2, CHAP. 2-53 C.A.C.
- ANY DAMAGE AS A RESULT OF CONSTRUCTION OPERATIONS FOR THIS PROJECT TO CITY FACILITIES, UTILITY, PUBLIC STREET, WATER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS SHALL BE REPAIRED AT NO COST TO THE CITY OF MORRO BAY.
- SEDIMENTATION CONTROL MEASURES SHALL PREVENT SEDIMENT OR DEBRIS FROM ENTERING THE CITY RIGHT-OF-WAY, ROADWAY, OR ADJACENT PROPERTIES.
- IF A CONSTRUCTION DUMPSTER IS USED, THE DUMPSTER LOCATION SHALL BE WITHIN THE CITY RIGHTS-OF-WAY, AND SHALL NOT BE AN ENCROACHMENT PERMIT IF THE RIGHT OF WAY AREA.



RECEIVED
AUG 19 2016
City of Morro Bay
Community Development Dept.

DATE: AUGUST 17, 2016

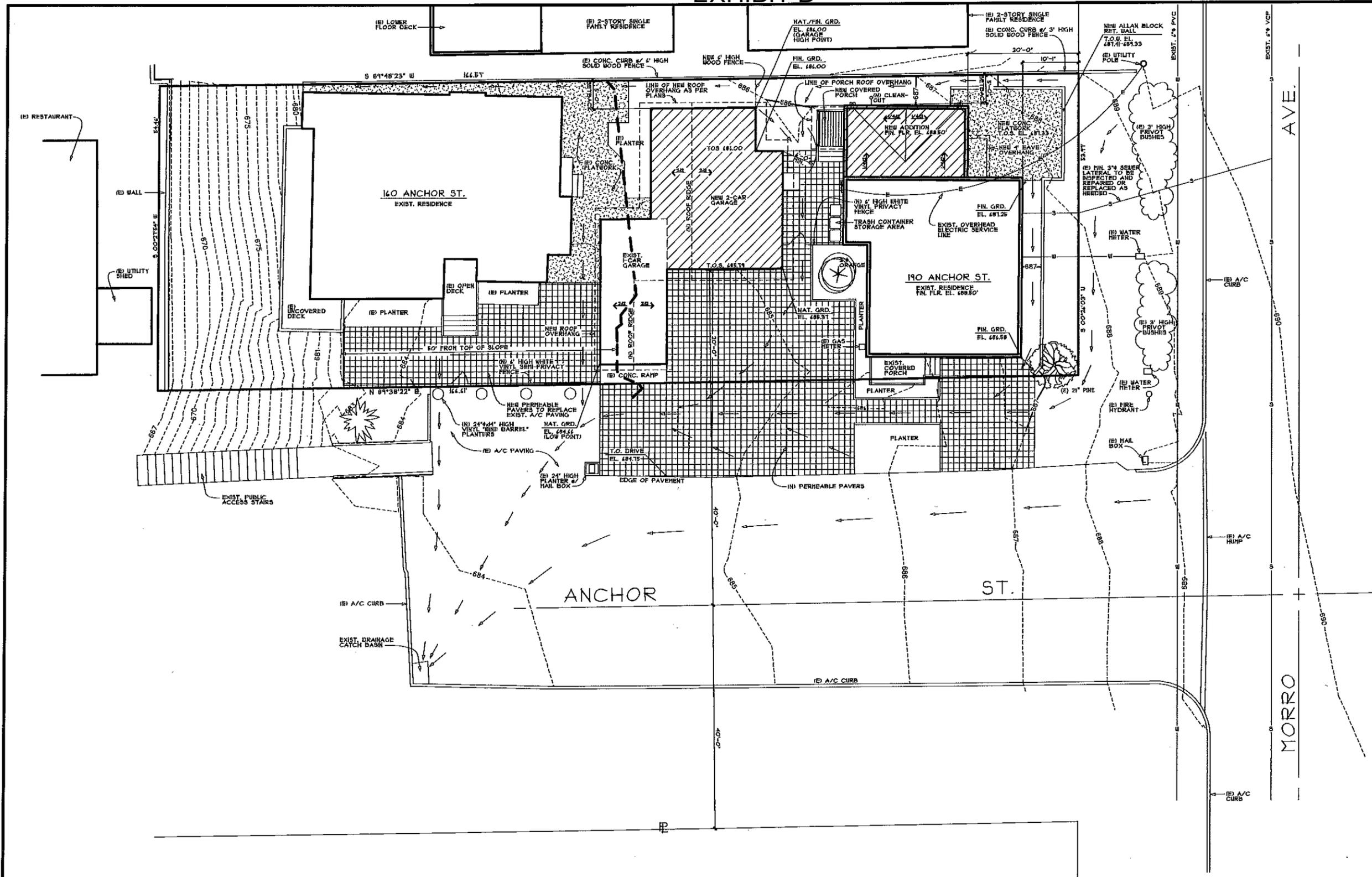
SCALE: AS SHOWN

DRAWN BY: JOHN CLONINGER

SHEET

A-1

EXHIBIT B



SITE PLAN

SCALE: 1/8"=1'-0"

TOPOGRAPHIC AND EXISTING SITE FEATURE INFORMATION OBTAINED FROM ORIGINAL TENTATIVE PARCEL MAP RB 04-0004 BY WILSON LAND SURVEYS 3001 WINCHESTER BLVD., STE 8 CAMPBELL, CA.

GRAPHIC SCALE
(SITE PLAN ONLY)



(IN FEET)

REVISION	BY

Drafting Services Unlimited

1883 8th St.
Los Osos, Ca. 93402
(805) 828-8808

RESIDENTIAL & COMMERCIAL

PROJECT ADDRESS
**190 ANCHOR ST.
MORRO BAY, CA.**

PROPOSED ADDITION AND GARAGE FOR:
**ROBERT AND JUDY SALAMACHA
160 ANCHOR ST.
MORRO BAY, CA.
(805) 801-6419**

DATE: AUGUST 11, 2014

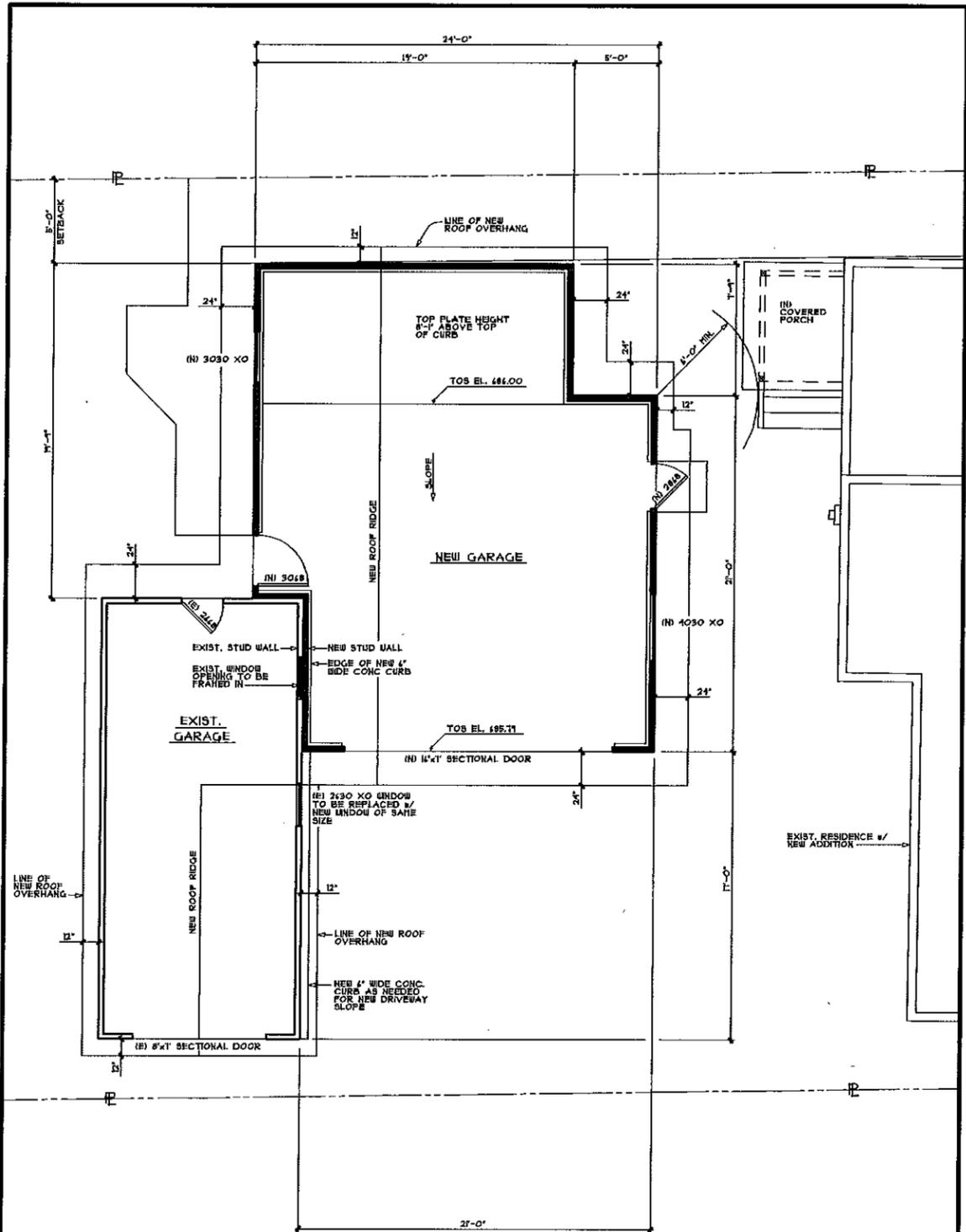
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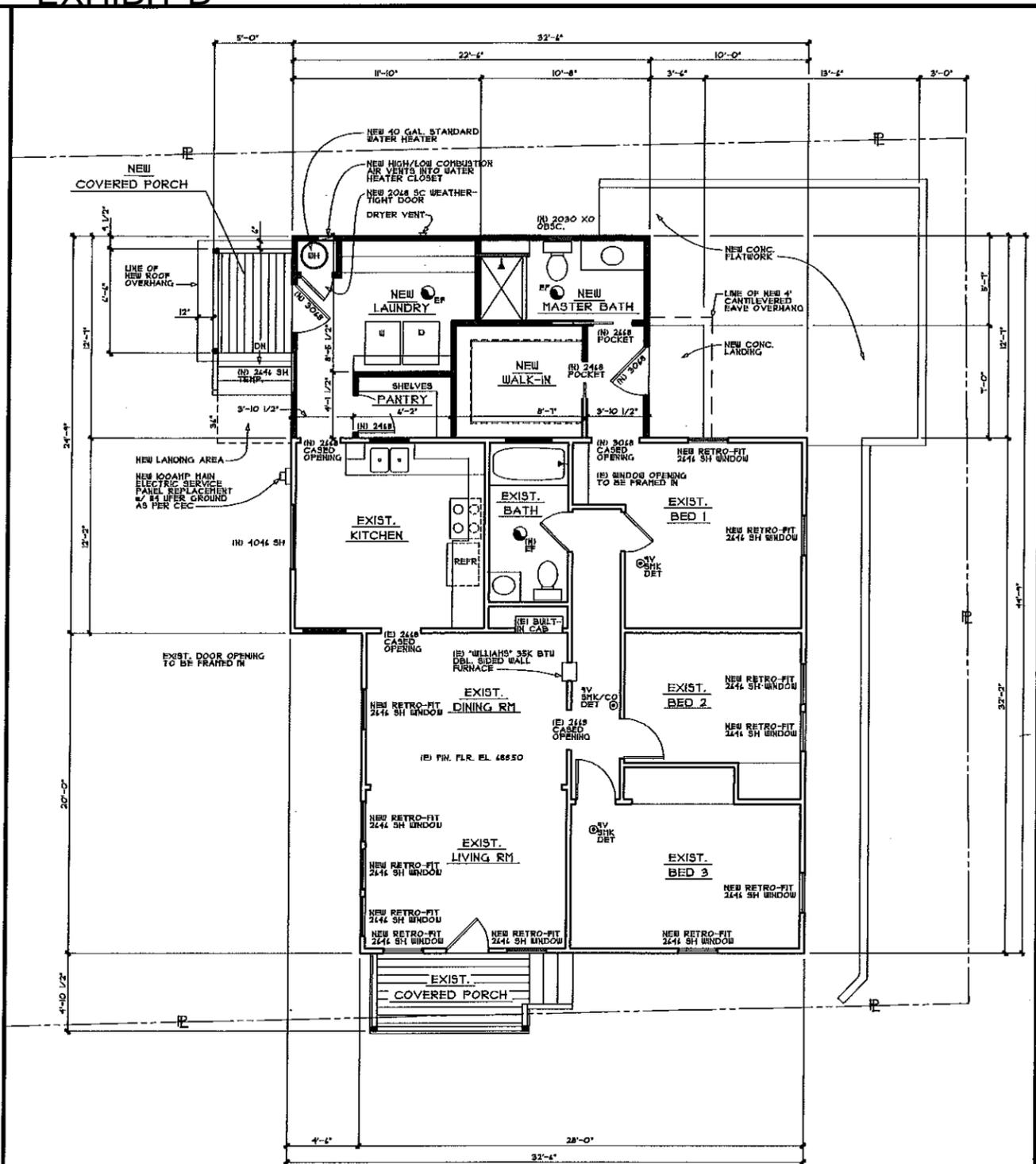
SHEET

A-1.1

EXHIBIT B



 **GARAGE FLOOR PLAN**
1/4" = 1'-0"



 **FLOOR PLAN**
1/4" = 1'-0"

REVISION	BY

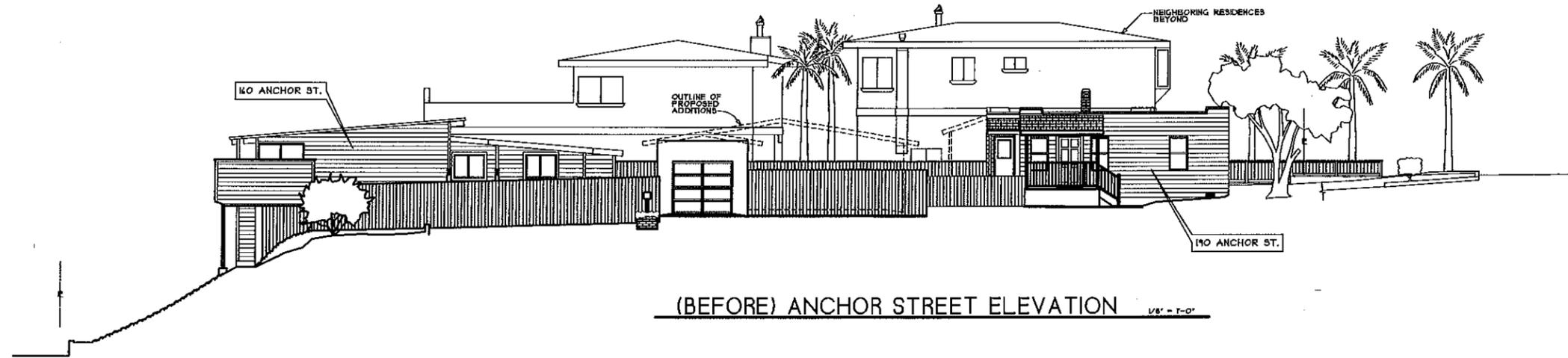
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(805) 528-8508
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**190 ANCHOR ST.
MORRO BAY, CA.**

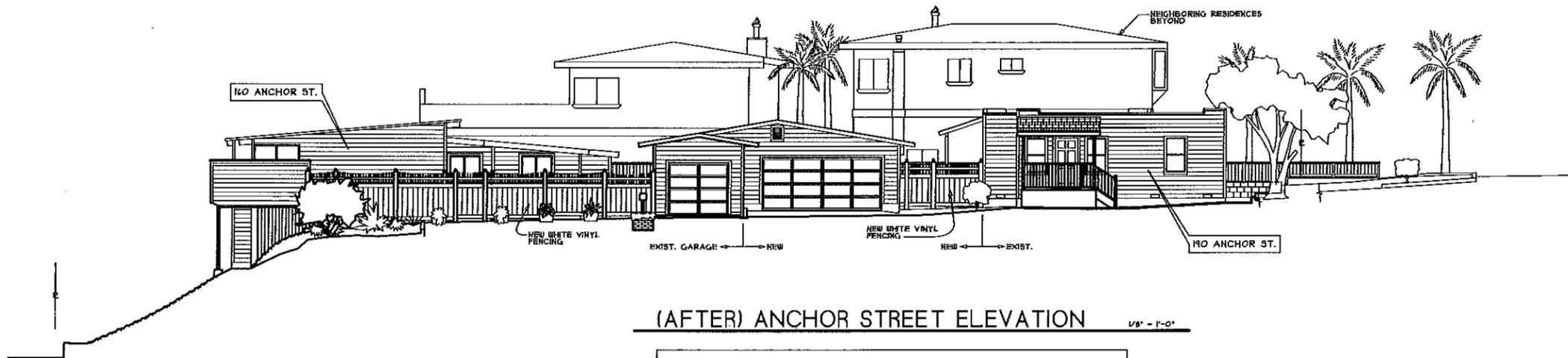
PROPOSED ADDITION AND GARAGE FOR:
ROBERT AND JUDY SALAMACHA
160 ANCHOR ST.
MORRO BAY, CA.
(805) 801-6419

DATE: AUGUST 17, 2016
SCALE: AS SHOWN
DRAWN BY: JOHN CLONINGER
SHEET: A-3

EXHIBIT B



(BEFORE) ANCHOR STREET ELEVATION 1/8" = 1'-0"



(AFTER) ANCHOR STREET ELEVATION 1/8" = 1'-0"

MATERIALS AND COLORS

SIDING	HARDE-PLANK COLONIAL ROUGH-SAWN HORIZ. LAP SIDING TO MATCH SIDING ON EXIST. PRIMARY DWELLING	LIGHT-TAN COLOR TO MATCH EXIST. SIDING ON PRIMARY DWELLING
WINDOWS	MIGRATED W/ VINYL FRAMES AND LOW E GLAZING TO MATCH WINDOWS ON EXIST. PRIMARY DWELLING	WHITE COLOR TO MATCH EXIST. WINDOWS ON PRIMARY DWELLING
WINDOW/DOOR TRIM	TO MATCH EXIST. WINDOW AND DOOR TRIM ON PRIMARY DWELLING	BLUE-GRAY COLOR TO MATCH EXIST. TRIM ON PRIMARY DWELLING
CORNER TRIM	TO MATCH EXIST. CORNER TRIM ON PRIMARY DWELLING	LIGHT-TAN COLOR TO MATCH EXIST. CORNER TRIM ON PRIMARY DWELLING
EAVE FASCIA	TO MATCH EXIST. FASCIA BOARDS ON PRIMARY DWELLING	BLUE-GRAY COLOR TO MATCH EXIST. FASCIA BOARDS ON PRIMARY DWELLING
ROOFING	COMPOSITION ASPHALT SHINGLES TO MATCH EXIST. PORCH ROOFING	GRAY COLOR TO MATCH EXIST. PORCH ROOFING
NEW FENCING	"VINYL CRAFT" 4IN. CLASSIC PRIVACY W/ SCALLOPED PICKET ACCENT	WHITE COLOR

REVISION	BY

Drafting Services Unlimited

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Los Angeles, Ca. 90102
(805) 528-8508

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PROJECT ADDRESS
190 ANCHOR ST.
MORRO BAY, CA.

PROPOSED ADDITION AND GARAGE FOR:
ROBERT AND JUDY SALAMACHA
160 ANCHOR ST.
MORRO BAY, CA.
(805) 801-6419

DATE AUGUST 11, 2014

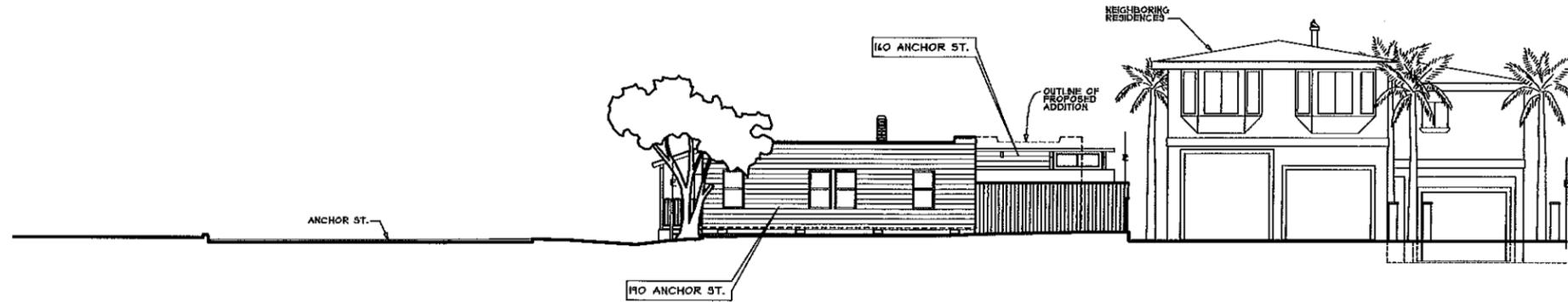
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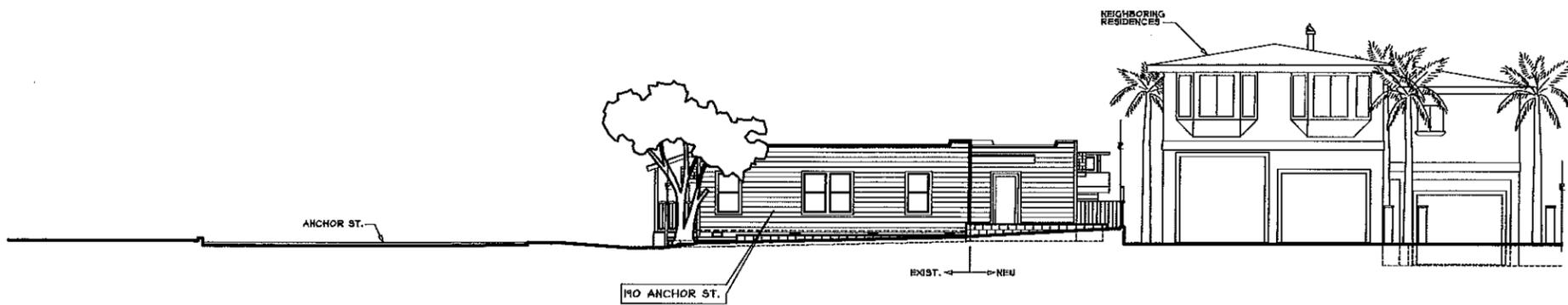
SHEET

A-4

EXHIBIT B



(BEFORE) MORRO AVE. STREET ELEVATION 1/8" = 1'-0"



(AFTER) MORRO AVE. STREET ELEVATION 1/8" = 1'-0"

REVISION	BY

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 Los Osos, Ca. 93402
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PROJECT ADDRESS
 190 ANCHOR ST.
 MORRO BAY, CA.

PROPOSED ADDITION AND GARAGE FOR:
 ROBERT AND JUDY SALAMACHA
 160 ANCHOR ST.
 MORRO BAY, CA.
 (805) 801-6418

DATE: AUGUST 17, 2016

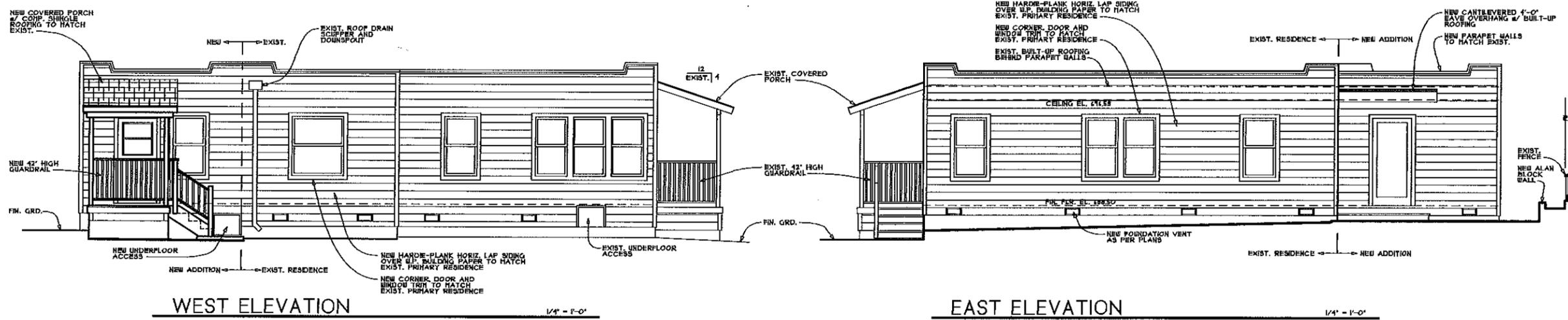
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DRAWN BY: JOHN CLENNING

SHEET

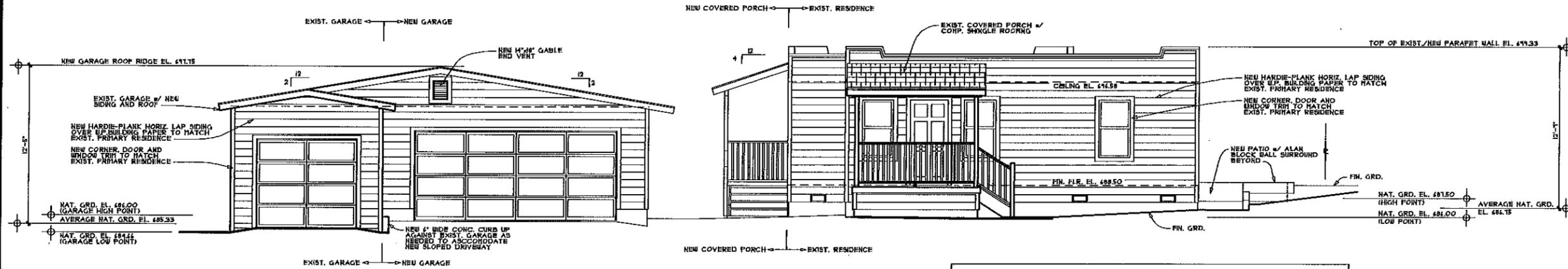
A-5

EXHIBIT B



WEST ELEVATION 1/4" = 1'-0"

EAST ELEVATION 1/4" = 1'-0"



SOUTH ELEVATION 1/4" = 1'-0"

NORTH ELEVATION 1/4" = 1'-0"

MATERIALS AND COLORS		
SIDING	HARDIE-PLANK COLONIAL ROUGHSAW HORIZ. LAP SIDING TO MATCH SIDING ON EXIST. PRIMARY DWELLING	LIGHT-TAN COLOR TO MATCH EXIST. SIDING ON PRIMARY DWELLING
WINDOWS	"HILGARD" #/ VINYL FRAMES AND LOW "E" GLAZING TO MATCH WINDOWS ON EXIST. PRIMARY DWELLING	WHITE COLOR TO MATCH EXIST. WINDOWS ON PRIMARY DWELLING
WINDOW/DOOR TRIM	TO MATCH EXIST. WINDOW AND DOOR TRIM ON PRIMARY DWELLING	BLUE-GRAY COLOR TO MATCH EXIST. TRIM ON PRIMARY DWELLING
CORNER TRIM	TO MATCH EXIST. CORNER TRIM ON PRIMARY DWELLING	LIGHT-TAN COLOR TO MATCH EXIST. CORNER TRIM ON PRIMARY DWELLING
EAVE FASCIA	TO MATCH EXIST. FASCIA BOARDS ON PRIMARY DWELLING	BLUE-GRAY COLOR TO MATCH EXIST. FASCIA BOARDS ON PRIMARY DWELLING
ROOFING	COMPOSITION ASPHALT SHINGLES TO MATCH EXIST. PORCH ROOFING	GRAY COLOR TO MATCH EXIST. PORCH ROOFING

REVISION	BY

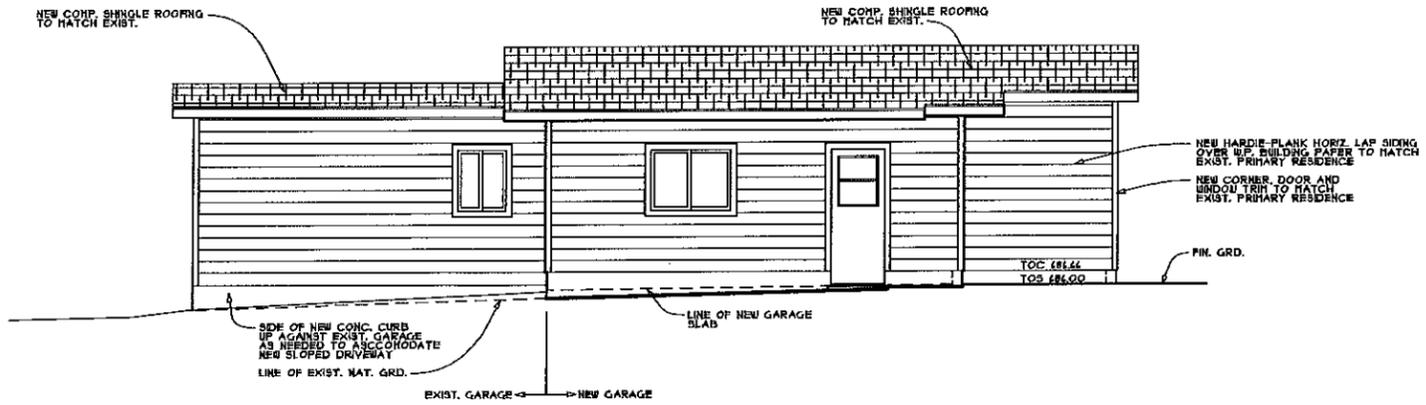
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PROJECT ADDRESS
**190 ANCHOR ST.
 MORRO BAY, CA.**

PROPOSED ADDITION AND GARAGE FOR
**ROBERT AND JUDY SALAMACHA
 160 ANCHOR ST.
 MORRO BAY, CA.
 (805) 801-6419**

DATE: AUGUST 11, 2016
 SCALE: AS SHOWN
 DRAWN BY: JOHN CLONNER
 SHEET
A-6

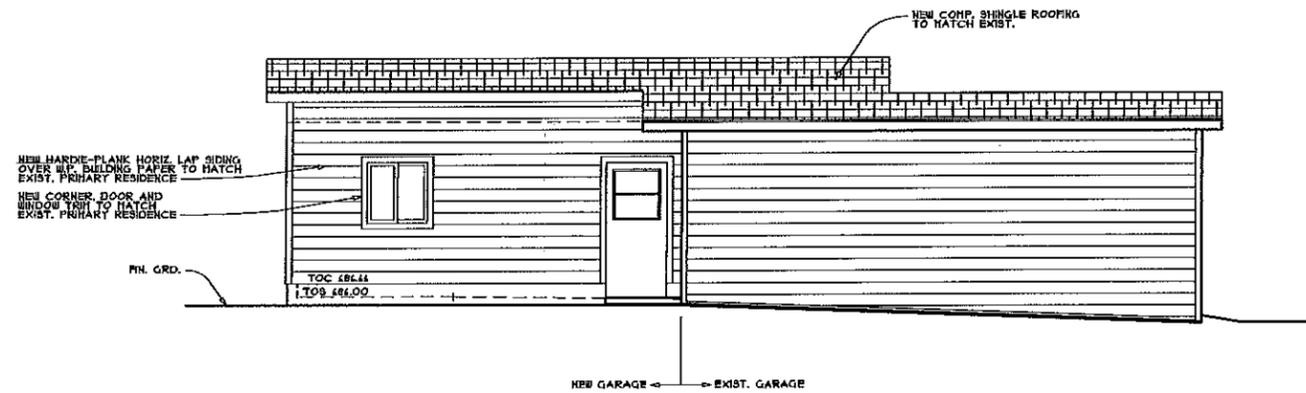
EXHIBIT B



GARAGE EAST ELEVATION

1/4" = 1'-0"

MATERIALS AND COLORS		
SIDING	"HARDIE-PLANK" COLONIAL ROUGHSAWN HORIZ. LAP SIDING TO MATCH SIDING ON EXIST. PRIMARY DWELLING	LIGHT-TAN COLOR TO MATCH EXIST. SIDING ON PRIMARY DWELLING
WINDOWS	"BELGARD" W/ VINYL FRAMES AND LOW E GLAZING TO MATCH WINDOWS ON EXIST. PRIMARY DWELLING	WHITE COLOR TO MATCH EXIST. WINDOWS ON PRIMARY DWELLING
WINDOW/DOOR TRIM	TO MATCH EXIST. WINDOW AND DOOR TRIM ON PRIMARY DWELLING	BLUE-GRAY COLOR TO MATCH EXIST. TRIM ON PRIMARY DWELLING
CORNER TRIM	TO MATCH EXIST. CORNER TRIM ON PRIMARY DWELLING	LIGHT-TAN COLOR TO MATCH EXIST. CORNER TRIM ON PRIMARY DWELLING
EAVE FASCIA	TO MATCH EXIST. FASCIA BOARDS ON PRIMARY DWELLING	BLUE-GRAY COLOR TO MATCH EXIST. FASCIA BOARDS ON PRIMARY DWELLING
ROOFING	COMPOSITION ASPHALT SHINGLES TO MATCH EXIST. PORCH ROOFING	GRAY COLOR TO MATCH EXIST. PORCH ROOFING



GARAGE WEST ELEVATION

1/4" = 1'-0"

REVISIONS	BY

Drafting Services Unlimited
 1883 8th St.
 Los Osos, Ca. 93102
 (805) 528-8508
 RESIDENTIAL & COMMERCIAL

PROJECT ADDRESS
 190 ANCHOR ST.
 MORRO BAY, CA.

PROPOSED ADDITION AND GARAGE FOR:
 ROBERT AND JUDY SALAMACHA
 160 ANCHOR ST.
 MORRO BAY, CA.
 (805) 801-6419

DATE: AUGUST 11, 2016
 SCALE: AS SHOWN
 DRAWN BY: JOHN CLINGER
 SHEET: A-7

EXHIBIT C

160 ANCHOR ST.

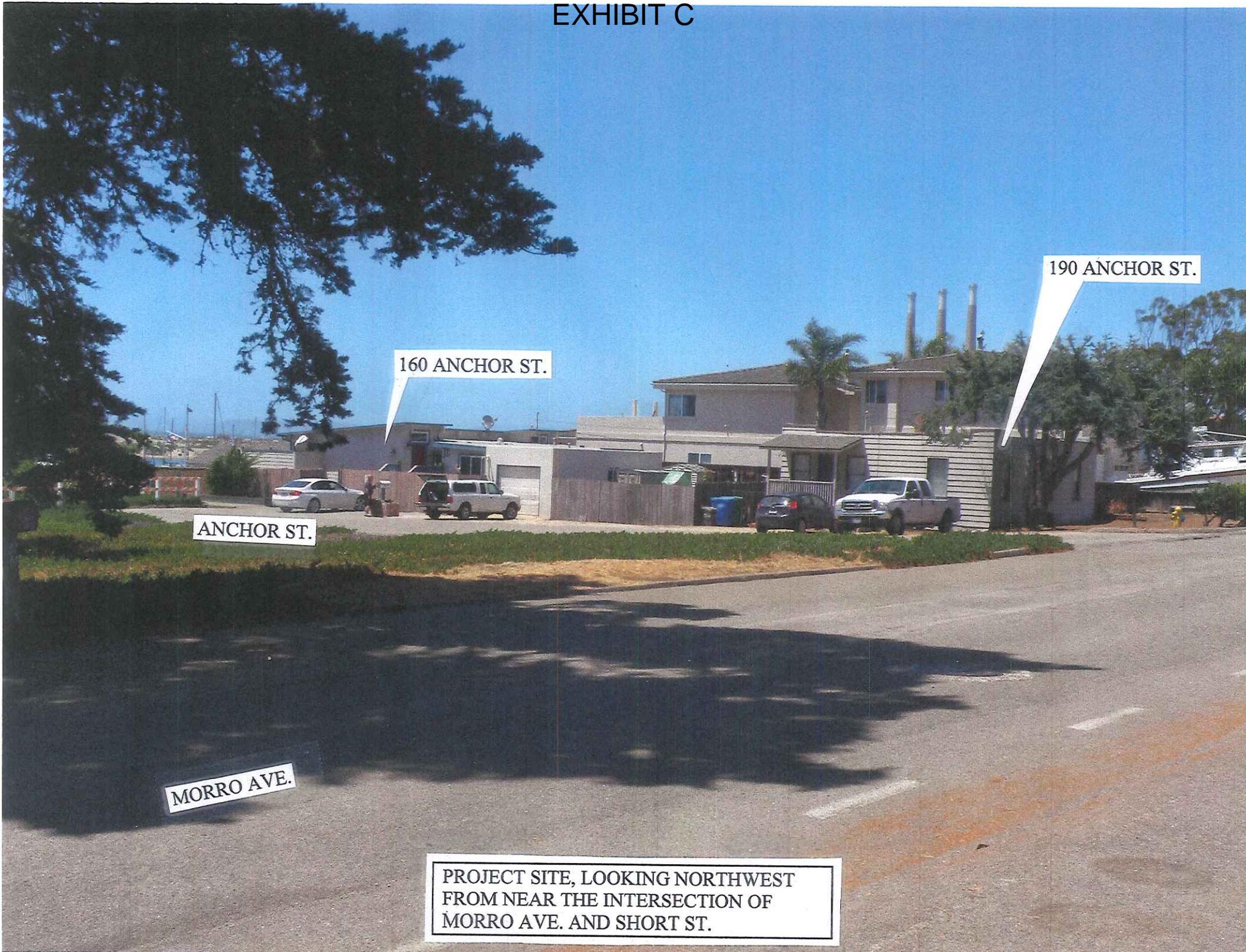
190 ANCHOR ST.

ANCHOR ST.

VIEW OF PROJECT SITE ON ANCHOR ST.
AND NEIGHBORING TWO STORY HOMES
TO THE NORTH



EXHIBIT C



160 ANCHOR ST.

190 ANCHOR ST.

ANCHOR ST.

MORRO AVE.

PROJECT SITE, LOOKING NORTHWEST FROM NEAR THE INTERSECTION OF MORRO AVE. AND SHORT ST.

EXHIBIT C

160 ANCHOR ST.

190 ANCHOR ST.

MORRO AVE.

PROJECT SITE ON NORTHWEST CORNER
OF ANCHOR ST. AND MORRO AVE.

ANCHOR ST.

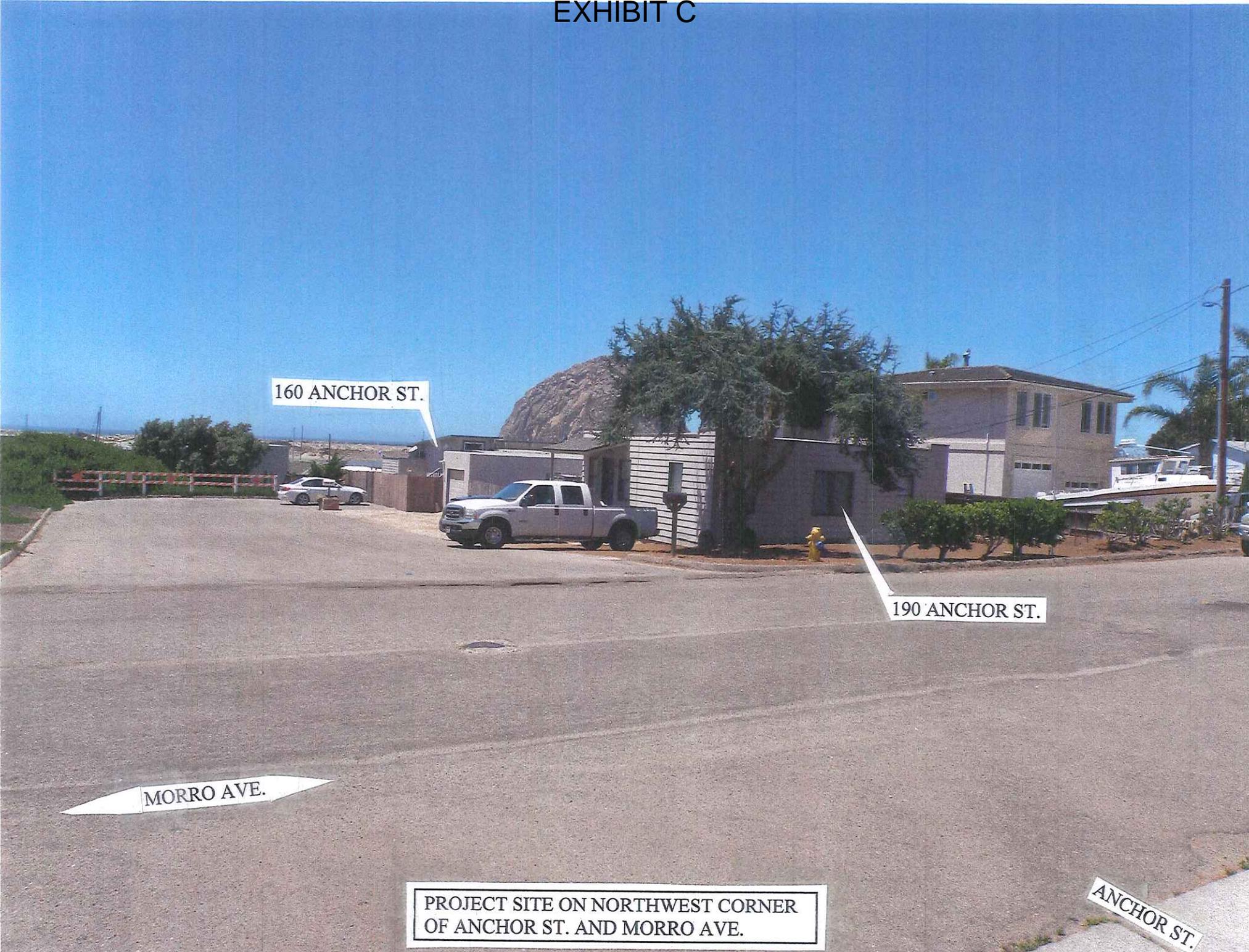


EXHIBIT C

PROJECT SITE
190 ANCHOR ST.

ANCHOR ST.

MORRO AVE.

NEIGHBORING HOME ON THE SOUTHWEST
CORNER OF ANCHOR ST. AND MORRO AVE.,
AND VIEW OF NEARBY ROOFTOP OF HOTEL
ON THE EMBARCADERO BELOW THE END
OF ANCHOR ST.

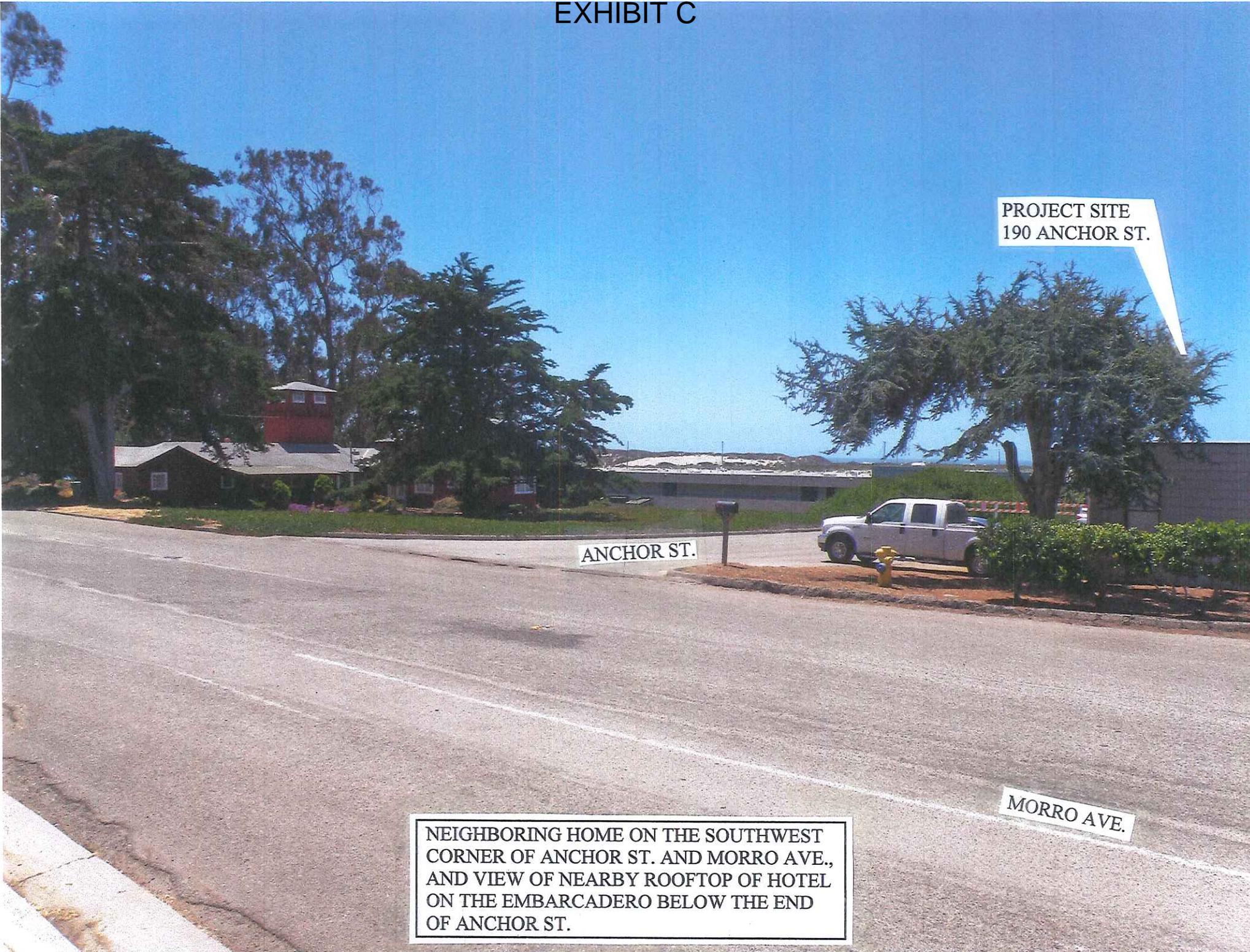


EXHIBIT C

190 ANCHOR ST.

MORRO AVE.

LOOKING WEST TOWARDS PROJECT
SITE AND NEIGHBORING HOMES FROM
ACROSS MORRO AVE.

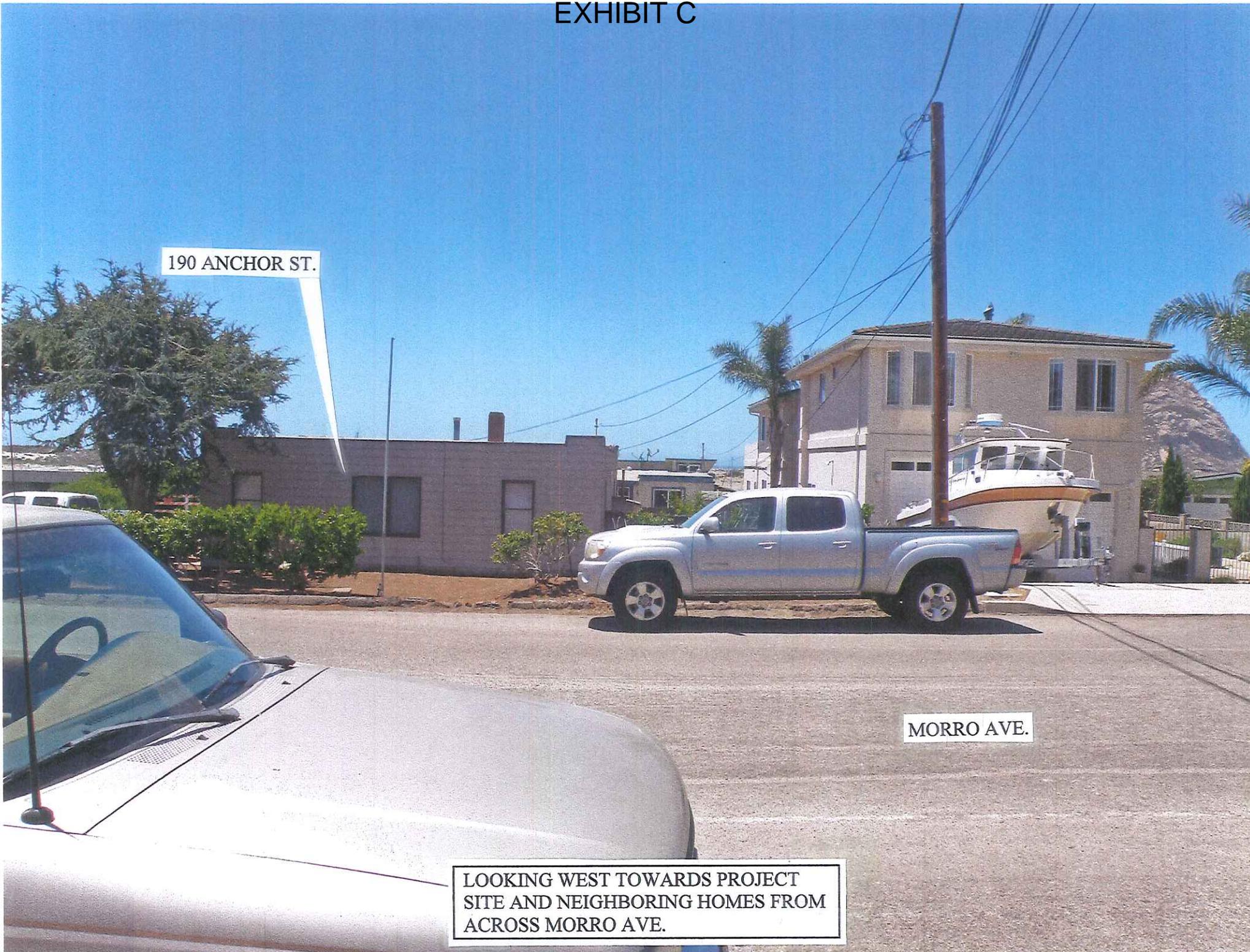


EXHIBIT C

190 ANCHOR ST.

MORRO AVE.

LOOKING SOUTHWEST TOWARDS
PROJECT SITE AND NEIGHBORING HOME
SOUTH OF ANCHOR ST.

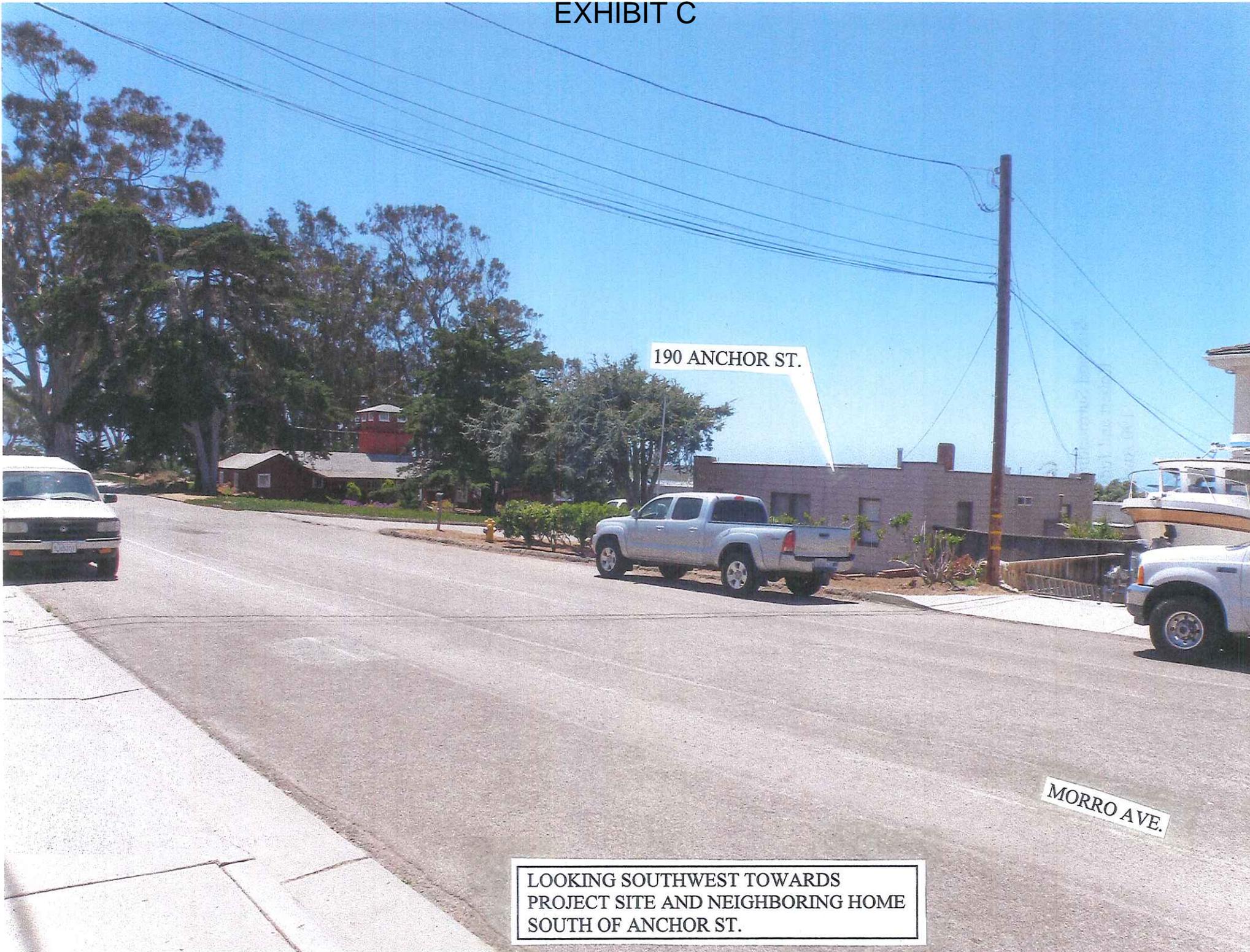


EXHIBIT C

PROJECT SITE

MORRO AVE.

LOOKING SOUTHWEST TOWARDS
NEIGHBORING HOMES NORTH OF
PROJECT SITE

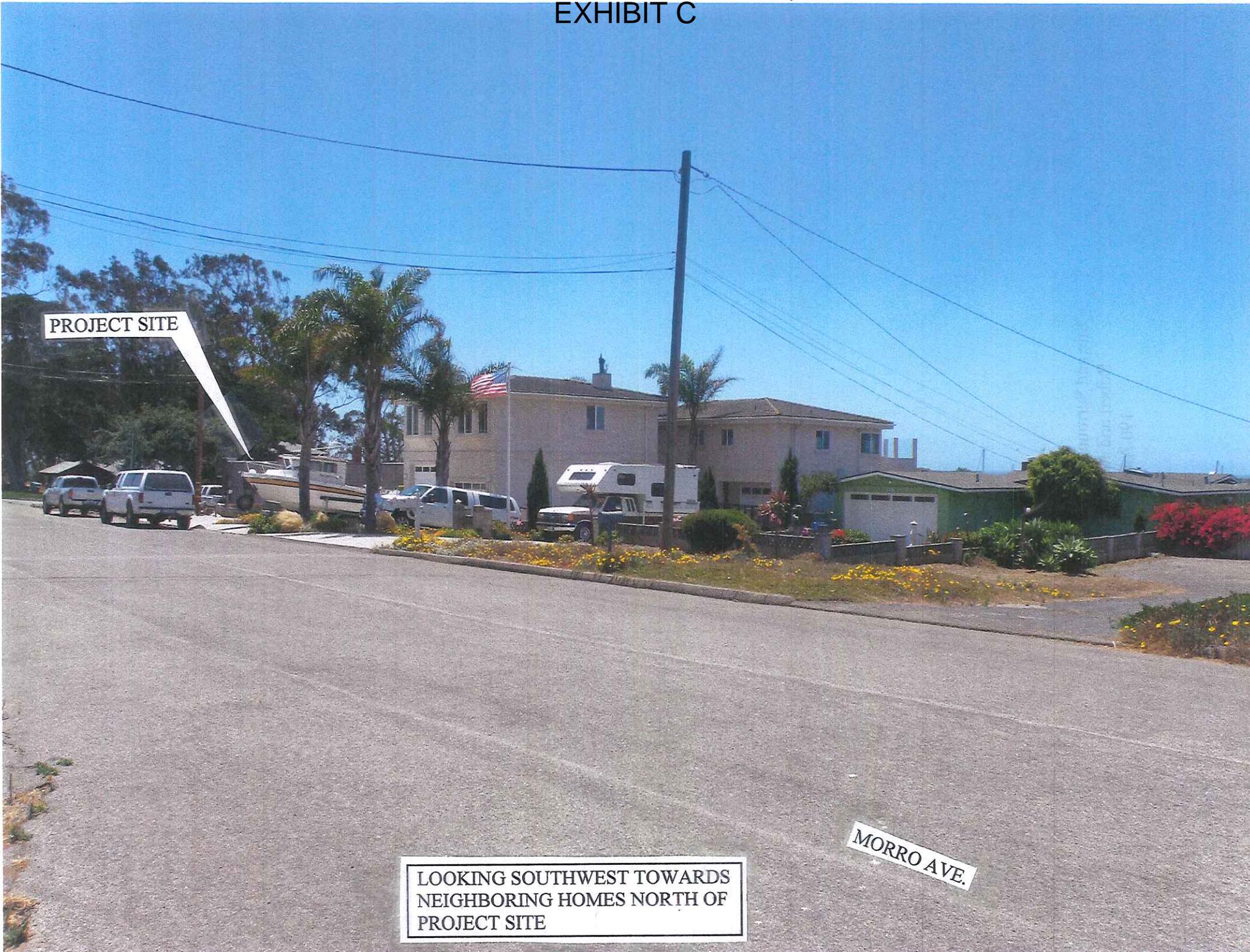


EXHIBIT C



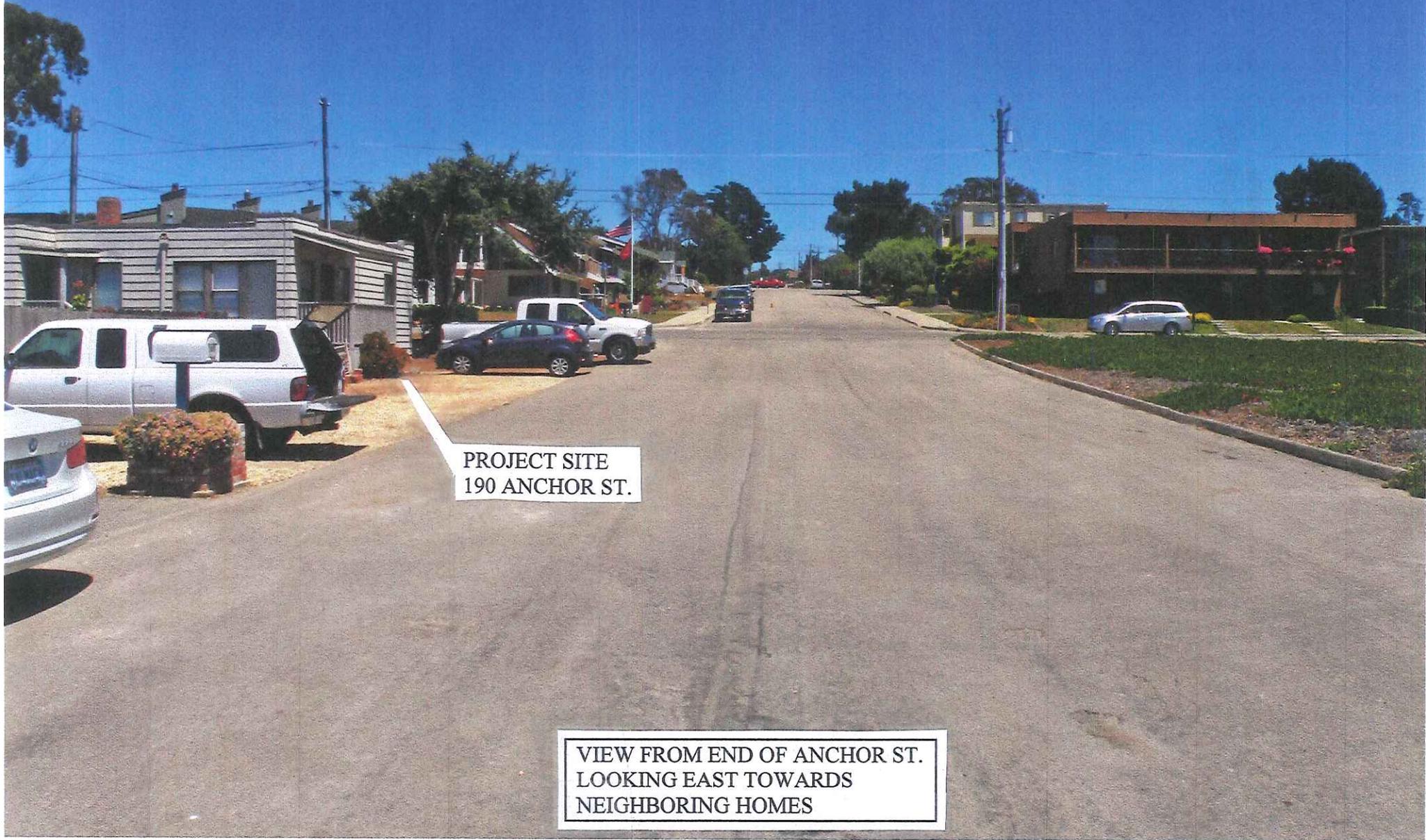
MORRO AVE.

PROJECT SITE ON NORTHWEST
CORNER OF INTERSECTION

ANCHOR ST.

NEIGHBORING HOMES ON THE
NORTHEAST CORNER OF ANCHOR ST.
AND MORRO AVE.

EXHIBIT C



PROJECT SITE
190 ANCHOR ST.

VIEW FROM END OF ANCHOR ST.
LOOKING EAST TOWARDS
NEIGHBORING HOMES

EXHIBIT C

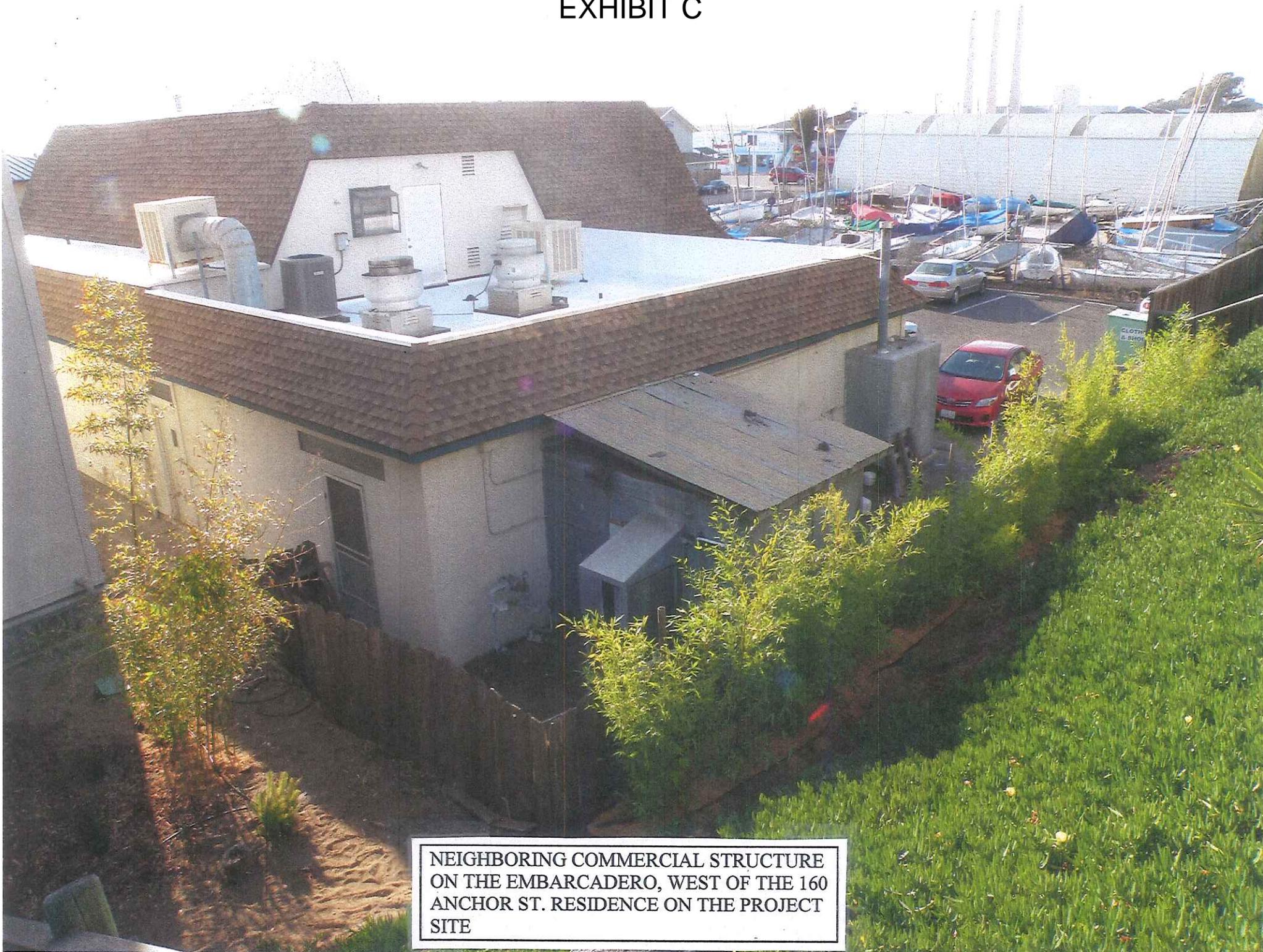


MORRO AVE.

ANCHOR ST.

NEIGHBORING HOMES
LOOKING SOUTHEAST FROM
THE PROJECT SITE

EXHIBIT C



NEIGHBORING COMMERCIAL STRUCTURE
ON THE EMBARCADERO, WEST OF THE 160
ANCHOR ST. RESIDENCE ON THE PROJECT
SITE

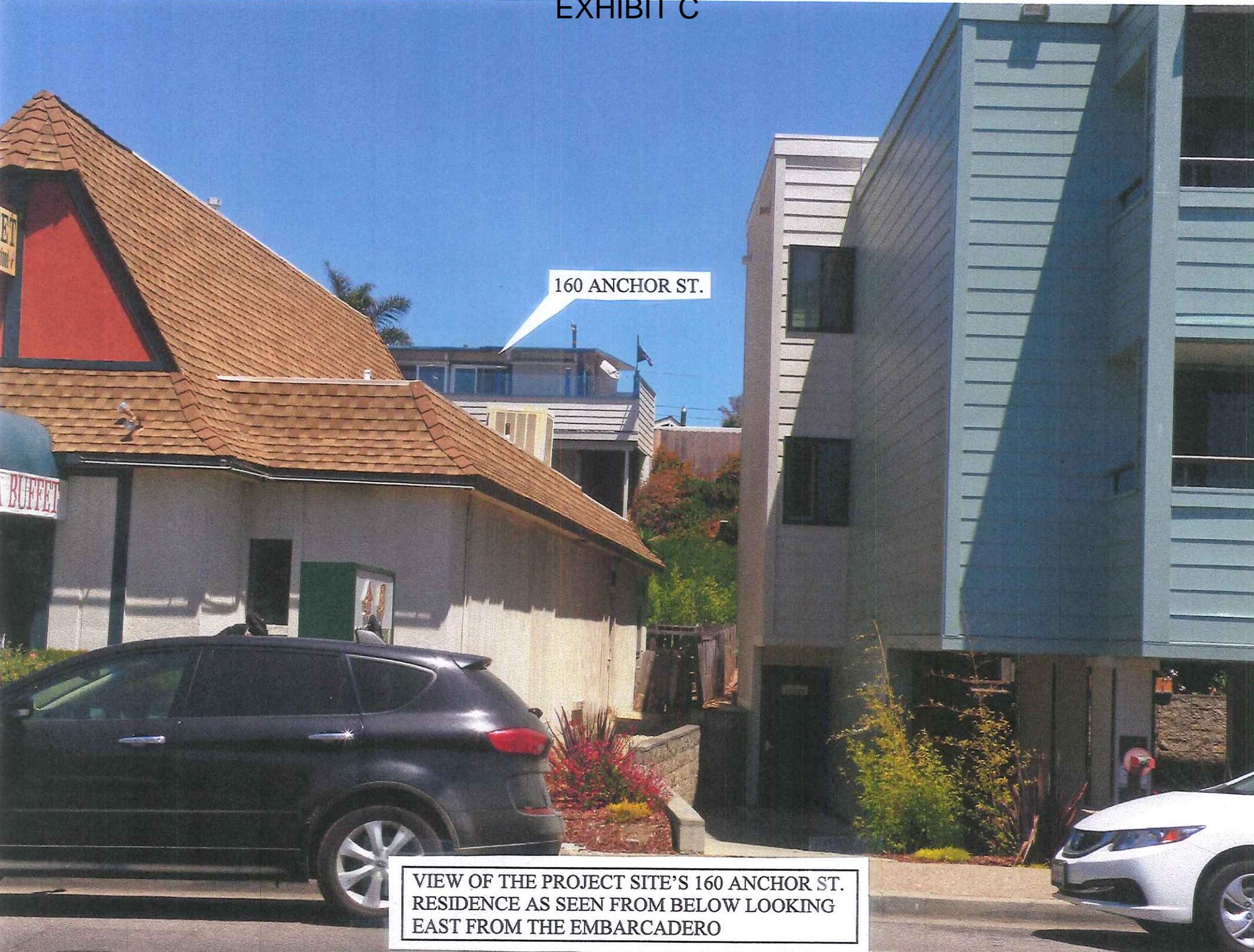
EXHIBIT C



160 ANCHOR ST.

VIEW OF THE PROJECT SITE'S 160 ANCHOR ST. RESIDENCE AND THE NEIGHBORING HOME DIRECTLY TO THE NORTH OF IT AS SEEN FROM BELOW LOOKING EAST FROM THE EMBARCADERO

EXHIBIT C



160 ANCHOR ST.

VIEW OF THE PROJECT SITE'S 160 ANCHOR ST. RESIDENCE AS SEEN FROM BELOW LOOKING EAST FROM THE EMBARCADERO

EXHIBIT C



LOOKING EAST AT THE PROJECT SITE'S 160 ANCHOR ST. RESIDENCE FROM THE BOTTOM OF A PUBLIC STAIRCASE LEADING UP FROM THE EMBARCADERO TO THE END OF ANCHOR ST.

EXHIBIT C

190 ANCHOR ST.

VIEW OF PROJECT SITE ALONG ANCHOR ST.
LOOKING EAST FROM THE TOP OF THE
PUBLIC STAIRCASE



EXHIBIT C

160 ANCHOR ST.

PUBLIC STAIR ACCESS

VIEW LOOKING NORTH FROM THE END OF ANCHOR ST. AT THE PROJECT SITE'S 160 ANCHOR ST. RESIDENCE AND ITS SIX FOOT HIGH PRIVACY FENCE AT THE TOP OF THE PUBLIC STAIRCASE

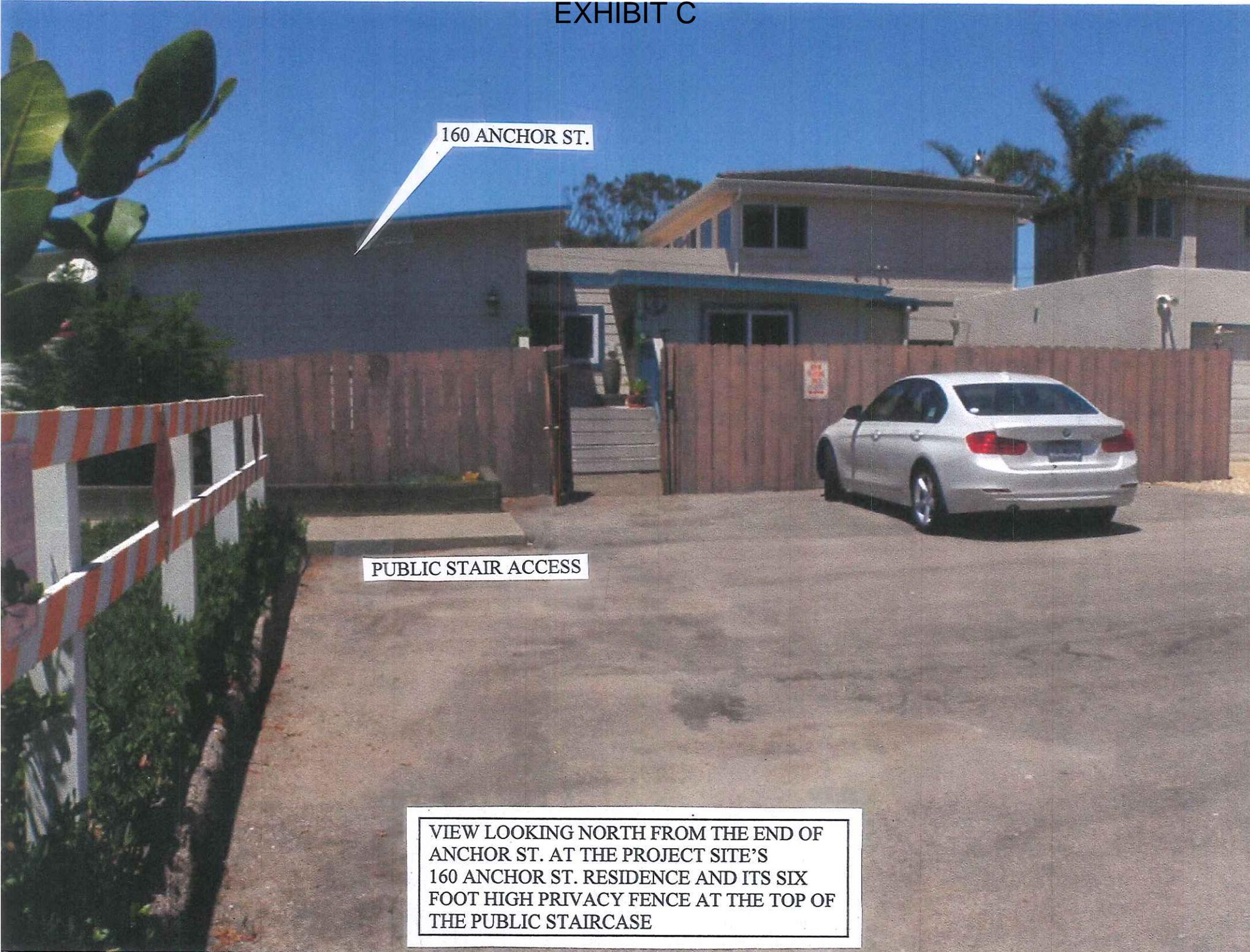


EXHIBIT C

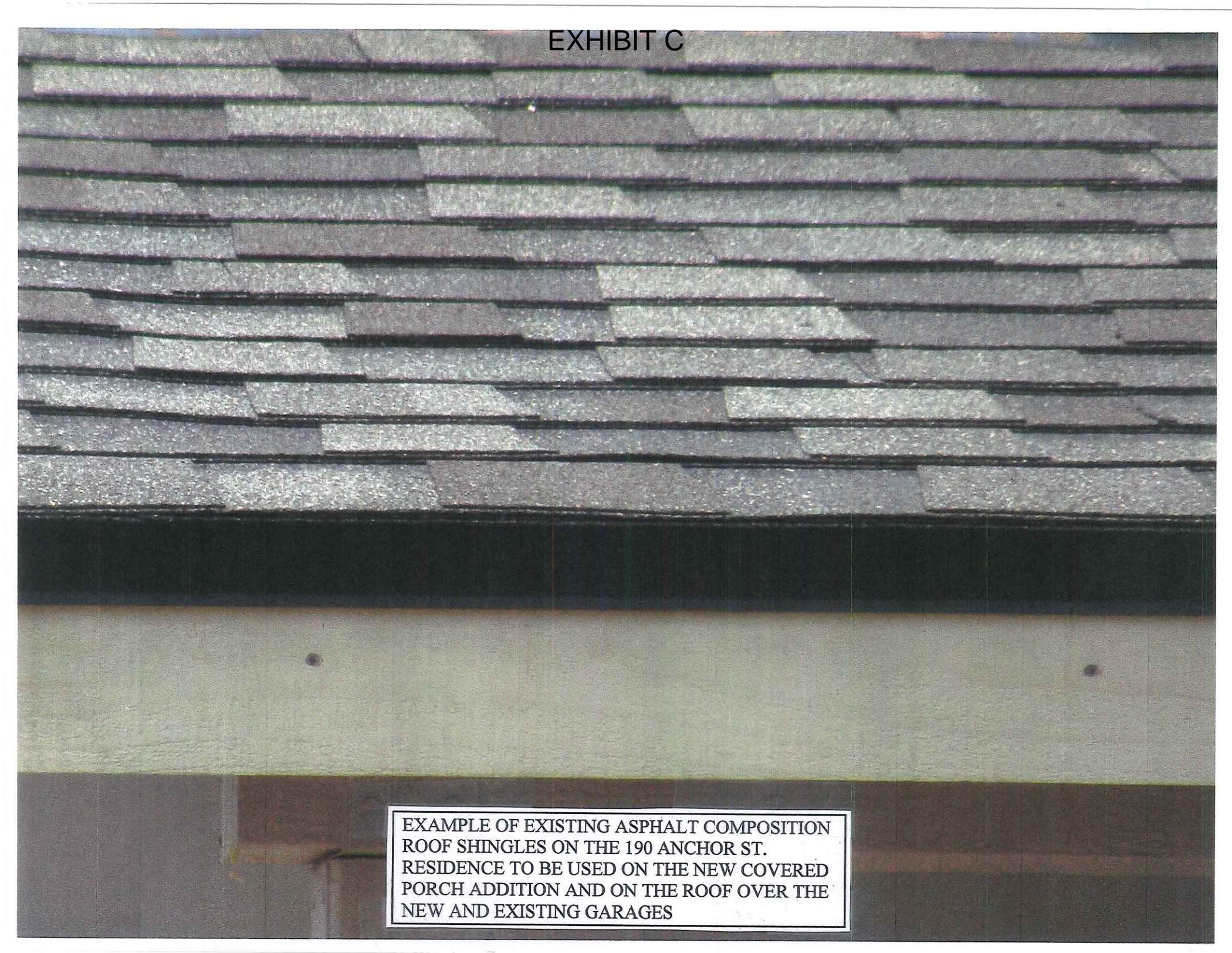


EXAMPLE OF THE EXISTING SIDING, WINDOWS, TRIM, AND FASCIA BOARD MATERIALS AND COLORS ON THE 160 ANCHOR ST. RESIDENCE TO BE USED ON ALL NEW AND REMODELED STRUCTURES ON SITE

EXHIBIT C

EXAMPLE OF THE EXISTING HARDIE-PLANK
SIDING ON THE 160 ANCHOR ST. RESIDENCE TO
BE USED ON ALL NEW AND REMODELED
STRUCTURES ON SITE

EXHIBIT C

A close-up photograph of asphalt composition roof shingles. The shingles are dark grey with a granular texture and are laid in a staggered pattern. Below the shingles, a dark horizontal band is visible, likely a roof edge or a different material. At the bottom of the image, there is a light-colored horizontal band, possibly a wall or a different material. A white rectangular box with a black border is overlaid on the bottom right of the image, containing text.

EXAMPLE OF EXISTING ASPHALT COMPOSITION
ROOF SHINGLES ON THE 190 ANCHOR ST.
RESIDENCE TO BE USED ON THE NEW COVERED
PORCH ADDITION AND ON THE ROOF OVER THE
NEW AND EXISTING GARAGES



AGENDA NO: B-2

MEETING DATE: October 18, 2016

Staff Report

TO: Planning Commissioners

DATE: October 18, 2016

FROM: Joan Gargiulo, Assistant Planner

SUBJECT: Conditional Use Permit (#UP0-450), Coastal Development Permit (#CP0-509), Parking Exception (#AD0-107), and Variance (AD0-106) Request to allow the development of an addition to an existing nonconforming residence in the R-2 Residential Zoning District and outside of the Coastal Commission Appeals Jurisdiction.

RECOMMENDATION:

CONDITIONALLY APPROVE THE PROJECT by approving Planning Commission **Resolution 23-16** which includes the Findings and Conditions of Approval for the project depicted on site development plans dated September 13, 2016.

APPLICANTS:

Robert and Sandy Hartsock

ARCHITECT:

Chris Parker

LEGAL DESCRIPTION/APN:

066-022-009

PROJECT DESCRIPTION:

The Applicant is requesting Conditional Use Permit, Coastal Development Permit, Variance, and Parking Exception approval for a 376 sq. ft. two-story addition to an existing 720 sq. ft. nonconforming residence located in the R-2 Residential Zone. The Parking Exception request is to allow for two tandem spaces in the driveway. The Variance request is to allow for a 3.9-foot encroachment, of a



Vicinity Map

Prepared By: JG

Department Review: _____

covered porch, into the required 20-foot front setback. The variance request is being made due to the irregular shape of the parcel. The project is located outside of the Coastal Commission Appeal Jurisdiction.

PROJECT SETTING:

The project is located in the Bayfront neighborhood in the City of Morro Bay, designated as Planning Area 6 in the Local Coastal Plan. The parcel at 242 Surf Street is located between Market Avenue and Morro Avenue, to the west of Main Street, north of Beach Street, and south of the Power Plant.

Adjacent Zoning/Land Use			
North:	R-2	South:	R-2
East:	R-2	West:	R-2

Site Characteristics	
Site Area	3,126 sq. ft.
Existing Use	Multi-Family Residential
Terrain	Virtually Level and Developed
Vegetation/Wildlife	None
Archaeological Resources	N/A
Access	Surf Street

General Plan, Zoning Ordinance, & Local Coastal Plan Designations	
General Plan/Coastal Plan Land Use Designation	Medium Density Residential
Base Zone District	R-2
Zoning Overlay District	n/a
Special Treatment Area	n/a
Combining District	n/a
Specific Plan Area	n/a
Coastal Zone	Located Outside of the Coastal Appeal Jurisdiction

PROJECT ANALYSIS:

Background

County Assessor records indicate the existing nonconforming single-family residence was originally built in 1944 and is located in a neighborhood consisting of both single and multi-family residential development with a variety of architectural styles and sizes. The residential use is consistent with the General Plan designation of Medium Density Residential and with the Duplex Residential (R-2) Zoning District. The project site is located outside of the Coastal Commission Appeal Jurisdiction.



Existing Site

Zoning Ordinance Standards			
	Standards	Existing	Proposed
Front Setback	20 feet	24'9"	16'6"
Side Setback	3 feet	3 feet	3 feet
Garage Side Setback	1 foot	0 feet	0 feet
Garage Rear Setback	1 foot	2'11"	2'11"
Height	25 feet	12'7"	22'4"
Lot Coverage	Max. 50%	33%	41%
Driveway Width	10 feet	6'6"	7'6"
Parking	2 Car Garage	Inaccessible	Parking Exception

Project Evaluation

Current requirements of the City of Morro Bay Zoning Ordinance (the “Zoning Ordinance”) pertaining to the side-yard setback and parking requirements render the existing structure nonconforming. However, additions to nonconforming structures may be permitted with the approval of a Conditional Use Permit, subject to certain findings (Morro Bay Municipal Code Section (MBMC) 17.56.160).

Setbacks

The existing residence does not conform to the side-yard setback requirement for detached garages (MBMC Section 17.48.045). The existing garage structure encroaches approximately 6 inches into the adjacent property to the west and is therefore nonconforming.

Parking

As per Section 17.44.020 of the Zoning Ordinance, single-family residential development requires a total of two covered and enclosed parking spaces. The existing one-car garage is inaccessible due to the inadequate width of the driveway. The existing width is 6’6” where 10 feet is the minimum. While the Applicant proposes to improve this width to 7’6”, it is still inadequate for garage access at the rear of the site. The Applicant is applying for a Parking Exception to allow for the two required parking spaces to be located in tandem in the driveway (MBMC section 17.44.050). Exceptions to the parking standards require the following findings to be made:

1. The exception will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative to the parking design standards of this chapter will be adequate to accommodate on the site all parking needs generated by the use.

Single-Family Residences are required to provide two parking spaces. If tandem parking is approved, then the project would meet that requirement. The length of the driveway is adequate to provide space for two tandem spaces on the property, outside of the front setback. Many dwellings in the have nonconforming parking situations.

2. The exception will not adversely affect the health, safety, or general welfare of persons working or residing in the vicinity and that no traffic safety problems will result from the proposed modification of the parking standard.

Tandem parking will not result in traffic safety problems at this location because the parking area will be outside of the Public Right-of-Way; sight distance is adequate for vehicles maneuvering into and out of the driveway.

3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property.

The Applicant's parking proposal is reasonable given similar parking arrangements in the project vicinity and given the footprint and construction of the existing buildings on site.

Conditional Use Permit Requirement

The Zoning Ordinance, subsection 17.56.160A, requires approval of a conditional use permit for additions to any structure which is nonconforming with any provision of this title. The project proposes to add a 376 square-foot addition to a nonconforming structure. As noted above, the structure is nonconforming with regard to the side-yard setback and parking. Approval of a Conditional Use Permit requires the following findings to be made:

1. The enlargement, expansion, or alteration is in conformance with all applicable provisions of the Zoning Ordinance.

The proposed addition is consistent with Zoning Ordinance requirements.

2. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use.

The applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.

3. The project is suitable for conforming uses and will not impair the character of the zone in which it exists.

The project proposes an addition to single-family dwelling unit, which is an allowed use in the R-2 zone. The surrounding neighborhood is developed with one and two-story single-family and multi-family development.

4. It is not feasible to make the structure conforming without major reconstruction of the existing structure.

Major reconstruction would be necessary to meet the required side-yard setback and rectify the parking situation.

VARIANCE:

Section 17.24.050 of the Zoning Ordinance requires a minimum front setback distance of 20 feet. Due to the atypical shape of this particular parcel, the Applicant is requesting a variance to this requirement to allow for the northern post of the proposed covered front porch to encroach into the front setback area. Per Section 17.60.060 of the Zoning Ordinance, the granting of a variance is subject to three specific findings. Each of the three

required variance findings is provided below followed by the justification provided by the applicant and separate comment by Staff.

1. Not a Special Privilege: That any variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zoning district in which the subject property is situated.

Applicant Comment

The atypical shape of this parcel creates issues making a small house difficult to conform. The post will help the home conform to the neighborhood compatibility with a front porch to break up the home's massing. A porch could possibly be supported by cantilevered beams, but the appearance would look out of place without the support post.

Staff Comment

Due to the atypical nature of this particular lot, the granting of an exception to the front-yard setback will not result in a grant of special privilege.

2. Special Circumstances with the Property: That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

Applicant Comment

The front property line width of 39' and rear property line width of 19.94' make for a very narrow parcel. Also the narrower rear property line creates a 'pie' shaped parcel that creates a narrow and long home design. Also working with existing home and garage and driveway, the difficulties are magnified.

Staff Comment

The parcel is less than 40 ft. wide at the front and tapers to less than 20 ft. wide at the rear. The parcel also has an eastern property line of approximately 100 ft. and a western property line of approximately 120 ft. in length which helps to create an odd angle to the front property line and the orientation of the residence to the street. The granting of the variance allows for development of the subject lot in a similar manner to other lots in the immediate area.

3. Consistent with General Plan and Local Coastal Plan: That the variance is found consistent with the intent of the General Plan and Land Use Plan of the Local Coastal Plan.

Staff Comment

The residential use is consistent with the General Plan and Local Coastal Plan designation of medium density residential as it allows expansion/alteration of an existing unit on a lot zoned for the use. The addition of a front porch is consistent with the Residential Design Guidelines in helping to break up the massing of the front elevation and providing a defined entryway.

PUBLIC NOTICE:

Notice of this item was published in the San Luis Obispo Tribune newspaper on Saturday, October 8, 2016, and all property owners and occupants of record within 500 feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application.

ENVIRONMENTAL DETERMINATION:

Environmental review was performed for this project and staff determined it meets the requirements for a Categorical Exemption under CEQA Guidelines Section 15301 Class 3. The exemption applies to additions to existing single-family residences located in a residential zone and the project will have no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under Section 15300.2, apply to the project.

CONCLUSION:

The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure residential land is developed to a density suitable to its location and physical characteristics. The project is consistent with the Zoning Ordinance because housing is a principally allowed use in the Medium Density land use designation and because the Zoning Ordinance allows exceptions to the parking standards (MBMC Section 17.44.050), additions to nonconforming structures upon approval of a conditional use permit (MBMC section 17.56.160), and approval of a variance for the front porch setback (MBMC 17.60.060).

RECOMMENDATION:

Staff recommends the Planning Commission approve the requested Conditional Use Permit #UPO-450, Coastal Development Permit #CP0-509, Parking Exception #107, and Variance #AD0-106 for the proposed addition to a nonconforming structure for the project at 190 Anchor Street, as shown on plans dated August 17, 2016, by adopting Planning Commission **Resolution 23-16** which includes the Findings and Conditions of Approval for the project.

EXHIBITS:

Exhibit A – Planning Commission Resolution 23-16
Exhibit B – Plan Reductions

EXHIBIT A

RESOLUTION NO. PC 23-16

A RESOLUTION OF THE MORRO BAY PLANNING COMMISSION APPROVING COASTAL DEVELOPMENT PERMIT (CP0-509), CONDITIONAL USE PERMIT (UP0-450), PARKING EXCEPTION (AD0-107), AND VARIANCE (AD0-106) TO ALLOW AN ADDITION TO A NONCONFORMING RESIDENTIAL STRUCTURE, TANDEM PARKING, AND REDUCED FRONT SETBACK AT 242 SURF STREET

WHEREAS, the Planning Commission of the City of Morro Bay (the “City”) conducted a public hearing at the Morro Bay Veteran’s Hall, 209 Surf Street, Morro Bay, California, on October 18, 2016, for the purpose of considering Coastal Development Permit CP0-509, Conditional Use Permit UPO-450, Parking Exception AD0-107, and Variance AD0-106 for a proposed addition to a nonconforming single-family residence, tandem parking, and a reduced front setback at 242 Surf Street; and

WHEREAS, notice of the public hearing was provided at the time and in the manner required by law; and

WHEREAS, the Planning Commission has duly considered all evidence, including the testimony of the applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Commission makes the following findings:

California Environmental Quality Act (CEQA) Finding

1. Pursuant to the California Environmental Quality Act, the project is categorically exempt pursuant to Class 1, CEQA Guidelines Section 15301(e) for additions to existing structures with no potentially significant environmental impacts. Additionally, none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

Conditional Use Permit Findings

1. The project is consistent with the General Plan and Local Coastal Plan which establish five residential land use categories to provide for a wide range of densities and to ensure that residential land is developed to a density suitable to its location and physical characteristics.
2. The proposed addition is in conformance with all applicable provisions of the Morro Bay City Zoning Ordinance (the “Zoning Ordinance”), including building height and lot coverage. The approval of a variance for the front setback is allowed pursuant to Section 17.60.060 of the Zoning Ordinance.

3. The project meets applicable Title 14 (Building and Construction Code) requirements for a conforming use since the applicant is required to submit a complete building permit application and obtain the required building permit prior to construction.
4. The project is suitable for conforming uses and will not impair the character of the zone in which it exists because it proposes an addition to a single-family dwelling, which is an allowed use in the R-2 zone and the surrounding neighborhood is developed with one and two-story single-family and multi-family residences.
5. It is not feasible to make the structure conforming without major reconstruction of the existing structure. Major reconstruction would be necessary to meet the required side-yard setback and driveway width.

Parking Exception Findings

1. The exceptions will not constitute a grant of special privilege inconsistent with the driveway or parking limitations upon other properties in the vicinity and the reduced parking or alternative design to the parking design standards of this chapter will be adequate to accommodate on site all parking needs generated by the use.
2. The exception to allow tandem parking will not adversely affect the health, safety or general welfare of persons working or residing in the vicinity and no traffic safety problems will result from the proposed modification of the parking standard because the parking area will not conflict with existing traffic patterns in the right-of-way and driveway construction will be subject to Building Code requirements and the City's Engineering standards.
3. The exception is reasonably necessary for the applicant's full enjoyment of uses similar to those upon the adjoining real property, given the size and shape of the parcel and the footprint and construction of the existing building on the residential lot.

Variance Findings:

1. The variance granted does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and zoning district in which the subject property is situated. Because of special circumstances applicable to subject property, specifically the size and shape, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.
2. The variance is found consistent with the intent of the General Plan and Land Use Plan of the Local Coastal Plan because it is an addition to a single family home in a single family neighborhood and permits utilization of the property consistent with the intended land use

Section 2. Action. The Planning Commission does hereby approve Coastal Development Permit CP0-509, Conditional Use Permit UPO-450, Parking Exception AD0-107, and Variance AD0-106 for property located at 242 Surf Street subject to the following conditions:

STANDARD CONDITIONS

1. This permit is granted for the land described in the staff report dated October 18, 2016, for the project at 242 Surf Street depicted on plans dated September 13, 2016, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on plans, unless otherwise specified herein.
2. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Director (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.
3. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
4. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
5. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicant's failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.

6. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
7. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.

PLANNING CONDITIONS

1. Archaeology: In the event of the unforeseen encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation shall immediately cease in the immediate area, and the find should be left untouched until a qualified professional archaeologist or paleontologist, whichever is appropriate, is contacted and called in to evaluate and make recommendations as to disposition, mitigation and/or salvage. The developer shall be liable for costs associated with the professional investigation.
2. Construction Hours: Pursuant to MBMC subsection 9.28.030.I, Construction or Repairing of Buildings: The erection (including excavating), demolition, alteration or repair of any building or general land grading and contour activity using equipment in such a manner as to be plainly audible at a distance of fifty feet from the building other than between the hours of seven a.m. and seven p.m. on weekdays and eight a.m. and seven p.m. on weekends except in case of urgent necessity in the interest of public health and safety, and then only with a permit from the Community Development Department, which permit may be granted for a period not to exceed three days or less while the emergency continues and which permit may be renewed for a period of three days or less while the emergency continues.
3. Dust Control: That prior to issuance of a grading permit, a method of control to prevent dust and wind blow earth problems shall be submitted for review and approval by the Building Official.
4. Conditions of Approval: Prior to the issuance of a Building Permit, the final Conditions of Approval shall be attached to the set of approved plans. The sheet containing Conditions of Approval shall be the same size as other plan sheets and shall be the last sheet in the set of Building Plans.

5. Title Report: A preliminary title report shall be submitted to the Planning Department prior to Building Permit issuance.

BUILDING CONDITION

1. Building Permit: Prior to construction, the applicant shall submit a complete Building Permit Application and obtain the required Permit.

PUBLIC WORKS CONDITIONS

1. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements to protect water quality and control runoff flow from new and redevelopment projects. The requirements can be found in the Stormwater management guidance manual on the City's website www.morrobay.ca.us/EZmanual. Projects with more than 2,500sf of new or redeveloped impervious area are subject to these requirements. Complete and submit the "SFR Performance Requirement Determination Form".
2. Sewer Lateral: If an existing lateral is used, perform a video inspection of the lateral and submit to Public Works via flash drive or DVD, prior to building permit issuance. Lateral shall be repaired as necessary and all repairs shall be noted on approved set of plans. A sewer backwater valve and downstream cleanout, extended to grade, shall be installed on the sewer lateral. If a new lateral is being proposed and old lateral exists, include a note on the plans to cap and abandon existing sewer lateral.
3. Sewer Backwater Valve: A sewer backwater valve shall be installed on site to prevent a blockage or maintenance of the municipal sewer main from causing damage to the proposed project (MBMC 14.24.070). Indicate and label on plan.
4. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. The Plan shall show control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area.
5. Encroachment Permits: A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location). A sewer encroachment permit shall be required for the installation of the sewer lateral. When utility connections require pavement cuts a traffic control plan indicating appropriate signing, marking, barricades and flaggers must be submitted with the Encroachment Permit application.
6. Special Encroachment Permit: Site plan (Sheet A-1.1) shows planter wall/concrete curb within the City Right-of-way. Any vertical concrete structure requires a

Special Encroachment Permit. Please see attached Special Encroachment Permit instructions.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permits are available at the City of Morro Bay Public Works Office located at 955 Shasta Ave. The Encroachment permit shall be issued concurrently with the building permit.

FIRE CONDITIONS:

1. Automatic fire sprinklers. An automatic fire sprinkler system, in accordance with NFPA 13-D, California Fire Code (Section 903), California Residential Code (Section R313), and Morro Bay Municipal Code (Section 14.08.090(L)(4)(b)) is required.

Applicant shall submit plans for an automatic fire sprinkler system, in accordance with NFPA 13-D, to Morro Bay Community Development Department for review.

2. Carbon monoxide alarms in new dwellings and sleeping units. An approved carbon monoxide alarm shall be installed in dwellings having a fossil fuel-burning heater or appliance, fireplace or an attached garage. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions. (CRC R315.2)

Applicant shall provide Carbon Monoxide detection in accordance with CRC R315.2.

3. Fire Safety During Construction and Demolition shall be in accordance with 2013 California Fire Code, Chapter 33. This chapter prescribes minimum safeguards for construction, alteration and demolition operations to provide reasonable safety to life and property from fire during such operations

Applicant shall include above language on Building Plan submittal.

EXHIBIT A

Planning Commission Resolution No. 23-16

242 Surf Street

Page 7

PASSED AND ADOPTED by the Morro Bay Planning Commission at a regular meeting thereof held on this 18th day of October, 2016 on the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert Tefft, Chairperson

ATTEST

Scot Graham, Planning Secretary

The foregoing resolution was passed and adopted this 18th day of October, 2016.

EXHIBIT B

PUBLIC WORKS

NO WORK WITHIN NOR ANY USE OF ANY PUBLIC RIGHTS OF WAY SHALL OCCUR WITHOUT AN ENCROACHMENT PERMIT. ENCROACHMENT PERMITS ARE AVAILABLE AT THE CITY'S PUBLIC SERVICES OFFICE LOCATED AT 955 SHASTA AVE. THE ENCROACHMENT PERMIT SHALL BE ISSUED CONCURRENTLY WITH THE BUILDING PERMIT.

ANY DAMAGE TO ANY OF THE CITY'S FACILITIES (SUCH AS CURB/BERM, STREET, SEWER LINE, WATER LINE, OR ANY PUBLIC IMPROVEMENTS) RESULTING, DIRECTLY OR INDIRECTLY FROM CONSTRUCTION OPERATIONS RELATED TO THIS PROJECT SHALL BE REPAIRED AT NO COST TO THE CITY.

NO GRADING IS PROPOSED FOR PROJECT, ASIDE FROM FOOTING EXCAVATION.

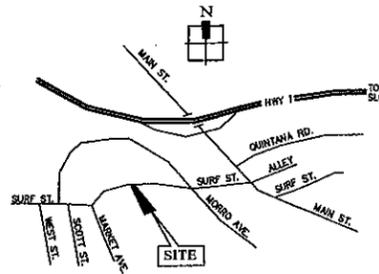
DUST CONTROL: TO PREVENT DUST AND WIND BLOWN EARTH PROBLEMS DURING FOOTING EXCAVATION, CONTRACTOR TO KEEP SOIL MOIST USING NON-POTABLE WATER

EROSION CONTROL: STRAW WADDLES TO BE PLACED FOR EROSION CONTROL DURING CONSTRUCTION PER LOCATION ON SITE PLAN.

CONST. HOURS

PURSUANT TO MBMC SUBSECTION 9.28.030.1, CONSTRUCTION OR REPAIRING OF BUILDINGS, THE ERECTION (INCLUDING EXCAVATING), DEMOLITION, ALTERATION, OR REPAIR OF ANY BUILDING OR GENERAL LAND GRADING AND CONTOUR ACTIVITY USING EQUIPMENT IN SUCH A MANNER AS TO BE PLAINLY AUDIBLE AT A DISTANCE OF FIFTY FEET FROM THE BUILDING OTHER THAN BETWEEN THE HOURS OF SEVEN A.M. AND SEVEN P.M. ON WEEKDAYS AND EIGHT A.M. AND SEVEN P.M. ON WEEKENDS EXCEPT IN CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH A PERMIT FROM THE PUBLIC SERVICES DEPT., WHICH PERMIT MAY BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES AND WHICH PERMIT MAY BE RENEWED FOR A PERIOD OF THREE DAYS OR LESS WHILE THE EMERGENCY CONTINUES.

VICINITY MAP



PROJECT DESCRIPTION

THIS PROJECT WOULD CREATE A FIRST AND SECOND FLOOR ADDITION TO AN EXISTING SINGLE FLOOR RESIDENCE. THE SECOND FLOOR ADDITION WOULD BE ON THE REAR OF THE RESIDENCE AND THE ROOF FRAMING WILL BE REPLACED ON THE FRONT PORTION WITH TRUSSES TO ALLOW FOR CENTRAL HEAT AND A SCISSOR VAULT. THE CURRENT RESIDENCE HAS AN EXISTING DETACHED ONE-CAR GARAGE (NOT PROPER DEPTH & NARROW DRIVEWAY WIDTH BECAUSE OF AN ODD SHAPED PARCEL) AND IS SEEKING A PARKING EXCEPTION FOR THE TWO REQUIRED SPACES TO BE LOCATED IN THE DRIVEWAY. THE PROJECT IS ALSO SEEKING A VARIANCE TO IMPROVE THE STREET-SCAPE BY ADDING A POST WITHIN THE ANGLED FRONT SETBACK THAT WOULD HELP SUPPORT A PROPOSED FRONT PORCH.

PROJECT INFO.

APN:	066-022-009
ZONING:	R-2, 25' HEIGHT, SETBACKS 20' F, 3' S, 5' R ALLOWABLE COVERAGE 50%
LOT SIZE:	3,126 SQ. FT.
EXISTING LOT COVERAGE:	33% 1,060 SQ. FT.
PROPOSED LOT COVERAGE:	41% 1,279 SQ. FT.
EXISTING RESIDENCE:	720 SQ. FT.
EXISTING DETACHED GARAGE:	340 SQ. FT.
PROPOSED ADDITION:	154 SQ. FT.
LOWER FLOOR:	222 SQ. FT.
UPPER FLOOR:	376 SQ. FT.
TOTAL ADDITION:	376 SQ. FT.
NEW RESIDENCE TOTAL:	1,096 SQ. FT.
EXISTING DETACHED GARAGE:	340 SQ. FT.
NEW COVERED PORCH:	65 SQ. FT.
NEW IMPERVIOUS AREA:	360 SQ. FT.
NEW PERVIOUS PAVERS: (COVERED PORCH NOT INCLUDED)	300 SQ. FT.
AVERAGE NATURAL GRADE: (LOW PT. 62.70' + HIGH PT. 64.98') / 2	63.84'
ALLOWABLE HEIGHT (25'):	88.84'
PROPOSED HEIGHT:	86.20'

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CHRISTOPHER P. PARKER
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STAMPS



VICINITY MAP

RECEIVED

SEP 16 2016

City of Morro Bay
Community Development Dept.

ARCHAEOLOGY

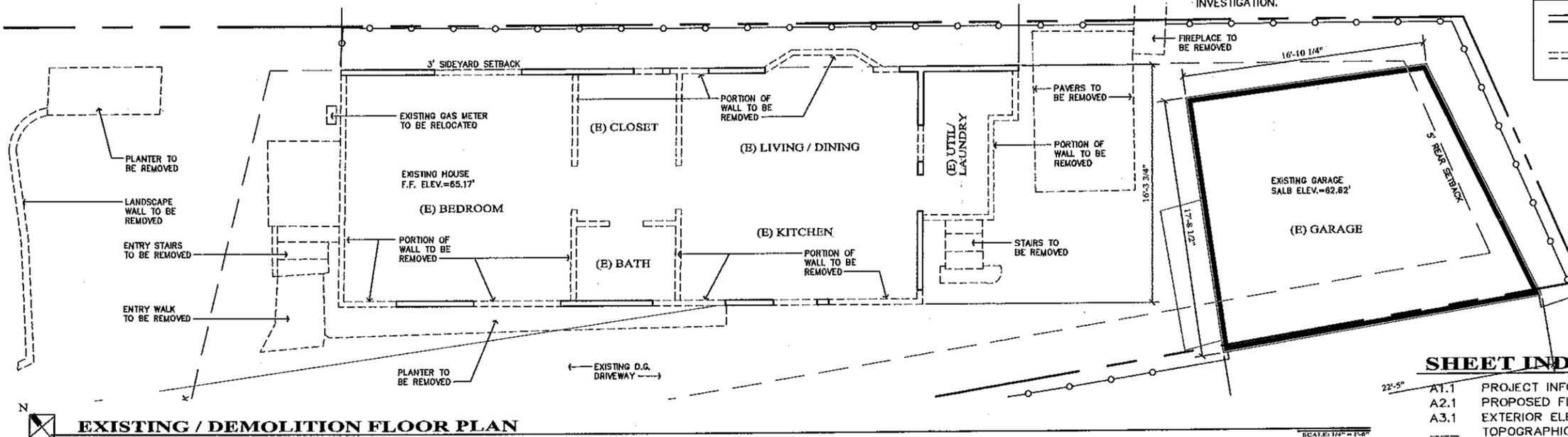
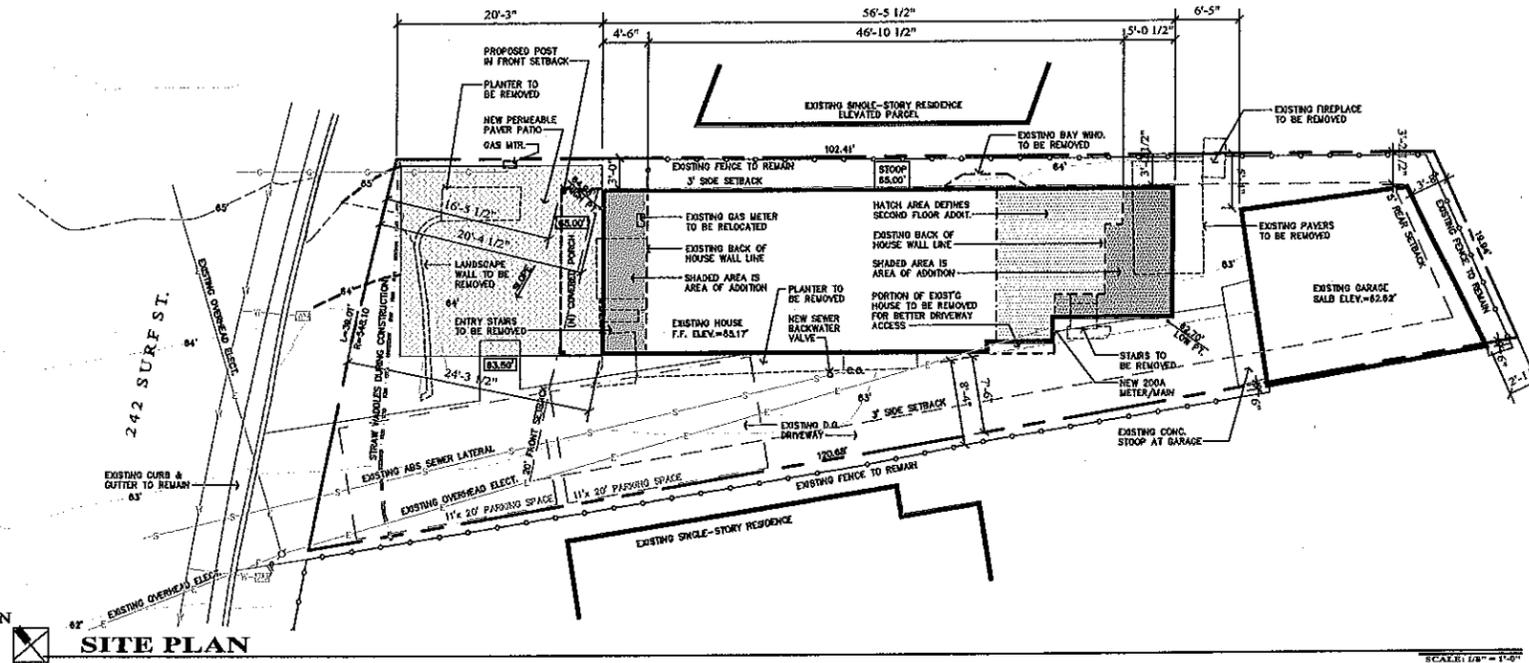
IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF SUBSURFACE MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING OR EXCAVATION SHALL IMMEDIATELY CEASE IN THE IMMEDIATE AREA, AND THE FIND SHOULD BE LEFT UNTOUCHED UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST OR PALEONTOLOGIST, WHICHEVER IS APPROPRIATE, IS CONTACTED AND CALLED IN TO EVALUATE AND MAKE RECOMMENDATIONS AS TO DISPOSITION, MITIGATION AND/OR SALVAGE. THE DEVELOPER SHALL BE LIABLE FOR COSTS ASSOCIATED WITH THE PROFESSIONAL INVESTIGATION.

BLDG. CODES

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRIC CODE
2013 CALIFORNIA ENERGY CODE
CALIFORNIA GREEN BUILDING CODE
2013 CALIFORNIA FIRE CODE
CALIF. REFERENCE STANDARDS CODE

WALL LEGEND

	EXISTING 2x WOOD FRAMED WALL TO REMAIN IN PLACE
	EXISTING 2x WOOD FRAMED WALL TO BE REMOVED



SHEET INDEX

A1.1	PROJECT INFO., SITE PLAN, EXIST'G PLAN
A2.1	PROPOSED FLOOR PLANS, STORMWATER
A3.1	EXTERIOR ELEVATIONS
---	TOPOGRAPHIC SURVEY

PROJECT

REMODEL &
ADDITION
FOR
ROBERT & SANDI
HARTSOCK

242 SURF STREET
MORRO BAY, CA
93442

DRAWING PHASE

DESIGN
DEVELOPMENT

Project No.	15-118
Drawn By	CPP
Dwg. Date	09/13/16
Updated	
Scale	AS NOTED

REVISIONS

SHEET TITLE

PROJECT INFO.
SITE & DEMO. PLANS

SHEET NO.

A1.1

EXHIBIT B

APPENDIX A

SFR PERFORMANCE REQUIREMENT DETERMINATION FORM

The following form shall be completed for all SFR development and redevelopment projects. Projects that are exempt from performance requirements are required to complete Section 1 & 2 only.

Section 1: General Information	
Project name	Remodel & Addition for Robert & Sandi Hartsoc
Project Address	242 Surf Street
Assessor's Parcel Number(s)	066-022-009
Name of Applicant	Robert & Sandi Hartsoc
Applicant email address:	sandi.leah@bak.or.com
Applicant phone:	(661) 333-9614
Project Type (e.g. single-family residential, commercial, etc.)	Single-Family Residence
Section 2: Area Information (ft²)	
Total Project Area	3,126 SQ. FT.
Total Existing Impervious surface area	2,100 SQ. FT. (HOUSE GAR. FRAMING)
Proposed Gross Impervious Area (lit only the surface areas that are being created or replaced)	
a. Rooftops	360 SQ. FT. (HOUSE / PORCH)
b. Driveways	
c. Patios	
d. Parking Lots	
e. Other	
Total Gross Impervious Area	360 SQ. FT.
If Gross Impervious Area < 2,500 ft ² , write "EXEMPT". Otherwise continue to Sec. 3	<EXEMPT>
Section 3: PR Determination	
Net Impervious Area (from page 7)	
Performance Requirements (from Flow Chart)	

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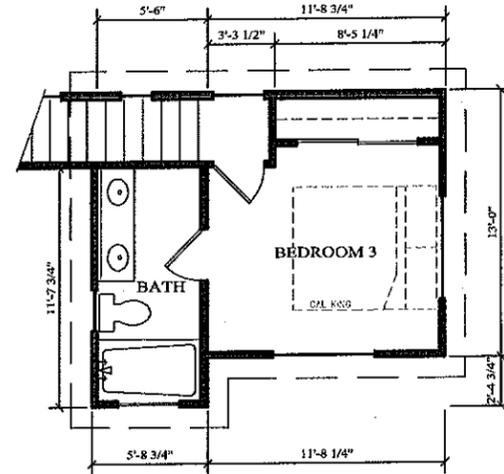
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 630 QUINTANA RD. #330
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 (805) 772-8700

STAMPS

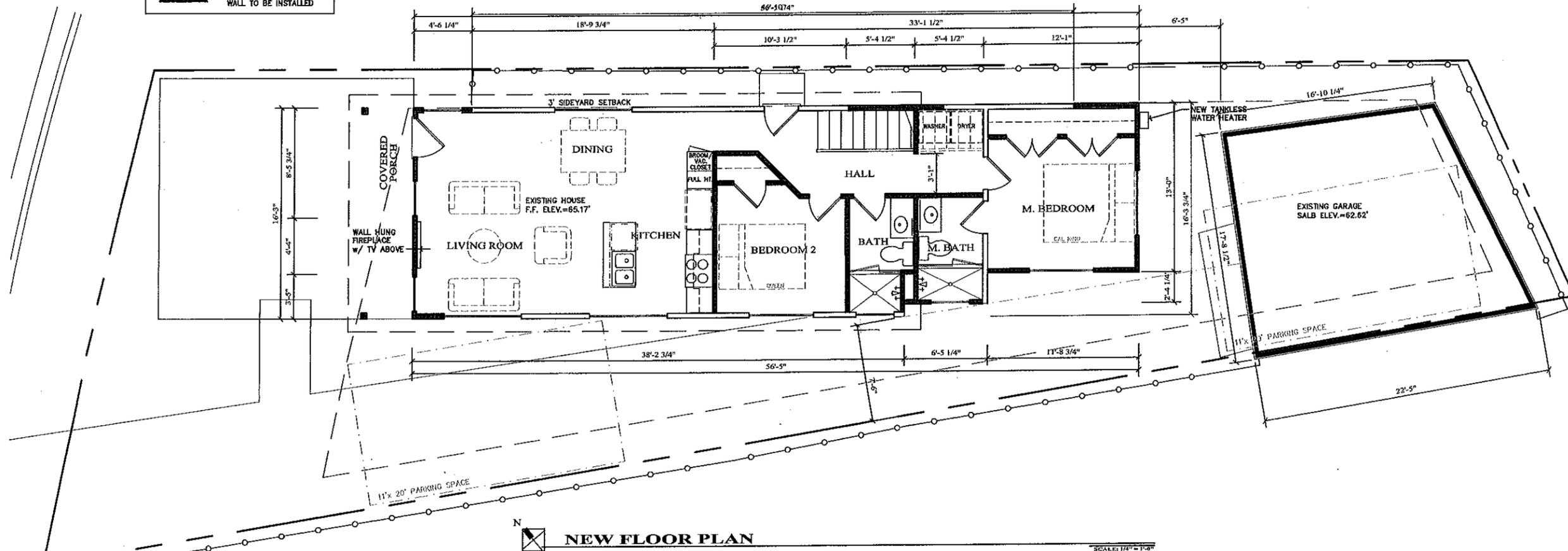


VICINITY MAP



UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING 2x WOOD FRAMED WALL TO REMAIN IN PLACE
	NEW 2x WOOD FRAMED WALL TO BE INSTALLED



NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROJECT

REMODEL & ADDITION
 FOR
ROBERT & SANDI HARTSOCK

242 SURF STREET
 MORRO BAY, CA
 93442

DRAWING PHASE
DESIGN DEVELOPMENT

Project No.	15-118
Drawn By	CPP
Dwg. Date	09/13/16
Updated	
Scale	AS NOTED

REVISIONS

SHEET TITLE
PROPOSED FLOOR PLANS

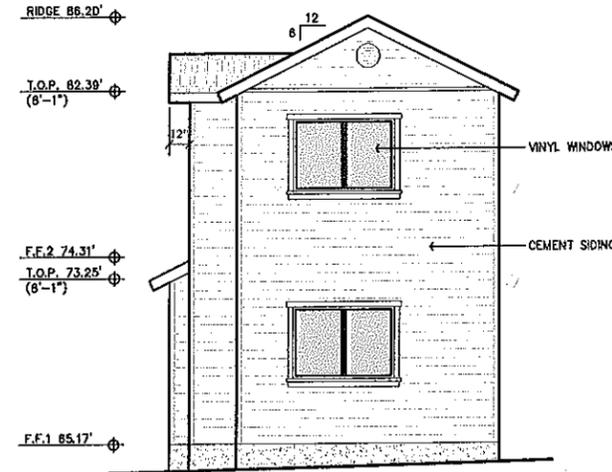
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A2.1

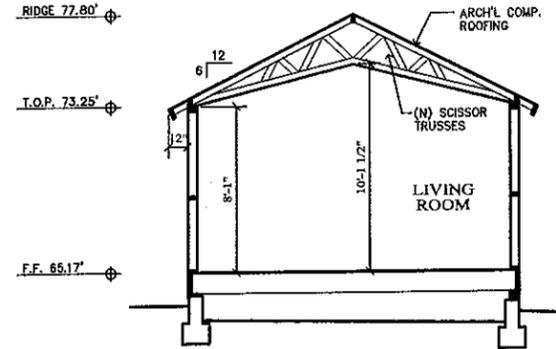
EXHIBIT B



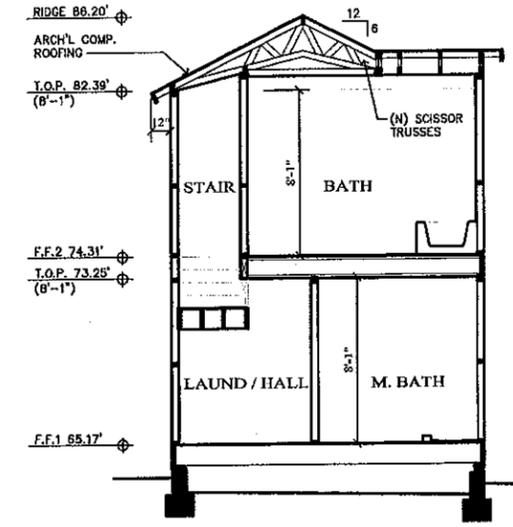
NORTHWEST ELEVATION - FRONT
SCALE: 1/4" = 1'-0"



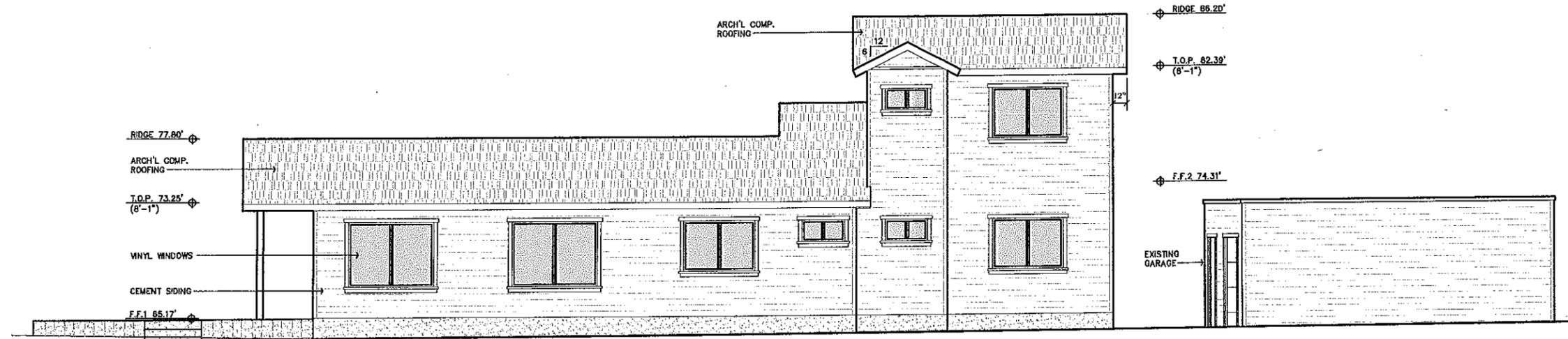
SOUTHEAST ELEVATION - REAR
SCALE: 1/4" = 1'-0"



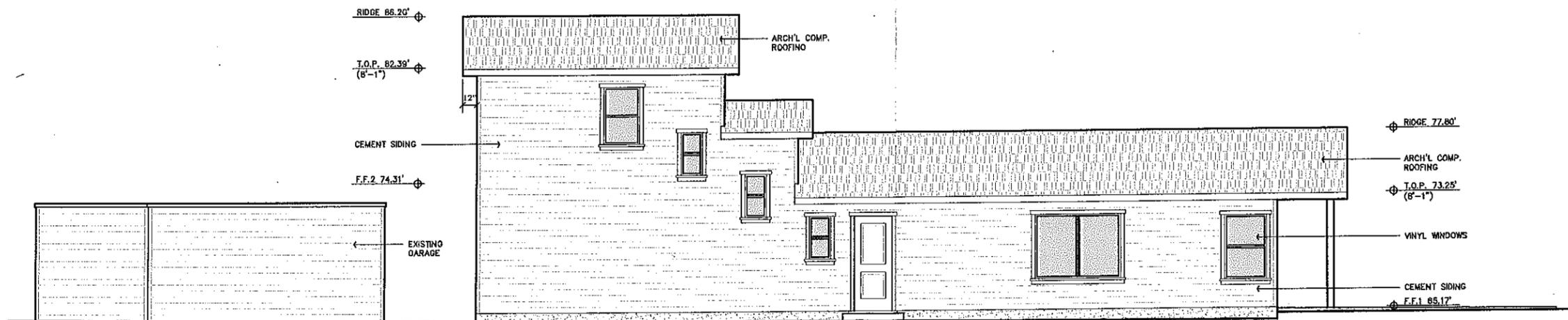
BUILDING SECTION
SCALE: 1/4" = 1'-0"



BUILDING SECTION
SCALE: 1/4" = 1'-0"



SOUTHWEST ELEVATION - SIDE
SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION - SIDE
SCALE: 1/4" = 1'-0"

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VICINITY MAP

PROJECT

REMODEL & ADDITION
FOR
ROBERT & SANDI HARTSOCK

242 SURF STREET
MORRO BAY, CA
93442

DRAWING PHASE
DESIGN DEVELOPMENT

Project No.	15-118
Drawn By	CPP
Dwg. Date	09/13/16
Updated	-
Scale	AS NOTED

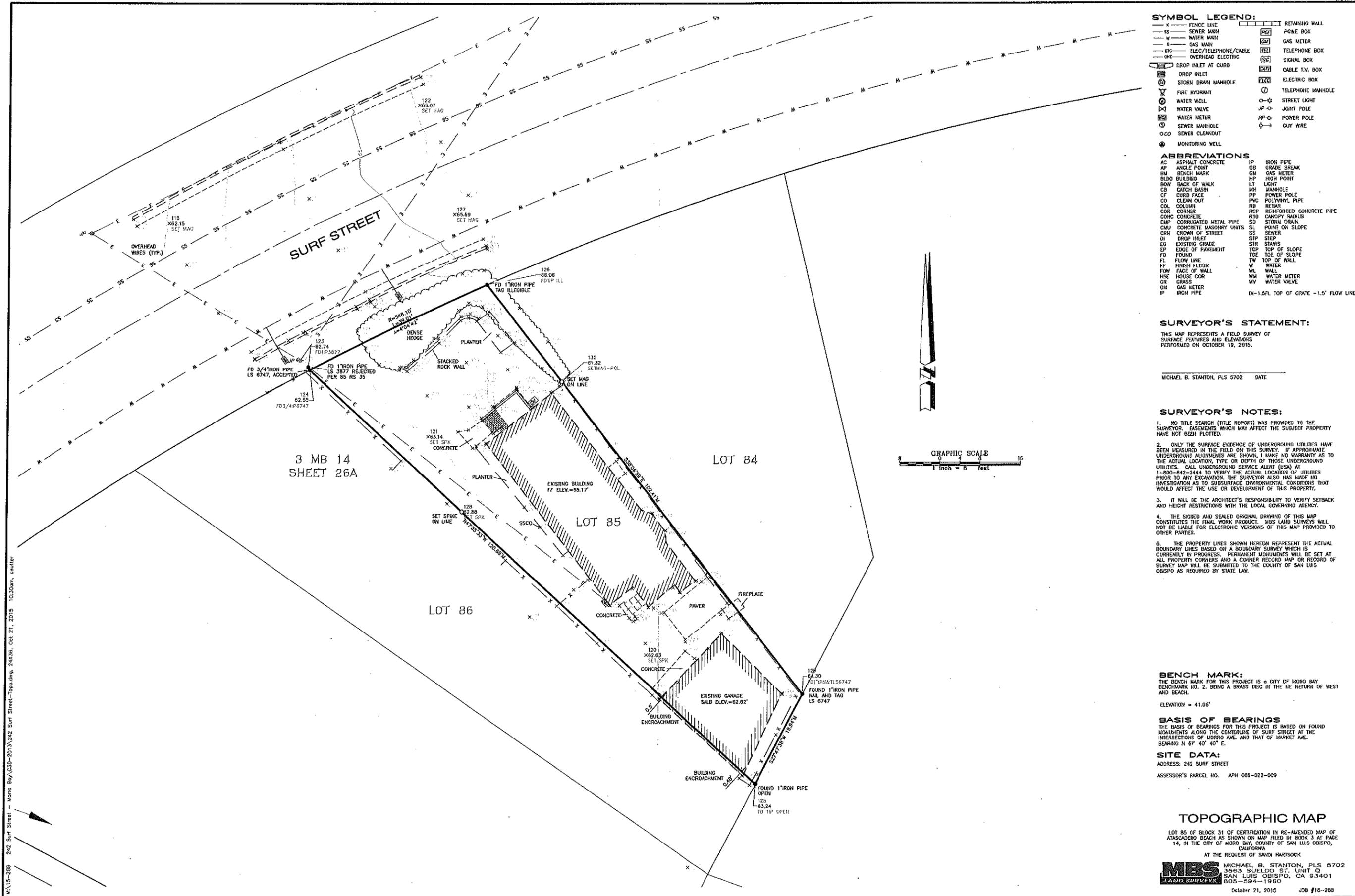
REVISIONS

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A3.1

EXHIBIT B



SYMBOL LEGEND:

X	FENCE LINE	▬	RETAINING WALL
SS	SEWER MAIN	□	POLE BOX
W	WATER MAIN	□	GAS METER
G	GAS MAIN	□	TELEPHONE BOX
ETC	ELEC/TELEPHONE/CABLE	□	SIGNAL BOX
OME	OVERHEAD ELECTRIC	□	CABLE T.V. BOX
○	DROP INLET AT CURB	□	ELECTRIC BOX
○	DROP INLET	○	TELEPHONE MANHOLE
○	STORM DRAIN MANHOLE	○	STREET LIGHT
○	FIRE HYDRANT	○	JOINT POLE
○	WATER WELL	○	POWER POLE
○	WATER VALVE	○	GUY WIRE
○	WATER METER		
○	SEWER MANHOLE		
○	SEWER CLEANOUT		
○	MONITORING WELL		

ABBREVIATIONS

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MH	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PPC	POLYMER PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R10	RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STP	STEP
EG	EXISTING GRADE	SIR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TDE	TOP OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE
GM	GAS METER		
IP	IRON PIPE		

SURVEYOR'S STATEMENT:
 THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON OCTOBER 19, 2015.

MICHAEL B. STANTON, PLS 5702 DATE

- SURVEYOR'S NOTES:**
- NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
 - ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES WERE MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-842-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
 - IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
 - THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
 - THE PROPERTY LINES SHOWN HEREON REPRESENT THE ACTUAL BOUNDARY LINES BASED ON A BOUNDARY SURVEY WHICH IS CURRENTLY IN PROGRESS. PERMANENT MONUMENTS WILL BE SET AT ALL PROPERTY CORNERS AND A CORNER RECORD MAP OR RECORD OF SURVEY MAP WILL BE SUBMITTED TO THE COUNTY OF SAN LUIS OBISPO AS REQUIRED BY STATE LAW.

BENCH MARK:
 THE BENCH MARK FOR THIS PROJECT IS A CITY OF MORO BAY BENCHMARK NO. 2, BEING A BRASS DISC IN THE NE CORNER OF WEST AND BEACH.
 ELEVATION = 41.06'

BASIS OF BEARINGS
 THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE CENTERLINE OF SURF STREET AT THE INTERSECTIONS OF MORO AVE. AND THAT OF MARKET AVE.
 BEARING N 67° 40' 40" E.

SITE DATA:
 ADDRESS: 242 SURF STREET
 ASSESSOR'S PARCEL NO. APN 055-022-009

TOPOGRAPHIC MAP
 LOT 85 OF BLOCK 31 OF CERTIFICATION IN RE-MENDED MAP OF ATASCADERO BEACH AS SHOWN ON MAP FILED IN BOOK 3 AT PAGE 14, IN THE CITY OF MORO BAY, COUNTY OF SAN LUIS OBISPO, CALIFORNIA
 AT THE REQUEST OF SANDI HARTSOCK
 MICHAEL B. STANTON, PLS 5702
 3563 SUELO ST. UNIT Q
 SAN LUIS OBISPO, CA 93401
 805-634-1910
 October 21, 2015 JOB #15-288

M:\15-288 242 Surf Street - Moro Bay (20-2013) 242 Surf Street - Topo Map, 24x36, Oct. 21, 2015 10:55am, us16r